



**PLANNING COMMISSION  
MEETING  
April 1, 2024  
4:00 PM**

**PUBLIC MEETING NOTICE**

**PLANNING COMMISSION**

Mayor Blaser, Chairperson  
Ryan Austin, Alderperson  
Lee Thao  
Eric Daven  
Ben Goodreau  
Thaddeus Kubisiak  
Jeff Marutz

**AGENDA ITEM RECIPIENTS**

Sue Schill, City Attorney  
Erika Esser, Secretary  
Jennifer Gossick, City Clerk

Notice is hereby given of a meeting of the Wisconsin Rapids Planning Commission to be held in the Council Chambers at City Hall, 444 West Grand Avenue, Wisconsin Rapids, on **Monday, April 1, 2024, at 4:00 PM**. The meeting will be streamed live on the City of Wisconsin Rapids Facebook page and will also be broadcast live on Charter Cable Channel 985 and Solarus HD Cable Channel 3. If a member of the public wishes to access this meeting live via Zoom audio conferencing, you must contact the City Clerk at least 24 hours prior to the start of the meeting to coordinate your access. This meeting is also available after its conclusion on the City's Facebook page and Community Media's YouTube page, which can be accessed at [www.wr-cm.org](http://www.wr-cm.org). It is possible that members of the Planning Commission may appear remotely via video or audioconferencing for this meeting.

**AGENDA**

1. Approval of the report from March 4, 2024, Planning Commission meeting.
2. **24-000234; Valvoline LLC** - request for a Site Plan Review to construct a vehicle service shop at 1140 East Riverview Expressway (Parcel ID 3411798)
3. **24-000246; City of Wisconsin Rapids** - request for a Site Plan Review to construct park improvements at Mead Park, 311 17<sup>th</sup> Avenue South (Parcel ID 3402825)
4. Adjourn

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at this meeting is not possible due to a disability or other reasons, notification to the city clerk's office at least 24 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the clerk at (715) 421-8200 to request accommodations.

REPORT OF THE PLANNING COMMISSION

Date of Meeting: March 4, 2024

Report #1

The Planning Commission met at 4:00 p.m. on March 4, 2024 in the Council Chambers at City Hall. It was also streamed live on the City of Wisconsin Rapids Facebook page and broadcast live on Charter Cable Channel 985 and Solarus HD Cable Channel 3. Members present included Eric Daven, Lee Thao, Ben Goodreau, Thad Kubisiak, and Ryan Austin (Chairperson). Shane Blaser and Jeff Marutz were excused. Also present in the Chambers were Community Development Director Kyle Kearns, Alderperson Dennis Polach, and others as indicated on the meeting sign-in sheet.

The meeting was called to order at 4:00 p.m.

1. Approval of the report from February 5, 2024, Planning Commission meeting.

Motion by Daven to approve the report from February 5, 2024, Planning Commission meeting; second by Goodreau.

Motion carried (5 – 0)

2. **Request from Nieman Properties LLC** to dedicate right-of-way along West Grand Avenue at 2141 West Grand Avenue (Parcel ID 3403426) and 2111 West Grand Avenue (Parcel ID 3403425) via certified survey map to combine three parcels

Mr. Kearns provided a brief review of the request.

Motion by Kubisiak to approve the request to dedicate right-of-way along West Grand Avenue at 2141 West Grand Avenue (Parcel ID 3403426) and 2111 West Grand Avenue (Parcel ID 3403425) via certified survey map to combine three parcels; second by Goodreau.

Motion carried (5 – 0)

3. **23-000127; VIA Real Estate, LLC** – request for a Site Plan Review amendment to construct a car wash at 4120 8<sup>th</sup> Street South (Parcel ID 3414102)

Kyle Kearns provided an analysis of the request recommending approval with the conditions outlined in the staff report.

Motion by Goodreau to approve the request for a Site Plan Review amendment to construct a car wash at 4120 8<sup>th</sup> Street South (Parcel ID 3414102), subject to the following conditions:

- a) An updated landscaping plan shall be provided, meeting all applicable landscaping standards, to be reviewed and approved by the community development department.
- b) A six-foot privacy fence shall be constructed along the full west property line.
- c) The refuse and vacuum enclosure shall match the design and colors of the primary building.
- d) Additional windows shall be incorporated into the south and east facades, to be reviewed and approved by the Community Development Department.
- e) The vacuum enclosure shall be relocated to the west side of the building.
- f) Sidewalks along Dove Avenue shall be installed as proposed.

- g) All required stormwater requirements and permits shall be met and obtained.
- h) Applicable permits through the City shall be obtained.
- i) Community development department shall have the authority to approve minor modifications to the plans.

Second by Thao

Motion carried (5 – 0)

4. **23-000123; Matt Burow** – request for a Site Plan Review to construct personal storage facilities on a portion of the parcel located at 1501 24<sup>th</sup> Street South (Parcel ID 3409200)

Kyle Kearns provided a review of the request recommending approval with the conditions outlined in the staff report.

Thad Kubisiak asked about the project valuation and Eric Daven inquired about paving requirements, to which Mr. Kearns responded.

Motion by Daven to approve the request for a Site Plan Review to construct personal storage facilities on a portion of the parcel located at 1501 24<sup>th</sup> Street South (Parcel ID 3409200), subject to the following conditions:

- a) A natural vegetation buffer shall remain on the north side of the site meeting the B-Type Bufferyard requirement.
- b) All required stormwater requirements and permits shall be met and obtained by the applicant.
- c) Site Plan Review approval is contingent upon Certified Survey Map (CSM) approval identifying the newly proposed lot.
- d) Fencing surrounding the outdoor storage area shall be 8 feet in height and opaque (solid or privacy slats).
- e) An updated landscaping plan shall be provided after the existing vegetation is surveyed by a landscape architect to ensure street frontage plantings are met.
- f) Applicable permits through the City shall be obtained.
- g) Community development department shall have the authority to approve minor modifications to the plans.

Second by Austin

Motion carried (5 – 0)

5. **24-000100; Consolidated Water Power Company** – public hearing and action on a request for a zoning map amendment to rezone 2721 5<sup>th</sup> Avenue North (Parcel ID 3400447A) from Rural Residential (RR) and Mixed Residential (R-2) District to General Industrial (M-1) District

Kyle Kearns provided a synopsis for agenda items 5 and 6. Approval was recommended for both items.

Public hearing opened at 4:22 p.m.

Speaking in favor: Marty Burkhardt, 610 High Street, Wisconsin Rapids

Speaking against: none

Public hearing closed at 4:24 p.m.

Motion by Kubisiak to approve the request for a zoning map amendment to rezone 2721 5<sup>th</sup> Avenue North (Parcel ID 3400447A) from Rural Residential (RR) and Mixed Residential (R-2) District to General Industrial (M-1) District; second by Daven.

Motion carried (5 – 0)

6. **24-000130; City of Wisconsin Rapids** – public hearing and action on a request for a zoning map amendment to rezone three unaddressed parcels at the southwest intersection of 5<sup>th</sup> Avenue North and West Riverview Expressway (STH 34), Parcel ID's 3400440, 3400454, and 3400333 from Rural Residential (RR) District to General Industrial (M-1) District

Public hearing opened at 4:25 p.m.

Speaking in favor: none

Speaking against: none

Public hearing closed at 4:26 p.m.

Motion by Goodreau to approve the request for a zoning map amendment to rezone three unaddressed parcels at the southwest intersection of 5<sup>th</sup> Avenue North and West Riverview Expressway (STH 34), Parcel ID's 3400440, 3400454, and 3400333 from Rural Residential (RR) District to General Industrial (M-1) District; second by Thao.

Motion carried (5 – 0)

7. **24-000131; City of Wisconsin Rapids** – public hearing and action on a request to amend Chapter 11 - Zoning Ordinance, Appendix B and Appendix C, specifically relating to twin home (zero-lot line) development standards, to clarify lot size, setbacks, and other requirements for the use

Mr. Kearns provided background information and a review of the request, recommending approval.

Public hearing opened at 4:28 p.m.

Speaking in favor: none

Speaking against: none

Public hearing closed at 4:29 p.m.

Motion by Goodreau to approve the request to amend Chapter 11 - Zoning Ordinance, Appendix B and Appendix C, specifically relating to twin home (zero-lot line) development standards, to clarify lot size, setbacks, and other requirements for the use; second by Austin.

Motion carried (5 – 0)

8. Adjourn

Motion by Thao to adjourn the meeting; second by Daven.

Meeting adjourned at 4:31 p.m.

Respectfully Submitted by Erika Esser, Secretary

**Administrative Staff Report**  
**Site Plan & Architectural Review**  
**Valvoline LLC – Oil Change Service**  
**1140 East Riverview Expressway**  
**March 28, 2024**



<p><b>Applicant(s):</b></p> <ul style="list-style-type: none"> <li>Valvoline LLC</li> </ul> <p><b>Staff:</b></p> <ul style="list-style-type: none"> <li>Kyle Kearns, Community Development Director</li> <li>Lizabeth Edwardsen, Community Development Specialist/Associate Planner</li> </ul> <p><b>Parcel Number(s):</b></p> <ul style="list-style-type: none"> <li>3411798</li> </ul> <p><b>Lot Information:</b></p> <ul style="list-style-type: none"> <li>Effective Frontage: 342.02 feet</li> <li>Effective Depth: 220.10 feet</li> <li>Square Footage: 35,005 sq feet</li> <li>Acreage: 0.80</li> </ul> <p><b>Zone(s):</b></p> <ul style="list-style-type: none"> <li>"B-2" General Commercial District</li> </ul> <p><b>Council District:</b></p> <ul style="list-style-type: none"> <li>District 8 - Bemke</li> </ul> <p><b>Master Plan:</b></p> <ul style="list-style-type: none"> <li>Commercial</li> </ul> <p><b>Current Use:</b></p> <ul style="list-style-type: none"> <li>Vacant</li> </ul> <p><b>Applicable Regulations:</b></p> <ul style="list-style-type: none"> <li>Chapter 11 - Zoning</li> </ul>	<p><b>Request</b></p> <p>24-000234; Valvoline LLC – request for a Site Plan Review to construct a vehicle service shop at 1140 East Riverview Expressway (Parcel ID 3411798).</p> <p><b>Attachment(s)</b></p> <ol style="list-style-type: none"> <li>Application</li> <li>Site Plan</li> <li>Landscape Plan</li> <li>Renderings</li> <li>Lighting Plan</li> </ol> <p><b>Findings of Fact</b></p> <ol style="list-style-type: none"> <li>The proposed project is to construct an oil change (vehicle) service shop.</li> <li>The property is zoned General Commercial (B-2) District.</li> <li>Vehicle service shops are a permitted use in the General Commercial (B-2) District.</li> <li>A building plan – architectural review (AR), plan of operation (PO), site plan (SP), and zoning permit (ZP) are required.</li> </ol> <p><b>Staff Recommendation</b></p> <p>Approve the request from the applicant for site plan review to construct a vehicle service shop at 1140 East Riverview Expressway (Parcel ID 3411798).</p> <ol style="list-style-type: none"> <li>An exception shall be included for overhead doors facing 12<sup>th</sup> Street.</li> <li>An updated lighting plan shall be submitted showing that light trespass does not exceed 0.2 foot candles on property lines to adjacent commercial uses.</li> <li>All required stormwater requirements and permits shall be met and obtained by the applicant.</li> <li>An updated landscaping plan shall be provided after the existing vegetation is surveyed by a landscape architect to ensure street frontage plantings are met.</li> <li>Applicable permits through the City shall be obtained.</li> <li>Community development department shall have the authority to approve minor modifications to the plans.</li> </ol>
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# Vicinity Map



# Site Photos



## Background

The applicant, Valvoline LLC, is requesting a site plan review to construct a new oil change service shop located at 1140 East Riverview Expressway. The property is zoned as General Commercial (B-2) District.

The site is surrounded by a mix of institutional, commercial, and residential property. The use definition is below, followed by standards of review.

**7.06 Vehicle service shop Description:** *A place where motor vehicles, such as cars, motorcycles, and light trucks, are serviced while the owner waits and typically are not left overnight. Examples include quick lube/oil change facilities, tire stores, car washes, and vehicle detailing.*

**Parking Requirements:** *1 space for each service bay; plus 1 for each employee on the largest work shift*

**Supplemental Standards:** *Motor vehicles shall not be serviced or repaired outside of the principal structure intended for such use, except when this use is located in an industrial zoning district, if otherwise allowed.*

The business will operate from 7:00 a.m. to 7:00 p.m.



## Standards of Review

### 1) Use

**Analysis:** A vehicle service shop (oil change service shop) is a permitted use within the B-2 General Commercial District.

**Findings:** The use is permitted and consistent with other uses in the B-2 General Commercial District. The hours of operation are well suited to commercial use. Note that a building plan – architectural review (AR), plan of operation (PO), site plan review (SP), and zoning permit (ZP) are required.

### 2) Dimensional Standards

**Analysis:** The B-2 district requires 10,000 square feet, and the lot is 35,005 square feet, well over the requirement. The building footprint is approximately 1,733 square feet. The building coverage ratio is about 4.8% meeting the 60 percent maximum requirement and impervious surface is 22,799 square feet approximately 65%, which meets the 80 percent maximum requirement.

**Findings:** The applicable dimensional standards appear to be met, including setbacks.

### 3) Ingress/Egress

**Analysis:** Three driveways are proposed for the site, which provide ingress and egress access to the site from the surrounding lots. Directional arrows show paths for traffic to go around the building or through the service station, and opportunity for entry/exit at each of the three driveways.

**Findings:** Driveway standards are met, and circulation is adequate to accommodate ingress and egress traffic to the property.

**4) Parking**

**Analysis:** The use requires 1 space for each service bay; plus 1 for each employee on the largest work shift. Additionally, onsite parking in front of the building shall not exceed 50% with Planning Commission approval.

**Findings:** The development meets the parking requirements with a total of 9 stalls, as well as the dimensional standards. 1 ADA approved accessible stall is included as well. However, 6 stalls west of the building slightly encroach within the front plane of the building, which results in over 50% of the parking being located in the front. Therefore, staff would recommend approval of up to 50% of the parking stalls in front of the principal building. This would result in the removal of a stall west of the building or relocated on site.

**5) Landscaping**

**Analysis:** A total of 60 landscape points shall be provided along the frontage, prorated for every 100 linear feet, meaning 205 points are required. Existing wooded vegetation is proposed to remain within the street frontage yard area bordering the expressway and 12<sup>th</sup> Street. The existing wooded vegetation species have not been defined on the landscaping plan, so staff are not able to verify whether the plan meets the point requirement. Building foundation landscaping is required for principal buildings. A total of 40 points, prorated for every 100 linear feet, meaning 69 points are required. The landscaping plan proposes 126 points, and staff counted over 126 points present on the landscaping plan, which is well over the requirement. For parking lot landscape requirements, a minimum of 100 landscape points shall be provided on a prorated basis for every 10,000 square feet of paved area, meaning 210 points are required. The landscaping plan proposes 190 points, and staff counted over 400 points present on the landscaping plan sheet.

**Findings:** Existing wooded vegetation will assist in screening the use from the roadway and can be utilized to meet the street frontage landscaping requirements. Staff would recommend an updated landscaping plan be provided after the existing vegetation is surveyed by a landscape architect to ensure street frontage plantings are met.

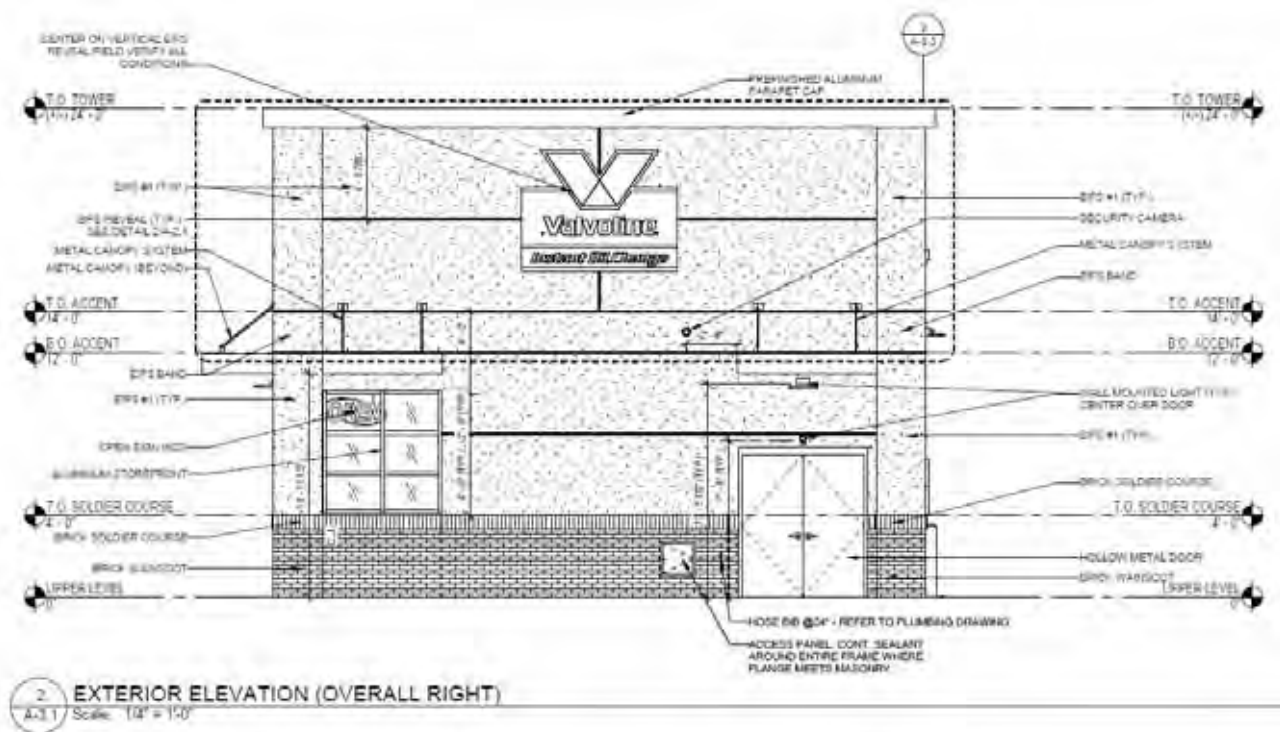


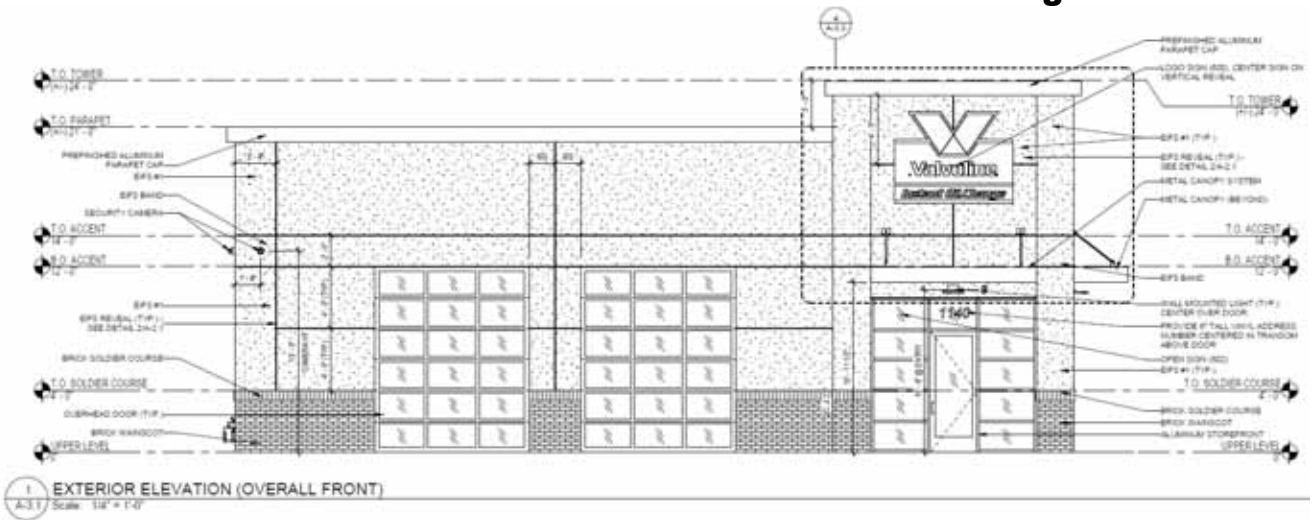


Building foundation plantings meet the landscape requirement. A mixture of tall trees and shrubs are proposed throughout the parking area to meet the parking lot landscape requirements. The keeping of existing mature street trees, and the plans for additional street frontage trees shall create a good aesthetic buffer of the use between surrounding uses.

6) Architectural Review

**Analysis:** Renderings have been submitted, showing façade finishing materials consisting primarily of EIFS, brick wainscot, and brick soldier course. The building will have a beige and reddish brown (brick) color scheme with brown accents and D-Series LED Wall Luminaire fixture lighting. The overhead doors will be finished with clear anodized aluminum. The trash enclosure will be constructed of a concrete masonry unit (CMU) wall with EIFS, soldier course, and brick wainscot exterior to match the building. The split gate for the enclosure will be composed of steel; steel gate posts will be concrete filled and painted brown. All exterior trash enclosure steel will be galvanized. The building faces east and west with overhead doors matching the direction, resulting in the overhead exit facing 12<sup>th</sup> Street.





**Findings:** From an architectural standpoint, the building contains aesthetically appealing features such as windows and bricklike material. Overhead doors face a public street; however, staff is recommending plan commission approve overhead doors to face east and west. This orientation is preferable to the overhead doors facing the expressway. With this placement, patrons can enter the property from 12<sup>th</sup> Street, drive around the building and through the overhead doors to exit on 12<sup>th</sup> Street.

7) Lighting & Photometric Plan

**Analysis:** Regulations for onsite lighting are related to light trespass (foot-candles) beyond the property line and total lighting levels (lumens). Lighting from the business use should not exceed 0.2 foot-candles at a neighboring commercial property line and 0.1 foot-candles at a neighboring residential property. A lighting plan has been provided, which identifies lighting on the building as well the paved areas.

**Findings:** The lighting plan mainly identifies 0.0-foot candle trespass at the property lines; however there are measurements in excess of the requirement. Staff recommend an updated plan showing the reduction in lighting amounts, showing they do not exceed 0.2 foot candles on property lines with adjacent commercial uses.

In summary, the proposed building and development plan provides an enhancement to the B-2 General Commercial District. Overall, the proposed building will be aesthetically pleasing. Planned landscaping, along with existing street trees will create a hidden environment from the roadway. Therefore, staff would recommend approval of the site plan and architectural review, subject to the items mentioned above and summarized as conditions on the first page of the staff report.



# Site Plan & Plan of Operation Application

## City of Wisconsin Rapids, Wisconsin

Version: January 3, 2019

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**Community Development Department**  
 444 West Grand Avenue  
 Wisconsin Rapids, WI 54495-2780  
 P: (715) 421-8228 Fax: (715) 421-8291

**Overview:** The Planning Commission reviews site plans and plans of operation for those land uses specifically requiring such review as listed in the land-use matrix (Appendix A of the zoning code).

**Governing regulations:** The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

**General instructions:** Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

**Application fee:** \$175.00 for new; \$125.00 for amendment of prior approval

Note: Site plan/plan of operation review and architectural review can be combined into one application fee.

**Application submittal deadline:** Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

**Mandatory meeting with staff:** To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

### Office Use Only

Date Received \_\_\_\_\_  
 Received By \_\_\_\_\_  
 Fee \_\_\_\_\_  
 Case # \_\_\_\_\_  
 Aldermanic District \_\_\_\_\_  
 Plan Commission Date \_\_\_\_\_

### 1. Applicant information

Applicant name Valvoline LLC

Street address 100 Valvoline Way

City, state, zip code Lexington, KY 40509

Daytime telephone number 210-859-3957

Email james.douthit@valvoline.com

**2. Agent contact information** Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

#### Agent 1

Name Nigel Tate

Company CESO, Inc

Street address 3601 Rigby Road, Suite 300

City, state, zip code Miamisburg, OH 45342

Daytime telephone number 937-401-3917

Email nigel.tate@cesoinc.com

#### Agent 2

### 3. Type of application (check all that apply)

Site plan Complete Part A, B and D

Plan of operation Complete Part A, C and D

**\*includes special exception for overhead doors facing public street**

New project

Amendment of prior approval (if any)

If an amendment, the date of last approval (if any): \_\_\_\_\_

**Part A. About the Property**

**4. Subject property information**

Physical address 1140 East Riverview Expressway, Wisconsin Rapids, WI 54494

Parcel number(s) 3411798

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

No

Yes

If yes, please explain.

**Comment:** Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

No

Yes

If yes, please explain.

**Comment:** Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

**5. Zoning information** (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

The subject property is located in the following base zoning district(s). (check all that apply)

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> RR Rural Residential                        | <input type="checkbox"/> R-8 Manufactured Home Park        | <input type="checkbox"/> M-1 General Industrial  |
| <input type="checkbox"/> R-1 Single-family Residential               | <input type="checkbox"/> B-1 Downtown Commercial           | <input type="checkbox"/> M-2 Heavy Industrial    |
| <input type="checkbox"/> R-2 Mixed Residential                       | <input checked="" type="checkbox"/> B-2 General Commercial | <input type="checkbox"/> I-1 Institutional       |
| <input type="checkbox"/> R-3 Multi-family Medium Density Residential | <input type="checkbox"/> B-3 Neighborhood Commercial       | <input type="checkbox"/> P-1 Park and Recreation |
| <input type="checkbox"/> R-4 Multi-family High Density Residential   | <input type="checkbox"/> B-5 Mixed Use Commercial          | <input type="checkbox"/> C-1 Conservancy         |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> Planned Development (PDD) | <input type="checkbox"/> Shoreland         | <input type="checkbox"/> Floodplain          |
| <input type="checkbox"/> Downtown Design           | <input type="checkbox"/> Shoreland-Wetland | <input type="checkbox"/> Wellhead Protection |

**Part B. Site Plan** (See the standards and requirements in Division 6 of Article 6.)

**6. Building type.** Which of the following building types best describes the building?

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> Townhouse     | <input checked="" type="checkbox"/> Commercial | <input type="checkbox"/> Industrial        |
| <input type="checkbox"/> Multi-family  | <input type="checkbox"/> Work/live             | <input type="checkbox"/> Parking structure |
| <input type="checkbox"/> Institutional |  |  |

Please refer to Appendix D for any design requirements that may apply.

Please refer to Appendix D for any design requirements that may apply.

**7. Encroachments.**

Aside from driveways connecting to the street, will any part of the proposed project encroach into a public right-of-way?

- No
- Yes

If yes, please explain.

Utility connections will encroach public right of way along 12th Street

**8. Site parameters (area in square feet or acres)**

Subject property	35,005 sq ft
Building coverage	1,668 sq ft
Outdoor storage	0 sq ft
Stormwater facilities	0 sq ft
Impervious surfaces	22,799 sq ft
Landscaping and other undeveloped areas	12,206 sq ft
Wetlands	0 sq ft
100-year floodplain	0 sq ft

Impervious surfaces include buildings, parking areas and driveways, sidewalks, decks, patios, and other types of 'hard' surfaces.

Attach appropriate documentation if there are any wetlands.

**9. Street access**

Name	New Access	Change to Existing Access	No Change to Existing Access
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**10. Traffic generation**

Will the proposed project create 500 trips per day or more?

- No
- Yes     Attach a traffic impact report to this application. See s. 11.06.151 of the zoning code for additional details.

Will the proposed project create 300 trips per day or more, but less than 500?

- No
- Yes     The city may require a traffic impact report as described in s. 11.06.151 of the zoning code. Please contact the Community Development Department for further guidance.

**11. Parking** (See the standards and requirements in Article 17 of the zoning code.)

Minimum number of required spaces	9	See Appendix B of the zoning code for parking requirements for the proposed land use(s).
Proposed number of spaces	11	If the number of proposed spaces exceeds what is required by more than 15 percent, the Planning Commission may grant a special exception to allow oversized parking areas. (See s. 11.17.03(r) of the zoning code.)
ADA van accessible spaces	1	

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 City of Wisconsin Rapids, Wisconsin  
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Other ADA accessible spaces	0	
Number of electric charging stations (if any)	0	Charging stations are not required, but are recommended.
Bicycle parking spaces	2	Bike parking is not required, but is recommended. (See s. 11.17.06 of the zoning code.)
Number of spaces in front of the building	5	The number of spaces in front of the building may be limited depending on the zoning district. (See Appendix C of the zoning code.)
Number of spaces on the side(s) of the building	0	
Number of spaces to the rear of the building	6	

**12. Outdoor lighting** (See the standards and requirements in Article 18 of the zoning code.)

	Number of Fixtures	Lumens
Building 1	3	3944
Building 2		
Building 3		
Parking lot 1	3	14097
Parking lot 2		
Parking lot 3		
Other		
Other		
Total	6	18041

Maximum lighting levels at each property boundary line (in footcandles):	0.4	Attach a photometric plan to this application along with manufacturer's cut sheets for the different kinds of light fixtures.
Height of parking lot lights above grade (if any):	20	

**13. Fencing.** Will the proposed project include fencing?

- No  
 Yes (See Article 15 of the zoning code for the standards and requirements that apply.)

If yes, please describe and/or attach a fencing plan.

**14. Stormwater.** Describe how stormwater generated on the site will be handled.

It will be collected via catch basins and piped into an existing storm sewer already serving the area. Runoff will be reduced via reduction of impervious coverage.

**15. Site plan.** Attach a site plan drawn to scale with the following information to the extent it applies to the proposed project. The items with an asterisk are required. Check those elements that are included.

Background Project Information	Buildings and Outdoor Storage/Activity Areas	Transportation Facilities (existing and proposed)
<input checked="" type="checkbox"/> Project name*	<input checked="" type="checkbox"/> Existing and proposed	<input checked="" type="checkbox"/> Streets
<input checked="" type="checkbox"/> Applicant name*	<input checked="" type="checkbox"/> Existing within 50 feet of subject property	<input checked="" type="checkbox"/> Driveways and road access onto public and private roads
<input checked="" type="checkbox"/> Preparation date/revision*	<b>Required Setbacks</b>	<input checked="" type="checkbox"/> Sidewalks and trails
<input checked="" type="checkbox"/> Name of preparer*	<input checked="" type="checkbox"/> Yard setbacks (front, side, rear and shore)	<input type="checkbox"/> Fire lanes (i.e., fire apparatus access)
	<input type="checkbox"/> On-site septic systems	<input type="checkbox"/> Clear visibility triangles (location and dimensions)
<b>Survey Information</b>	<input type="checkbox"/> On-site wells and off-site wells within 10 feet of the perimeter of the subject property	<b>On-Site Parking (existing and proposed)</b>
<input checked="" type="checkbox"/> North arrow and graphic scale*	<b>Landscaping Features (existing and proposed)</b>	<input checked="" type="checkbox"/> Access aisles and parking spaces by size
<input checked="" type="checkbox"/> Address of subject property or legal description*	<input type="checkbox"/> Fences, buffers, and berms	<input checked="" type="checkbox"/> Location of accessible parking spaces
<input checked="" type="checkbox"/> Property boundaries *	<input checked="" type="checkbox"/> Pervious and impervious surfaces by type	<input checked="" type="checkbox"/> Location and specifications/dimensions for accessibility ramps
<input checked="" type="checkbox"/> Acreage of subject property*	<input type="checkbox"/> Site amenities (benches, fountains, etc.)	<input checked="" type="checkbox"/> Type and location of on-site parking signs and traffic control signs
<b>Project Development Information</b>	<input checked="" type="checkbox"/> Existing trees and other prominent vegetation	<input checked="" type="checkbox"/> Surface materials for parking lot (e.g., concrete, bituminous concrete, pavers)
<input checked="" type="checkbox"/> Land use summary table by density/intensity and acreage*	<input checked="" type="checkbox"/> Trees / shrubs to be planted, including a plant list and specs.	<input type="checkbox"/> Snow storage areas
<input checked="" type="checkbox"/> Easements/rights-of-ways (location, width, purpose, ownership)	Trees / shrubs to be retained	<input checked="" type="checkbox"/> Areas designated for queuing of vehicles for drive-through facilities (e.g., car washes, drive-up service windows, etc.)
<input type="checkbox"/> Common areas/conservancy areas (location, purpose, ownership)	<b>Outdoor Lighting (existing and proposed)</b>	<input checked="" type="checkbox"/> Pedestrian walks between the parking lot and the building
<input type="checkbox"/> Land to be dedicated to the public (boundaries, area, purpose)	<input checked="" type="checkbox"/> Location	<input type="checkbox"/> Designated areas of a parking area for pedestrian walks
<b>Setting</b>	<input checked="" type="checkbox"/> Fixture specifications	<input type="checkbox"/> Loading lanes and loading docks
<input checked="" type="checkbox"/> Property boundaries within 50 feet of the subject property	<b>Stormwater Facilities (existing and proposed)</b>	<input checked="" type="checkbox"/> Stormwater drainage
<input checked="" type="checkbox"/> Land uses within 50 feet of the subject property	<input type="checkbox"/> Location	<input checked="" type="checkbox"/> Distance between parking areas and adjoining properties if less than 20 feet
<input type="checkbox"/> Zoning district boundaries within 50 feet of the subject property	<input type="checkbox"/> Specifications for each facility	<input checked="" type="checkbox"/> Areas designated for bicycle parking
<input type="checkbox"/> Municipal boundaries within 50 feet of the subject property	<b>Utilities (existing and proposed)</b>	<b>Signs (existing and proposed)</b>
<b>Site Features (existing and proposed)</b>	<input checked="" type="checkbox"/> Location	<input checked="" type="checkbox"/> Location
<input checked="" type="checkbox"/> Ground contours when slopes exceed 8 percent	<input checked="" type="checkbox"/> Type (sewer, telephone, etc.) (buried or overhead, if applicable)	<input type="checkbox"/> Specifications for each sign including type, height, dimensions, lighting, and other factors considered during the review process
<input type="checkbox"/> Wetlands	<input checked="" type="checkbox"/> Size/capacity, if applicable	
<input type="checkbox"/> Woodlands		
<input type="checkbox"/> Wildlife habitat, including critical wildlife habitat		
<input type="checkbox"/> Environmentally sensitive features		
<input type="checkbox"/> Water resources (rivers, ponds, etc.) and ordinary high-water mark for navigable waters		
<input type="checkbox"/> Floodplain boundaries and elevations of the same		

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**Part C. Plan of Operation**


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**16. Operating conditions**

Hours of operation:	Typical Hours: Sun - Sat 7a - 7p	
Estimated number of full-time employees	5	
Estimated number of part-time employees		
Maximum number of employees onsite at peak hours	5	
Will the proposed business operation create any noise outside of the building?	No	Refer to s. 11.06.147 of the zoning code.
Will the proposed business operation create any emissions (e.g., fumes, smoke, steam, vapor, dust,) to the atmosphere?	No	Refer to s. 11.06.148 of the zoning code.
Will the proposed business operation create any vibrations outside of the building?	No	Refer to s. 11.06.149 of the zoning code.
Will the proposed business operation involve any explosives or other flammable materials?	No, oil storage in tanks considered combustible not flammable	Refer to s. 11.06.150 of the zoning code.
Will the proposed business operation involve any radioactive materials?	No	
Will the proposed business operation create special needs for wastewater disposal?	No	
Will the proposed business operation require unusually high levels of public water?	No	

**17. Licensing.** What kind of federal, state, county or city licensees will be required to operate the proposed business?

N/A

---

**Part D. Other**


---

**18. Attachments** List any attachments included with your application.

Site Plans

**19. Other information** You may provide any other information you feel is relevant to the review of your application.

Application includes request for special exceptions to allow overhead doors facing public road and possibly for parking

**20. Mandatory meeting with staff**

When did you meet with the Community Development Director?

01/2023

Month/year



Site Plan & Plan of Operation Application  
City of Wisconsin Rapids, Wisconsin  
Page 7

---

**21. Applicant certification**

- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Tom Richards

\_\_\_\_\_  
Name – print

DocuSigned by:

*Tom Richards*

2C35C33B59A7473...

\_\_\_\_\_  
Name – Signature

3/15/2024

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name – print

\_\_\_\_\_  
Name – Signature

\_\_\_\_\_  
Date

# OWNER'S LETTER OF AUTHORIZATION

As the owner of the property located at:

1140 East Riverview Expressway

(street address)

Wisconsin Rapids, WI 54494

(city, state, zip)

I hereby authorize **Valvoline** and its agents to act as my agent in obtaining the required and necessary permits, licenses, and approvals for all site improvements at the above address, and to proceed with the installation if in accordance with all governing laws, statutes and ordinances.

DocuSigned by:

*Tom Richards*

2C35C33B59A7473...

**Signature:** \_\_\_\_\_

**Print Name:** Tom Richards

**Title:** Member

**Company Name & Address:** Cool Investment LLC

PO Box 13024

Scottsdale, AZ 85267

480-628-5331

**Phone Number:** \_\_\_\_\_

**Email:** twr@twrcompany.com

**Date:** \_\_\_\_\_



FLOOD INSURANCE RATE MAP (N.T.S.)



DRAWING INDEX AND ISSUANCE LOG

SHEET #	SHEET NAME	DATE	ISSUE											
			3/23/24	OWNER REVIEW SET	02/20/24	PERMIT SET	11/01/23	REVISION 1	11/01/23	REVISION 2	11/01/23	REVISION 3	11/01/23	REVISION 4
C-0	COVER SHEET		*	*	*	*	*	*	*	*	*	*	*	*
C-1.0	SITE PLAN		*	*	*	*	*	*	*	*	*	*	*	*
C-1.1	DEMOLITION PLAN		*	*	*	*	*	*	*	*	*	*	*	*
C-2.0	PAVING PLAN		*	*	*	*	*	*	*	*	*	*	*	*
C-2.1	GRADING PLAN		*	*	*	*	*	*	*	*	*	*	*	*
C-4.0	PRE-DEVELOPMENT PLAN		*	*	*	*	*	*	*	*	*	*	*	*
C-4.1	POST-DEVELOPMENT PLAN		*	*	*	*	*	*	*	*	*	*	*	*
C-4.2	DRAINAGE PLAN		*	*	*	*	*	*	*	*	*	*	*	*
C-5.0	EROSION CONTROL PHASE I		*	*	*	*	*	*	*	*	*	*	*	*
C-5.1	EROSION CONTROL PHASE II		*	*	*	*	*	*	*	*	*	*	*	*
C-6.0	EROSION CONTROL DETAILS		*	*	*	*	*	*	*	*	*	*	*	*
C-6.1	UTILITY PLAN		*	*	*	*	*	*	*	*	*	*	*	*
C-7.0	DETAILS		*	*	*	*	*	*	*	*	*	*	*	*
C-7.1	DETAILS		*	*	*	*	*	*	*	*	*	*	*	*
C-7.2	DETAILS		*	*	*	*	*	*	*	*	*	*	*	*
C-8.0	PHOTOMETRIC PLAN		*	*	*	*	*	*	*	*	*	*	*	*
L-1.0	LANDSCAPE PLAN		*	*	*	*	*	*	*	*	*	*	*	*
L-2.0	IRRIGATION PLAN		*	*	*	*	*	*	*	*	*	*	*	*
L-3.0	LANDSCAPE DETAILS		*	*	*	*	*	*	*	*	*	*	*	*
ATTACHMENT			*	*	*	*	*	*	*	*	*	*	*	*
	ALTA SURVEY		*	*	*	*	*	*	*	*	*	*	*	*

THIS SET OF DRAWINGS IS BASED ON THE 2023 Q4 DESIGN STANDARDS

SITE DEVELOPMENT PLAN



1140 EAST RIVERVIEW EXPRESSWAY  
WISCONSIN RAPIDS  
WOOD COUNTY, WI 54494  
ZONING: B-2



CONTACTS:

<b>PRE-CONSTRUCTION P.M.</b> Valvoline Instant Oil Change Jim Douthitt 100 Valvoline Way Lexington, KY 40509 Bus: (210) 859-3957	<b>CONSTRUCTION P.M.</b> Julie Gehlert 100 Valvoline Way Lexington, KY 40509 Bus: (559) 916-1908	<b>LUBE EQUIPMENT SUPPLIER</b> Devon Industries, Inc. Brian Sloops P.O. Box 270514 Bus: (405) 868-5665
<b>CIVIL P.M.</b> CESO, Inc. Nigel Tate 3601 Rigby Road, Suite 300 Miamisburg, OH 45342 Bus: (937) 401-3917 nigel.tate@cesoinc.com	<b>ARCHITECT</b> CESO, Inc. Adam Walter 3601 Rigby Road, Suite 300 Miamisburg, OH 45342 Bus: (937) 240-4109 Adam.Walter@cesoinc.com	<b>LANDSCAPE ARCHITECT</b> CESO, Inc. Edward Browder 1000 Legion Place, Suite 800 Orlando, FL 32801 Bus: (407) 521-4820 Edward.Browder@cesoinc.com
<b>STRUCTURAL ENGINEER</b> SMBH Structural Engineering Eric Altshoff 1166 Dublin Road, Suite 200 Columbus, OH 43215 Bus: (614) 481-9800 Dir: (614) 643-5584	<b>PLANNING &amp; ZONING</b> Wisconsin Rapids Planning & Zoning Kyle Keorns 444 W. Grand Avenue Wisconsin Rapids, WI 54495 Dir: (715) 421-8225 kkeorns@wirapids.org	<b>FIRE</b> Division Chief of Fire Justin Pluess 444 W. Grand Avenue Wisconsin Rapids, WI 54495 Dir: (715) 421-6281 jpluess@wirapids.org
<b>PUBLIC WORKS</b> City Engineer Joe Eichstedt 444 W. Grand Avenue Wisconsin Rapids, WI 54495 Dir: (715) 421-8251 jeichstedt@wirapids.org	<b>STORMWATER</b> City Engineer Joe Eichstedt 444 W. Grand Avenue Wisconsin Rapids, WI 54495 Dir: (715) 421-8251 jeichstedt@wirapids.org	<b>WATER/WASTEWATER</b> City Engineer Joe Eichstedt 444 W. Grand Avenue Wisconsin Rapids, WI 54495 Dir: (715) 421-8251 jeichstedt@wirapids.org
<b>ELECTRIC</b> WI Rapids Waterworks & Lighting Commission Jacob Johnson 221 16th Street South Wisconsin Rapids, WI 54494 Dir: (715) 423-6326 jacob.johnson@wrwlc.com	<b>GAS</b> Wisconsin Gas Tommy Able Dir: (715) 421-7276	<b>TELEPHONE</b> Spectrum Bus: (844) 493-4458

OWNER/DEVELOPER:  
VALVOLINE, LLC  
CONTACT: JIM DOUTHITT

100 VALVOLINE WAY  
LEXINGTON, KY 40509  
(210) 859-3957

ENGINEER:



CONTACT: NIGEL TATE  
3601 RIGBY ROAD  
MIAMISBURG, OH 45342  
(937) 401-3917

SURVEYOR

ALTA/NSPS LAND TITLE SURVEY  
ATWELL  
1250 EAST DIEHL ROAD, SUITE 300  
NAPERVILLE, IL 60563  
(866) 850-4200  
SURVEYOR'S PROJECT NO. 23006945  
JOB NO. 761370-01

GEOTECHNICAL ENGINEER:

GILES ENGINEERING ASSOCIATES, LLC  
N8 W22350 JOHNSON DR. SUITE A1  
WAUKESHA, WI 53186  
(262) 544-0118  
PROJECT NO. 1G-231034



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DATE	ISSUE
03/26/2024	OWNER REVIEW SET
03/20/2024	PERMIT SET



PROFESSIONAL LICENSE NO. E-36072-006  
PROFESSIONAL IN CHARGE: JEFFREY A. HEBBITTS  
PROJECT MANAGER: NET  
QUALITY CONTROL: SFP  
DRAWN BY: DJH  
PROJECT NAME:



VALVOLINE INSTANT OIL CHANGE  
WISCONSIN RAPIDS, WI

PROJECT NUMBER: 761370-01  
SHEET NAME:

COVER

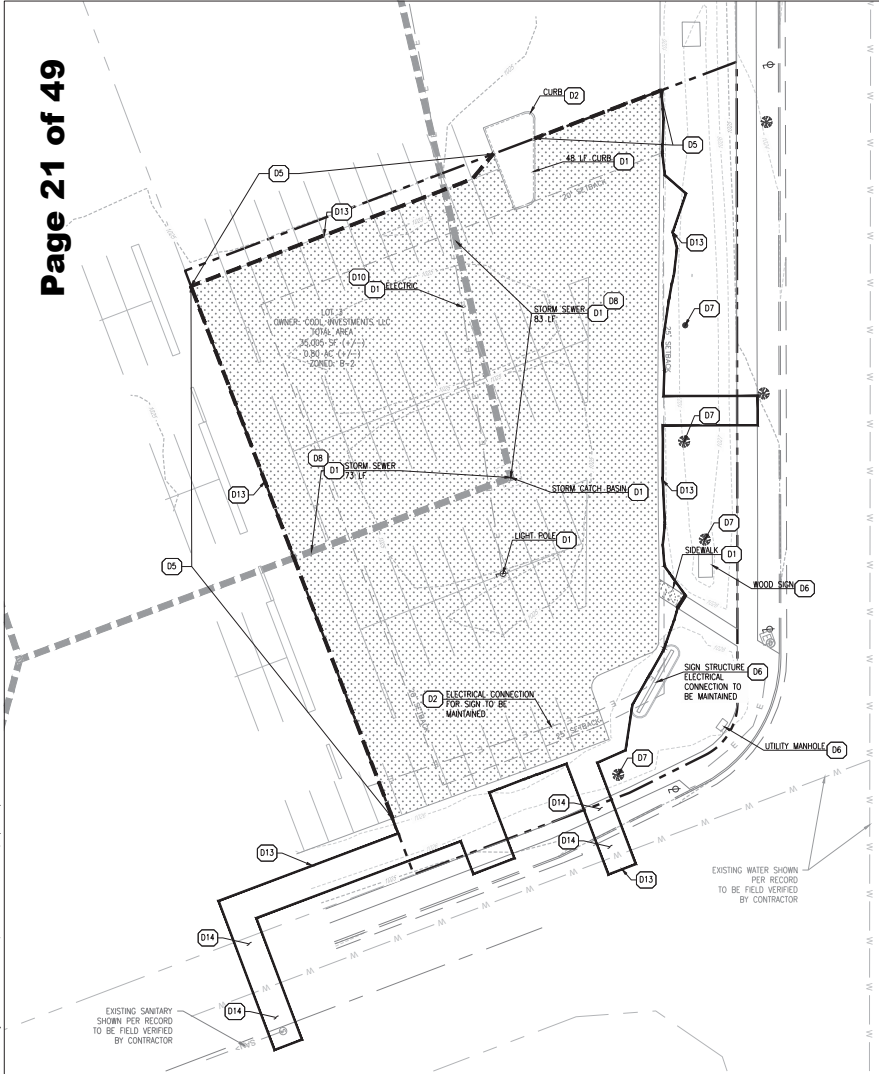
SHEET#

C-0,0



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: WISCONSIN UTILITIES PROTECTION SERVICE AT 811 OR 800-342-8511 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE MEMBERS OF STATE UTILITIES PROTECTION SERVICE.





SEVENTY-TWO (72) HOURS BEFORE BEGINNING TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: WISCONSIN UTILITIES PROTECTION SERVICE AT 811 OR 800-342-8511 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



GENERAL DEMOLITION NOTES:

- ANY DEMOLITION IS TO BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE CITY, COUNTY AND STATE, AND/OR GOVERNING BODY'S STANDARDS.
- THE DEMOLITION PLAN SHALL BE DONE IN CONJUNCTION WITH THE GEOTECHNICAL INVESTIGATION REPORT.
- EROSION AND SEDIMENT CONTROL MEASUREMENTS SHALL BE MAINTAINED AT ALL TIMES DURING DEMOLITION.
- THE PURPOSE OF THIS DRAWING IS TO CONVEY THE OVERALL SCOPE OF WORK AND IT IS NOT INTENDED TO COVER ALL DETAILS OR SPECIFICATIONS REQUIRED TO COMPLY WITH GENERALLY ACCEPTED DEMOLITION PRACTICES. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE SITE, SCOPE OF WORK, AND ALL EXISTING CONDITIONS AT THE JOB SITE PRIOR TO BIDDING AND COMMENCING THE WORK. THE DEMOLITION CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, OR PROCEDURES USED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND IS LIABLE FOR THE SAFETY OF THE PUBLIC OR CONTRACTOR'S EMPLOYEES DURING THE COURSE OF THE PROJECT.
- THE DEMOLITION PLAN IS INTENDED TO SHOW REMOVAL OF KNOWN SITE FEATURES AND UTILITIES AS SHOWN ON THE SURVEY. THERE MAY BE OTHER SITE FEATURES, UTILITIES, STRUCTURES, AND MISCELLANEOUS ITEMS BOTH BURIED AND ABOVE GROUND THAT ARE WITHIN THE LIMITS OF WORK THAT MAY NEED TO BE REMOVED FOR THE PROPOSED PROJECT THAT ARE NOT SHOWN HEREON. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF SUCH ITEMS AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO DEMOLITION TO COORDINATE DISCONNECTION AND REMOVAL OF EXISTING UTILITIES WITHIN THE AREA OF WORK.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ARE INTENDED TO CONTINUE TO PROVIDE SERVICE WHETHER THESE UTILITIES ARE SHOWN ON THE PLAN OR NOT.
- UPON DISCOVERY OF ANY UNDERGROUND TANKS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE. NO REMOVAL OF TANKS SHALL OCCUR UNTIL AUTHORIZED BY OWNER.
- BUILDING AND APPURTENANCES DESIGNATED FOR DEMOLITION SHALL NOT BE DISTURBED BY THE CONTRACTOR UNTIL HE HAS FURNISHED WITH NOTICE TO PROCEED BY THE OWNER. AS SOON AS SUCH NOTICE HAS BEEN GIVEN, THE CONTRACTOR SHALL PERFORM THE DEMOLITION, UNDER THE DIRECTION OF THE OWNER'S REPRESENTATIVE.
- ALL EXISTING UTILITIES WITHIN THE EXISTING BUILDING ARE TO BE REMOVED, WHERE CONFLICTS OCCUR WITH GRADE, BEAMS, PILES, PROPOSED UTILITIES AND TRENCH BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS AND GEOTECHNICAL REPORT.
- FOUNDATIONS, FLOORS, FLOOR SLABS, AND ANY OTHER UNDERGROUND BUILDING STRUCTURES SHALL BE REMOVED IN ACCORDANCE WITH THE SPECIFICATIONS. AREAS OF STRUCTURE REMOVAL SHALL BE BACKFILLED IN ACCORDANCE WITH SPECIFICATIONS AND THE GEOTECHNICAL REPORT.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL CITY, STATE, AND FEDERAL LAWS AND ORDINANCES.
- ALL MATERIAL, EXCEPT THAT BELONGING TO A PUBLIC UTILITY COMPANY OR DENOTED FOR SALVAGE, SHALL REMAIN PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE OWNER OF WATER, ELECTRIC, OR GAS METERS WHEN THE METERS ARE READY FOR REMOVAL, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING ALL UTILITIES IN COMPLIANCE WITH LOCAL REQUIREMENTS. DISCONNECT TRANSFORMERS AS REQUIRED FOR BUILDING DEMOLITION.
- AS SOON AS DEMOLITION WORK HAS BEEN COMPLETED, THE FINAL GRADE OF BACKFILL IN DEMOLITION AREAS SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT TO PRESENT A NEAT, WELL DRAINED APPEARANCE, AND TO PREVENT WATER FROM DRAINING UNNECESSARILY ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL GRADE SITE TO EXISTING STORM DRAINAGE SYSTEM TO REMAIN ON SITE.
- EXISTING TREES TO REMAIN SHOULD BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION.
- THE CONTRACTOR IS TO COORDINATE WORK IN THIS PROJECT TO ENSURE ACCESS TO ADJACENT PROPERTIES AT ALL TIMES.
- THE USE OF EXPLOSIVES SHALL NOT BE PERMITTED.

DEMOLITION KEY NOTES

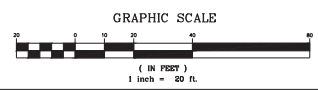
- D1 EXISTING TO BE REMOVED
- D2 EXISTING TO REMAIN
- D5 LIMITS OF SAWCUT AND FULL DEPTH PAVEMENT REMOVAL
- D6 EXISTING STRUCTURE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION PHASES.
- D7 EXISTING TREE(S) TO BE PROTECTED
- D8 CONTRACTOR TO COORDINATE WITH LL/PROPERTY OWNER FOR REMOVAL AND/OR POINT OF CONNECTION. INSTALL NEW SEWER PRIOR TO DISTURBING EXISTING CONNECTION
- D10 CONTRACTOR TO COORDINATE WITH LL/PROPERTY OWNER FOR REMOVAL AND/OR POINT OF CONNECTION
- D13 DEMOLITION LIMITS
- D14 CURB, SIDEWALK, & PAVEMENT UTILITY TRENCH REPAIR. MATCH EXISTING CROSS SECTIONS

EXISTING LEGEND:

	EXISTING CATCH BASIN/MANHOLE
	EXISTING ELECTRIC HAND HOLE
	EXISTING SIGN
	EXISTING TRAFFIC SIGNAL
	EXISTING LIGHT POLE
	BOUNDARY LINE
	BOUNDARY ADJACENT / ROW LINE
	EASEMENT LINE
	UNDERGROUND STORM LINE
	UNDERGROUND SANITARY LINE
	UNDERGROUND WATER LINE
	UNDERGROUND GAS LINE
	UNDERGROUND ELECTRIC LINE
	EXISTING GROUND CONTOUR
	EXISTING CURB LINE
	EXISTING CONIFEROUS TREE
	EXISTING DECIDUOUS TREE

PROPOSED LEGEND:

	PROPERTY LINE
	PROPOSED SLAB CUT
	PROPOSED CONCRETE TO BE REMOVED.
	PROPOSED ASPHALT TO BE REMOVED.



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DATE	ISSUE
05/06/2024	OWNER REVIEW SET
03/20/2024	PERMIT SET



PROFESSIONAL LICENSE NO. E-36072-006  
PROFESSIONAL IN CHARGE: JEFFREY A. TIBBITTS  
PROJECT MANAGER: NET  
QUALITY CONTROL: SMP  
DRAWN BY: DJH  
PROJECT NAME:



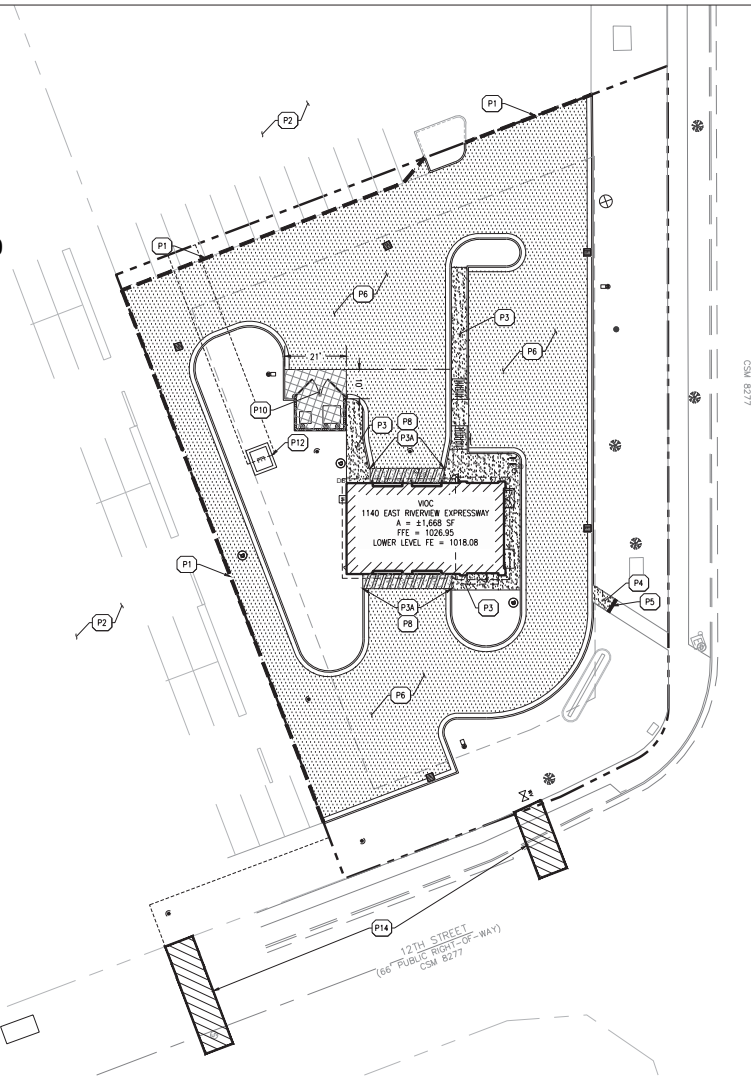
VALVOLINE INSTANT OIL CHANGE  
WISCONSIN RAPIDS, WI

PROJECT NUMBER: 76150-01  
SHEET NAME:

DEMOLITION PLAN

SHEET #

C-1.1



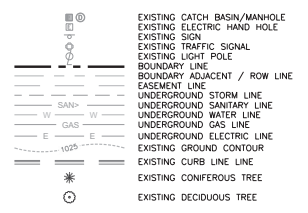
**GENERAL PAVING NOTES:**

1. CONTRACTOR MUST SECURE ALL NECESSARY PERMITS PRIOR TO STARTING WORK.
2. IF THE CONTRACTOR, IN THE COURSE OF THE WORK, FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE HIS DUTY TO IMMEDIATELY INFORM THE ENGINEER. IN WRITING, AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
4. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE STATE AND LOCAL GOVERNMENT AGENCY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
5. ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODE.
6. NOTIFY THE COUNTY INSPECTOR TWENTY-FOUR (24) HOURS BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
7. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS, AND STAKES.
8. ARCHITECTURAL PLANS ARE TO BE USED FOR BUILDING STAKE OUT.
9. ALL DIMENSIONS ARE FROM FACE OF BUILDING, CURB, AND WALL UNLESS OTHERWISE SPECIFIED ON PLANS.
10. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
11. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATION.
12. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
13. ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE AND LOCAL GOVERNMENT AGENCY SPECIFICATIONS.
14. STANDARD/HEAVY DUTY PAVEMENT AND CONCRETE SECTIONS SHALL FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY GILES ENGINEERING ASSOCIATES, LLC DATED DECEMBER 21, 2023.

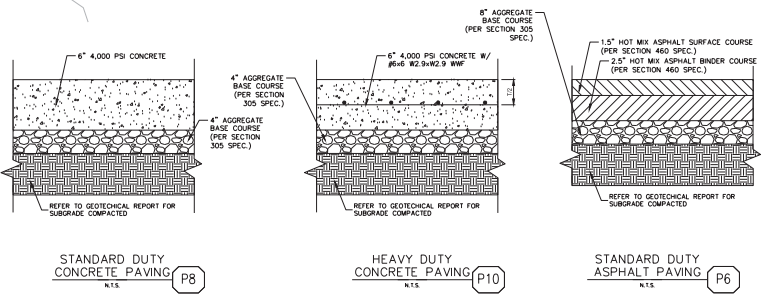
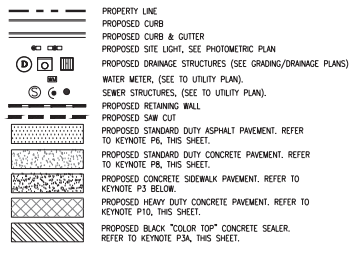
**PAVING KEY NOTES**

- P1 MATCH EXISTING PAVEMENT ELEVATION
- P2 EXISTING PAVEMENT TO REMAIN
- P3 CONCRETE SIDEWALK (PER VOC STD ON C-7.0)
- P3A BLACK "COLOR TOP" CONCRETE SEALER BY SHERWIN WILLIAMS
- P4 CONCRETE SIDEWALK (PER LOCAL CODES)
- P5 MATCH EXISTING SIDEWALK ELEVATIONS.
- P6 STANDARD DUTY ASPHALT PAVING (SEE PAVING DETAIL)
- P8 STANDARD DUTY CONCRETE PAVING (SEE PAVING DETAIL)
- P10 DUMPSITER PAD TO BE HEAVY DUTY CONCRETE (PER PAVING DETAIL)
- P12 CONCRETE PAD (PER UTILITY PROVIDER STANDARDS)
- P14 SIDEWALK, CURB, AND PAVEMENT REPAIR. MATCH EXISTING CROSS SECTIONS

**EXISTING LEGEND:**



**PROPOSED LEGEND:**



**PAVING NOTES:**

1. REFER TO GEOTECHNICAL REPORT BY GILES ENGINEERING ASSOCIATES, LLC, DATED DECEMBER 21, 2023 OR ITS LATEST REVISION, FOR ADDITIONAL RECOMMENDATIONS AND REQUIREMENTS. IF ANY CONFLICT WITH THESE DETAILS, THE MORE STRINGENT SPECIFICATION SHALL APPLY.

SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES, WISCONSIN UTILITIES PROTECTION SERVICE AT 811 OR 800-343-8511 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



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DATE	ISSUE
07/26/2024	OWNER REVIEW SET
03/29/2024	PERMIT SET



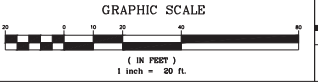
PROFESSIONAL LICENSE NO. E-36072-006  
PROFESSIONAL IN CHARGE: JEFFREY A. TIBBITTS  
PROJECT MANAGER: NET  
QUALITY CONTROL: SMP  
DRAWN BY: DJP  
PROJECT NAME:



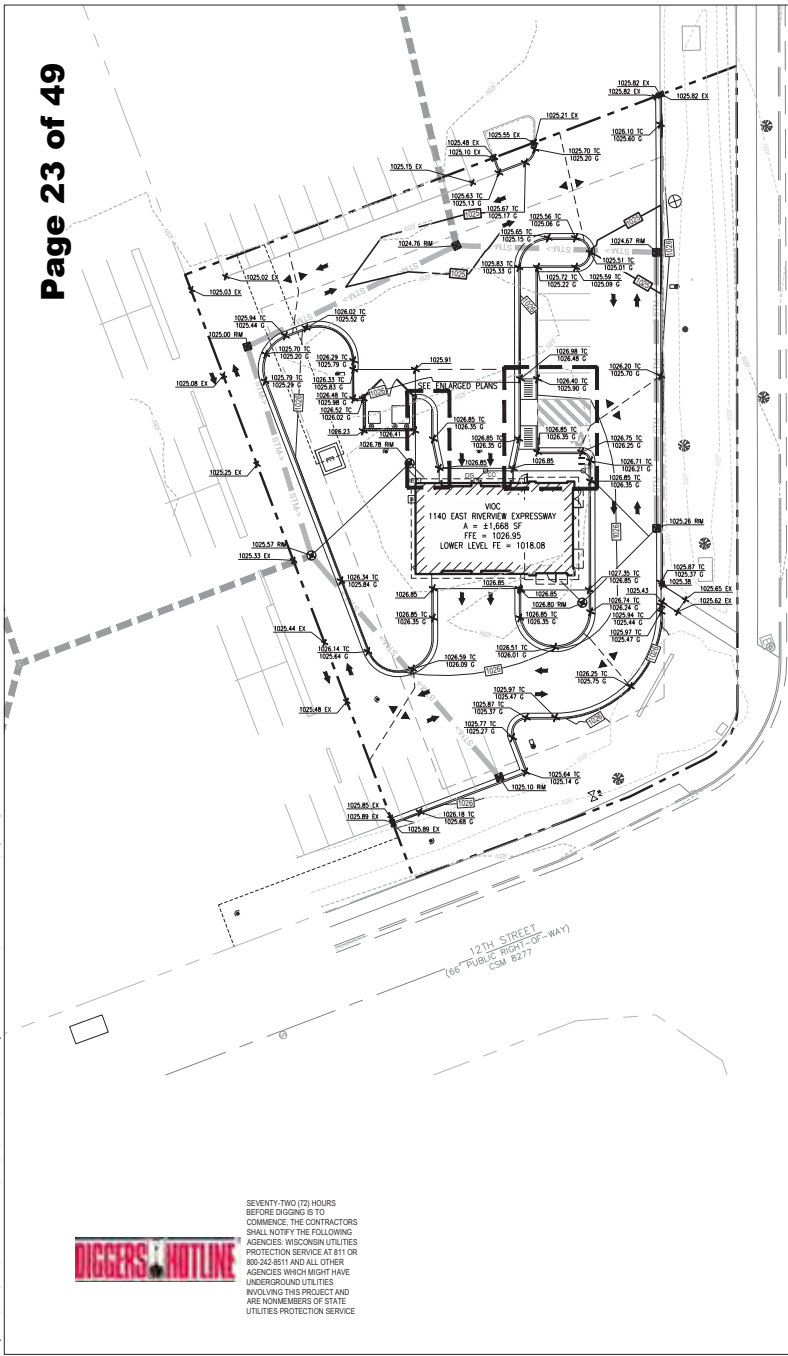
**VALVOLINE INSTANT OIL CHANGE**  
WISCONSIN RAPIDS, WI

PROJECT NUMBER: 78170-01  
SHEET NAME:

**PAVING PLAN**



SHEET#  
C-2,0



EAST RIVERVIEW  
(100' PROGRESSIVE - MAX)  
(100' PROGRESSIVE - MAX)  
CSM 8277

GENERAL GRADING/DRAINAGE NOTES:

1. ALL GRADING AND SITE PREPARATION SHALL CONFORM WITH SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT.
2. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE CITY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
3. PRIOR TO ANY EXCAVATION OF THE PROJECT SITE, THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS AND STAKES.
5. ALL INDICATED ELEVATIONS ARE FINISHED ELEVATIONS.
6. FIELD VERIFY LOCATIONS, SIZES AND IF APPLICABLE INVERTS OF EXISTING UTILITIES FOR PROPOSED CONNECTIONS PRIOR TO CONSTRUCTION.
7. LOCATE AND PROTECT ALL UTILITIES ASSOCIATED WITH THE PROJECT PRIOR TO CONSTRUCTION.
8. INSTALL SILT CONTROL MEASURES BEFORE BEGINNING SITE WORK. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
9. MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION. PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
10. INSTALL ALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO GRADING.
11. CUT AND FILL SLOPES SHALL HAVE A MAXIMUM SLOPE OF 2:1.
12. ALL EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILE TOPSOIL, REMOVING UNSUITABLE MATERIALS, THE CONSTRUCTION OF EMBANKMENTS, CONSTRUCTION FILLS, AND THE FINAL SHAPING AND TRIMMING TO THE LINES AND GRADES SHOWN ON THE PLANS.
13. ALL TREES, BRUSH, AND ORGANIC TOPSOIL AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED, UNLESS OTHERWISE SPECIFIED, AND DISPOSED OF AT AN OFF-SITE LOCATION, WITH THE EXCEPTION THAT EXCESS TOPSOIL SHALL BE RETAINED FOR RESTORED AND GENERAL LANDSCAPING AREAS WHICH ARE TO BE FILLED SHALL BE COMPACTED TO A MAXIMUM DENSITY OF 95% AS DETERMINED BY THE MODIFIED ASPHTO COMPACTION TEST IN THE PAVED AREAS AND 85% IN THE OTHER AREAS.
14. STRIP AND STOCKPILE TOPSOIL. SPREAD FOUR (4) INCHES MINIMUM OF TOPSOIL ON LANDSCAPE AREAS AND REMOVE EXCESS TOPSOIL FROM SITE. PREPARE SUB-GRADE FOR PAVEMENT AND CURBS AND BACKFILL CURBS AFTER CURB CONSTRUCTION.
15. PROVIDE SUPPLY OF TOPSOIL FOR LANDSCAPE CONTRACTOR FOR INSTALLATION IN ALL LANDSCAPE ISLANDS.
16. PROVIDE AND INSTALL TOPSOIL IN DISTURBED AREAS TO BE GRASSED, TO INCLUDE PAVEMENT SHOULDERS AND DETENTION AREAS.
17. ALL EARTHWORK AND BASE COURSE FOR THE PARKING AREA SHALL BE COMPACTED TO A MINIMUM OF 95% MODIFIED LABORATORY DENSITY. CERTIFICATION SAND COMPACTION SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER, OR HIS/HER REPRESENTATIVE, PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL. BOTH PROOF ROLLING AND COMPACTION TESTING MUST BE APPROVED AND WITNESSED BY THE ENGINEER OR OWNER REPRESENTATIVE.
18. THE PAVEMENT SUBGRADE AND BASE COURSE MATERIAL SHALL BE INSPECTED AND APPROVED BY THE ENGINEER OR OWNER REPRESENTATIVE PRIOR TO CONSTRUCTING THE BASE AND SURFACE COURSES THEREON.
19. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO ALL INLETS AND CATCH BASINS. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
20. IF AREAS ARE DISTURBED BEYOND PROPOSED GRADES BY NEGLIGENCE OF THE CONTRACTOR, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY REGRADING OR REPAIR TO MATCH ORIGINAL EXISTING CONDITIONS.
21. SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH ALL O.S.H.A AND LOCAL REGULATIONS.
22. STRUCTURES FOR STORM SEWERS SHALL BE IN ACCORDANCE WITH THESE IMPROVEMENT PLANS AND THE APPLICABLE STANDARD SPECIFICATIONS. WHERE GRANULAR FRENCH BACKFILL IS REQUIRED AROUND THESE STRUCTURES, THE COST SHALL BE CONSIDERED AS INCIDENTAL AND SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE STRUCTURE.
23. CONFIRM INVERTS OF ALL EXISTING STORM INLETS AND SANITARY SEWER MANHOLES BEFORE COMMENCING CONSTRUCTION.
24. ALL STORM SEWER LINES 18"-54" DIAMETER ARE TO BE REINFORCED CONCRETE PIPE ACCORDING TO ASTM C-76 TYPE III, UNLESS OTHERWISE SPECIFIED ON PLANS.
25. A GEOTEXTILE MATTING (LANDLOCK TRM 450 OR EQUIVALENT) SHALL BE USED FOR EROSION CONTROL ON ALL SLOPES GREATER THAN 3:1V.
26. DRAINAGE STRUCTURES AND DETENTION POND SHALL BE MAINTAINED BY PROPERTY OWNERS.
27. CONTRACTOR SHALL ADHERE TO PROPOSED GRADES ALONG CREEKS, ESPECIALLY IN THE AREA OF THE PROPOSED DETENTION POND. IF AREAS ARE DISTURBED BEYOND PROPOSED GRADES BY NEGLIGENCE OF THE CONTRACTOR, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY PENALTIES INCURRED.
28. ALL PROPOSED SPOT ELEVATIONS SHOWN INDICATE FINISHED GRADED ELEVATIONS AT EDGE OF PAVEMENT AND/OR GRADE BREAKS, UNLESS OTHERWISE NOTED.
29. SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.
30. PIT EXCAVATION REQUIRED TO BE COMPLETED BY CONTRACTOR

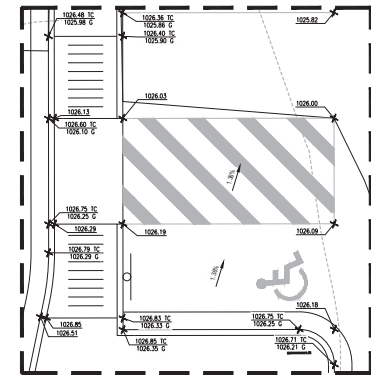
EXISTING LEGEND:

- ⊕ EXISTING CATCH BASIN/MANHOLE
- ⊕ EXISTING ELECTRIC HAND HOLE
- ⊕ EXISTING SIGN
- ⊕ EXISTING TRAFFIC SIGNAL
- ⊕ EXISTING LIGHT POLE
- BOUNDARY LINE
- BOUNDARY ADJACENT / ROW LINE
- EASEMENT LINE
- UNDERGROUND STORM LINE
- UNDERGROUND SANITARY LINE
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- UNDERGROUND ELECTRIC LINE
- EXISTING GROUND CONTOUR
- EXISTING CURB LINE LINE
- ⊕ EXISTING CONIFEROUS TREE
- ⊕ EXISTING DECIDUOUS TREE

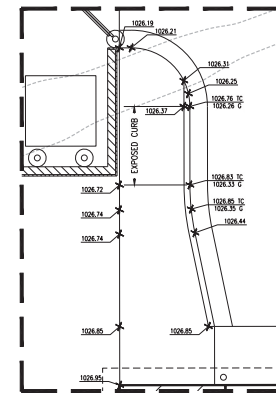
PROPOSED LEGEND:

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- PROPOSED CURB
- PROPOSED CONTOUR
- PROPOSED STORM SEWER PIPE
- DRAINAGE SLOPE AND DIRECTION
- RM ELEVATION
- EXISTING SPOT ELEVATION
- TOP OF CURB
- GUTTER

ENLARGED PLAN: ADA PARKING (1"=5')



ENLARGED PLAN: ADA PARKING (1"=5')



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: WISCONSIN UTILITIES PROTECTION SERVICE AT 811 OR 800-342-8511 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



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DATE	ISSUE
03/26/2024	OWNER REVIEW SET
03/29/2024	PERMIT SET

PROFESSIONAL SEAL



PROFESSIONAL LICENSE NO. E-36072-006

PROFESSIONAL IN CHARGE: JEFFREY A. TOBITT

PROJECT MANAGER: NET

QUALITY CONTROL: SPP

DRAWN BY: DJP

PROJECT NAME



VALVOLINE INSTANT OIL CHANGE

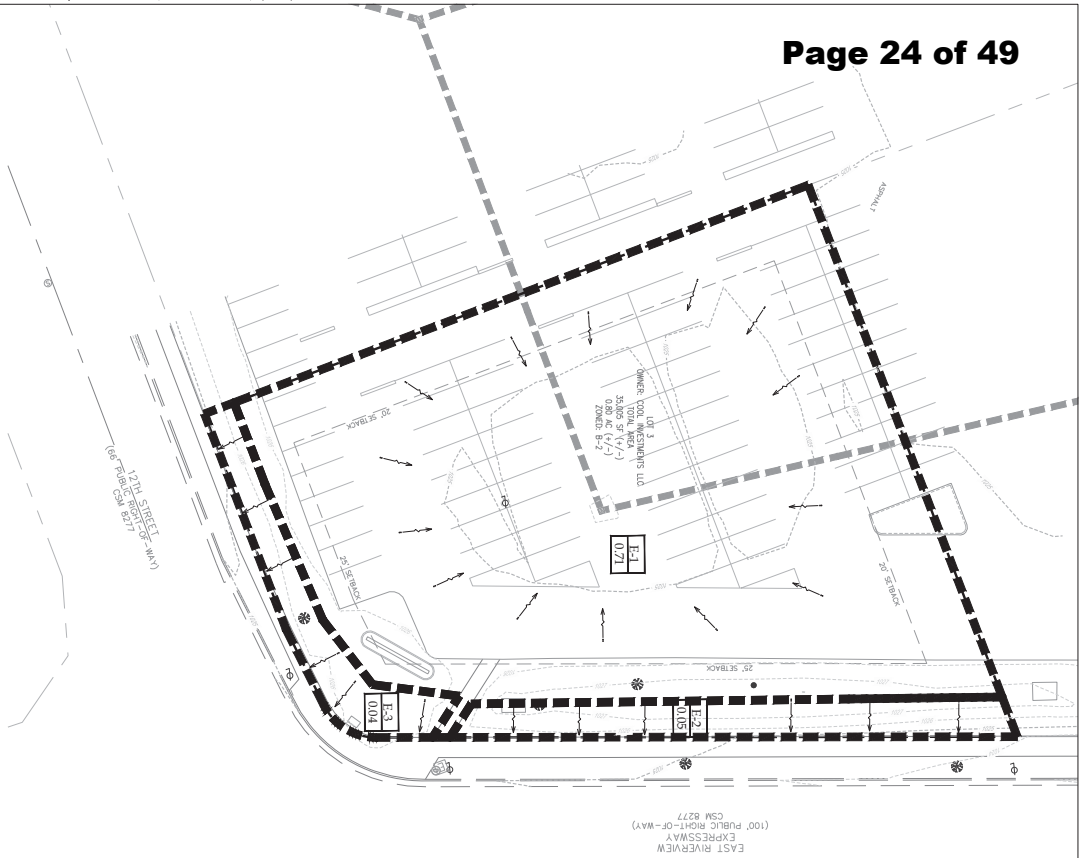
WISCONSIN RAPIDS, WI

PROJECT NUMBER: 761570-01  
SHEET NAME

GRADING PLAN

SHEET #

C-3,0



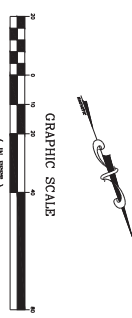
REGISTRATION NUMBER  
 BOARD OF PROFESSIONAL ENGINEERS  
 BOARD OF PROFESSIONAL LAND SURVEYORS  
 BOARD OF PROFESSIONAL ARCHITECTS  
 BOARD OF PROFESSIONAL LANDSCAPE ARCHITECTS  
 BOARD OF PROFESSIONAL INTERIOR DESIGNERS  
 BOARD OF PROFESSIONAL PLANNERS  
 BOARD OF PROFESSIONAL ENGINEERS IN AERONAUTICS AND SPACE  
 BOARD OF PROFESSIONAL ENGINEERS IN CHEMICAL ENGINEERING  
 BOARD OF PROFESSIONAL ENGINEERS IN CIVIL ENGINEERING  
 BOARD OF PROFESSIONAL ENGINEERS IN ELECTRICAL ENGINEERING  
 BOARD OF PROFESSIONAL ENGINEERS IN MECHANICAL ENGINEERING  
 BOARD OF PROFESSIONAL ENGINEERS IN METALLURGICAL ENGINEERING  
 BOARD OF PROFESSIONAL ENGINEERS IN NUCLEAR ENGINEERING  
 BOARD OF PROFESSIONAL ENGINEERS IN OIL AND GAS ENGINEERING  
 BOARD OF PROFESSIONAL ENGINEERS IN PETROLEUM ENGINEERING  
 BOARD OF PROFESSIONAL ENGINEERS IN SURVEYING  
 BOARD OF PROFESSIONAL ENGINEERS IN THERMAL ENGINEERING  
 BOARD OF PROFESSIONAL ENGINEERS IN TRANSPORTATION ENGINEERING  
 BOARD OF PROFESSIONAL ENGINEERS IN WATER RESOURCES ENGINEERING  
 BOARD OF PROFESSIONAL ENGINEERS IN WIND ENGINEERING

**EXISTING LEGEND:**

- ☉ EXISTING CATCH BASIN/MANHOLE
- ⊕ EXISTING ELECTRIC HAND HOLE
- ⊖ EXISTING TRAFFIC SIGNAL
- ⊙ EXISTING TELEPHONE POLE
- ⊚ EXISTING LIGHT POLE
- BOUNDARY ADJUSTMENT / ROW LINE
- ⊖ UNDERGROUND SANITARY LINE
- ⊖ UNDERGROUND STORM LINE
- ⊖ UNDERGROUND WATER LINE
- ⊖ UNDERGROUND GAS LINE
- ⊖ UNDERGROUND ELECTRIC LINE
- ⊖ EXISTING CURB LINE LINE
- ⊖ EXISTING CONCRETE TREE
- ⊖ EXISTING DECIDUOUS TREE

**PROPOSED LEGEND:**

- PROPERTY LINE
- DRIVEWAY DIRECTION
- DRIVEWAY BOUNDARY
- DRIVEWAY BOUNDARY
- DRIVEWAY BOUNDARY
- DRIVEWAY BOUNDARY



CHINA ENGINEERING CONSULTING GROUP CORPORATION  
 CHINA ENGINEERING CONSULTING GROUP DESIGN INSTITUTE  
 CHINA ENGINEERING CONSULTING GROUP DESIGN INSTITUTE  
 CHINA ENGINEERING CONSULTING GROUP DESIGN INSTITUTE

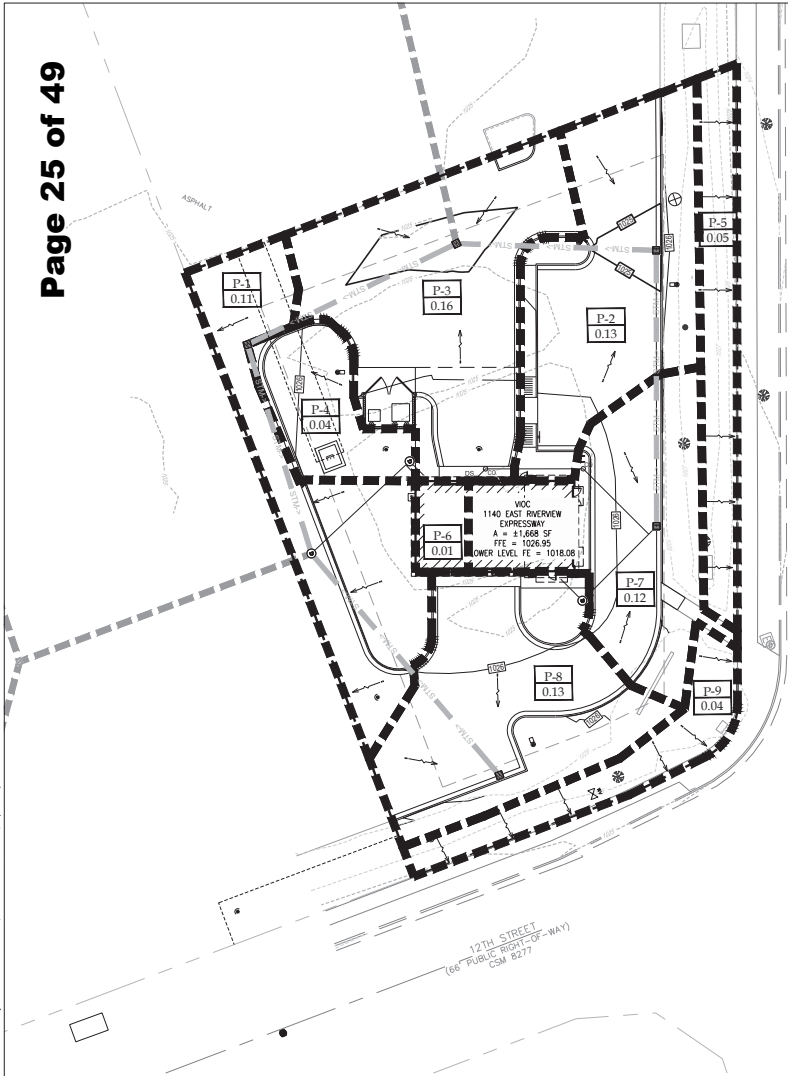
DATE	10/26/2024
BY	DAVID S. BROWN
CHECKED BY	DAVID S. BROWN
DESIGNED BY	DAVID S. BROWN
PROJECT NAME	VAL VOLINE INSTANT OIL CHANGE
PROJECT NUMBER	CSM 8277
PROJECT ADDRESS	100' PUBLIC RIGHT-OF-WAY
PROJECT CITY	EAST RIVERVIEW
PROJECT STATE	MI
PROJECT COUNTY	OSHTON
PROJECT ZIP	48027

VAL VOLINE  
 INSTANT OIL CHANGE  
 WISCONSIN RAPIDS, WI

**PRE-DEVELOPMENT PLAN**

CSM 8277





EAST RIVERVIEW  
 (100' PUBLIC RIGHT-OF-WAY)  
 CSN 8277

STORMWATER COMPLIANCE CALCULATIONS

PRE-DEVELOPMENT CONDITIONS

ITEM	PRE (E-1)	PRE (E-2)	PRE (E-3)	TOTAL
PERVIOUS AREA, GRASS (HSG - D, CN = 79) [SF]	4,147	2,313	1,827	8,287
IMPERVIOUS AREA, BLDGP/MT (HSG - D, CN = 98) [SF]	26,604	18	96	26,718
TOTAL AREA [SF]	30,751	2,331	1,923	35,005
TOTAL AREA (ACRE)	0.71	0.05	0.04	0.80
PRE-WEIGHTED CN	94			

POST-DEVELOPMENT CONDITIONS

ITEM	POST (P-1)	POST (P-2)	POST (P-3)	POST (P-4)	POST (P-5)	POST (P-6)	POST (P-7)	POST (P-8)	POST (P-9)	TOTAL
PERVIOUS AREA, GRASS (HSG - D, CN = 79) [SF]	1,778	1,408	83	1,643	2,313	0	1,365	1,799	1,828	12,217
IMPERVIOUS AREA, BLDGP/MT (HSG - D, CN = 98) [SF]	2,894	4,407	6,758	234	18	500	3,837	3986	96	22,788
TOTAL AREA [SF]	4,672	5,815	6,839	1,877	2,331	500	5,202	5,785	1,924	35,005
TOTAL AREA (ACRE)	0.11	0.13	0.16	0.04	0.05	0.01	0.12	0.13	0.04	0.80
POST-WEIGHTED CN	91									

STORMWATER COMPLIANCE NARRATIVE:

ON-SITE STORMWATER IS COLLECTED INTO A SERIES OF PROPOSED AND EXISTING CATCH BASINS AND ROUTED THROUGH THE EXISTING STORMWATER CONVEYANCE SYSTEM.

0.50 FT OF PAVEMENT AREA DRAINS TO THE RIGHT-OF-WAY WHICH LESS THAN THE 3,000 SQ FT THAT IS ALLOWED.

THE PRE-DEVELOPED CONDITION INCLUDES A CN OF 94. THE POST-DEVELOPED CONDITIONS OF THIS PROPOSED WOC WILL INCLUDE A CN OF 91.

EXISTING LEGEND:

- EXISTING CATCH BASIN/MANHOLE
- EXISTING ELECTRIC HAND HOLE
- EXISTING SIGN
- EXISTING TRAFFIC SIGNAL
- EXISTING LIGHT POLE
- BOUNDARY LINE
- BOUNDARY ADJACENT / ROW LINE
- EASEMENT LINE
- UNDERGROUND STORM LINE
- UNDERGROUND SANITARY LINE
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- UNDERGROUND ELECTRIC LINE
- EXISTING GROUND CONTOUR
- EXISTING CURB LINE
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

PROPOSED LEGEND:

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- PROPOSED CONTOUR
- PROPOSED STORM PIPE
- DRAINAGE DIRECTION
- DRAINAGE BASIN BOUNDARY
- DRAINAGE BASIN ID
- DRAINAGE BASIN AREA (ACRE)



**CESO**  
 CIVIL ENGINEERING & SURVEYING  
 501 WISCONSIN STREET, 2ND FLOOR  
 WISCONSIN RAPIDS, WI 54601  
 PHONE: 920.424.8500 FAX: 920.258.4020

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DATE	ISSUE
03/26/2024	OWNER REVIEW SET
03/29/2024	PERMIT SET



PROFESSIONAL LICENSE NO.  
 E-36072-006

PROFESSIONAL IN CHARGE  
 JEFFREY A. TOBITTS

PROJECT MANAGER  
 NET

QUALITY CONTROL  
 SMP

DRAWN BY  
 DJH

PROJECT NAME



VALVOLINE  
 INSTANT OIL CHANGE  
 WISCONSIN RAPIDS, WI

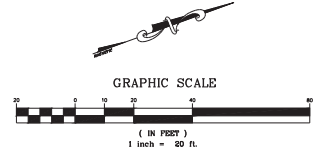
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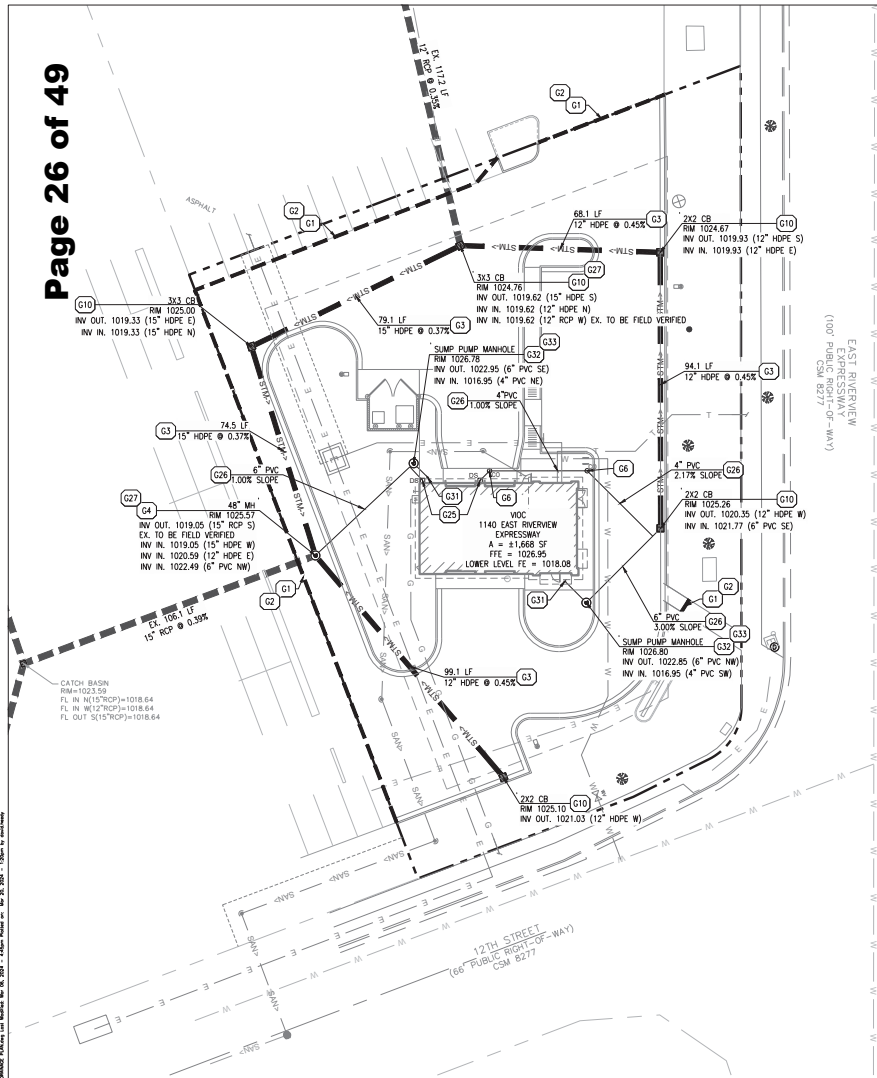
SHEET NAME

POST DEVELOPMENT  
 PLAN

SHEET #  
 C-4.1

SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES, WISCONSIN UTILITIES PROTECTION SERVICE AT 811 OR 800-342-8811 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE





EAST RIVERVIEW  
(100' PROFESSIONAL PLAN)  
CSM 8277

EXISTING LEGEND:

- EXISTING CATCH BASIN/MANHOLE
- EXISTING ELECTRIC HAND HOLE
- EXISTING SIGN
- EXISTING TRAFFIC SIGNAL
- EXISTING LIGHT POLE
- BOUNDARY LINE
- BOUNDARY ADJACENT / ROW LINE
- EASEMENT LINE
- UNDERGROUND STORM LINE
- UNDERGROUND SANITARY LINE
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- UNDERGROUND ELECTRIC LINE
- EXISTING GROUND CONTOUR
- EXISTING CURB LINE
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

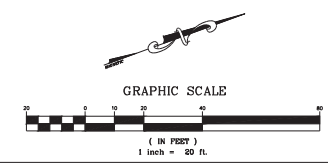
PROPOSED LEGEND:

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- PROPOSED CONTOUR
- PROPOSED STORM PIPE
- DRAINAGE SLOPE AND DIRECTION

GRADING KEY NOTES

- G1 MATCH EXISTING PAVEMENT ELEVATION.
- G2 LIMITS OF SAWCUT AND PAVEMENT REMOVAL.
- G3 STORM SEWER (SEE NOTE FOR TYPE, SIZE AND SLOPE)
- G4 STORM SEWER CLEAN-OUT. REFER TO DETAIL ON C-7.1.
- G6 STORM SEWER MANHOLE. REFER TO DETAIL ON C-7.1.
- G10 GRATE INLET. SEE NOTE FOR GRATE TYPE. REFER TO DETAIL ON C-7.1.
- G25 DOWN SPOUTS - PER ARCH. PLANS (SEE NOTE FOR NUMBER AND SIZE)
- G26 CONNECT DOWN SPOUTS UNDERGROUND TO STORM PIPE (SEE NOTE FOR NUMBER AND SIZE). REFER TO DETAIL ON C-7.1.
- G27 CONNECT TO EXISTING STORM DRAIN PIPE, MANHOLE, STUB-OUT, OR INLET. (CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION)
- G31 REFER TO PLUMBING PLAN FOR FOUNDATION DRAIN DESIGN
- G32 REFER TO PLUMBING AND ELECTRICAL PLANS FOR SUMP PUMP, POWER AND LOW VOLTAGE DESIGN.
- G33 FOUNDATION SUMP PUMP MANHOLE STRUCTURE. REFER TO PLUMBING PLANS.

SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: WISCONSIN UTILITIES PROTECTION SERVICE AT 811 OR 800-342-8511 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



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DATE	ISSUE
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03/29/2024	PERMIT SET



PROFESSIONAL LICENSE NO. E-36072-006  
PROFESSIONAL IN CHARGE: JEFFREY A. TIBBITTS  
PROJECT MANAGER: NET  
QUALITY CONTROL: SMP  
DRAWN BY: DJH  
PROJECT NAME:

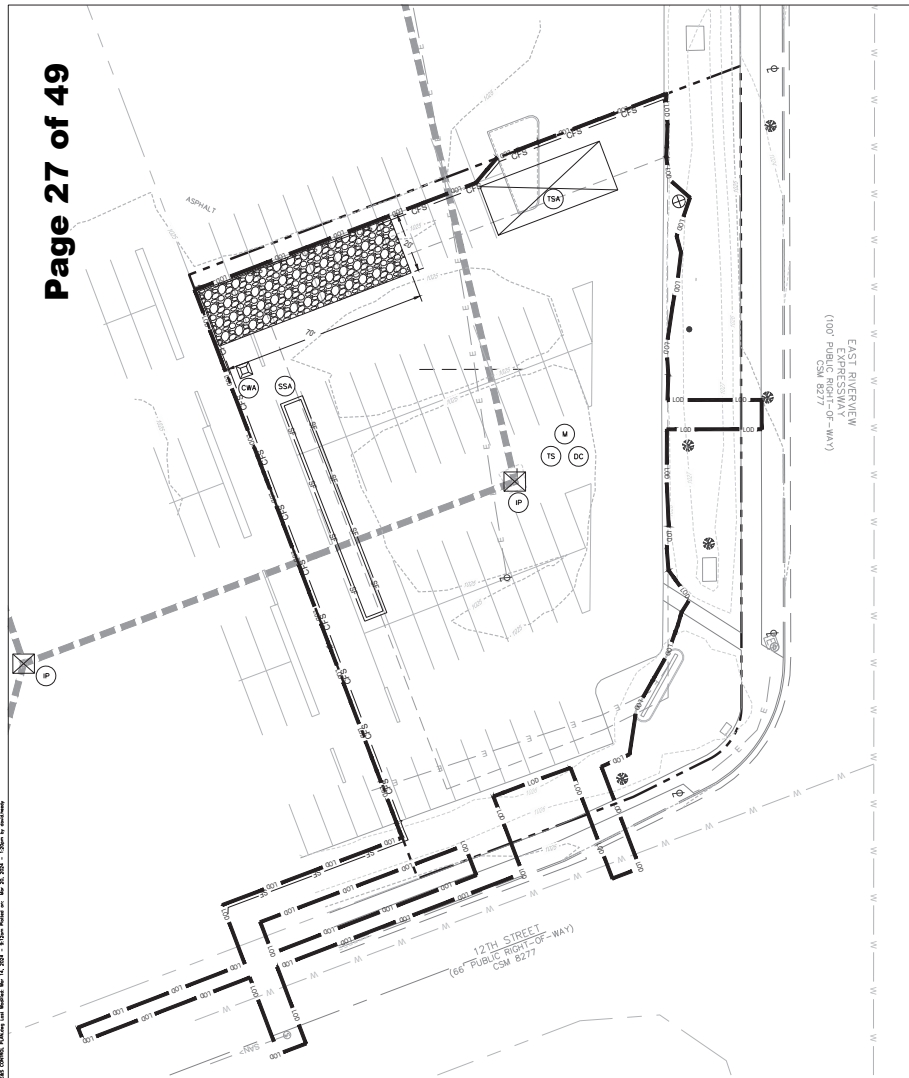


**VALVOLINE INSTANT OIL CHANGE**  
WISCONSIN RAPIDS, WI

PROJECT NUMBER: 761570-01  
SHEET NAME:

**DRAINAGE PLAN**

SHEET#  
**C-4,2**



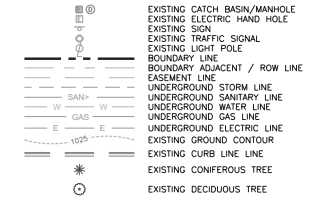
GENERAL EROSION NOTES

- A. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF WISCONSIN PERMIT FOR STORM WATER DISCHARGES AND BECOME FAMILIAR WITH THEIR CONTENTS.
- B. THE TEMPORARY PARKING AND STORAGE AREA SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AREA, EQUIPMENT CLEANING AREA, EMPLOYEE BREAK AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNERS CONSTRUCTION MANAGER.
- C. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORM WATER THAT IS DISCHARGED FROM THE SITE.
- D. MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLATION BOMBS TO CONTAIN AND CLEAN-UP LEVEL OF CHEMICAL SPILLS AND LEAKS.
- E. DUST ON THE SITE SHALL BE CONTROLLED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- F. NO RUBBISH, TRASH, GARBAGE, OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- G. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- H. NEW OR AFFECTED CUT OR FILLED SLOPES MUST BE AT AN ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER, AND MUST BE PROVIDED WITH A GROUND COVER SUFFICIENT TO RETAIN EROSION WITHIN 21 CALENDAR DAYS OF COMPLETION OF ANY PHASE (PROOF OR FINAL) OF GRADING.
- I. A PERMANENT GROUND COVER SUFFICIENT RESTRAIN EROSION (PROOF OR FINAL) OF GRADING, SHORTER OF 15 WORKING OR 90 CALENDAR DAYS (IF IN A HIGH QUALITY ZONE, THE SHORTER OF 15 WORKING OR 90 CALENDAR DAYS) AFTER COMPLETION OF CONSTRUCTION OR DEVELOPMENT ON ANY PORTION OF THE TRACT.
- J. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MATERIALS FROM THE TIRES, THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNERS CONSTRUCTION MANAGER.
- K. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- L. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE RETENTION POND AFTER THE STABILIZATION OF THE SITE AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS. CONTRACTORS OR SUBCONTRACTORS WILL ALSO BE RESPONSIBLE TO CLEAN THE SWALE FROM ANY SEDIMENT IF NECESSARY.
- M. IF SOIL STOCKPILING IS EMPLOYED ON THE SITE, SILT FENCES SHALL BE USED TO HELP CONTAIN THE SEDIMENT.
- N. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- O. SEDIMENT BASINS ARE ATTRACTIVE TO CHILDREN AND CAN BE VERY DANGEROUS. IN ALL CASES, LOCAL ORDINANCES AND REGULATIONS REGARDING HEALTH AND SAFETY MUST BE ADHERED TO.
- P. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION HAS OCCURRED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN EMPLOYED.
- Q. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, SILT DIKES, ETC.) TO HELP PREVENT EROSION AND STORM WATER POLLUTION.
- R. ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR STORM DRAINS & UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

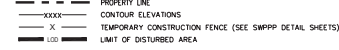
BMP MAINTENANCE NOTES

- ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULL FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF WEAR/DAMAGE OR DEFERIORATION.
  2. ALL SLOPED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT GOOD STAND IS MAINTAINED.
  3. ALL SLOPED AREAS SHALL BE REPAIRED, AND REVEGETATED, AS NECESSARY.
  4. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SLOPED AREAS.
  5. THE VEHICLE TRACKING CONTROL SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FINE SOILS AND PUBLIC ROADWAYS. THIS SHALL BE REQUIRED PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
  6. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE), THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
  7. PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS, ANY DEBRIS AND/OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEANED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.

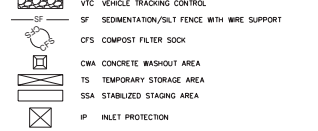
EXISTING LEGEND:



PROPOSED



KEY NOTES



PROJECT INFORMATION

THE PROPOSED PROJECT WILL CONSTRUCT A VEHICLE SERVICE STATION CONSISTING OF A 3,608 S.F. BUILDING AND ASSOCIATED PARKING AREA. ACREAGE OF SITE IS 0.80 ACRES. DISTURBED ACREAGE OF SITE (INCLUDING OFF-SITE WORK) IS 0.42 ACRES. ANTICIPATED CONSTRUCTION START DATE IS SEPTEMBER 2024 AND COMPLETION DATE IS MARCH 2025. VALVOLINE'S CONTRACTOR TO TAKE APPROPRIATE MEASURES TO KEEP SEDIMENT FROM ESCAPING SITE AND ALL ACCUMULATED SEDIMENT SHALL BE CLEANED OUT AND REMOVED FROM SITE.

SEQUENCE OF CONSTRUCTION

- PHASE I
1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
  2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
  3. INSTALL ALL PERMIT SEDIMENT MEASURES.
  4. INSTALL ALL TEMPORARY EROSION & SEDIMENT CONTROLS AS NEEDED.
- PHASE II
5. BEGIN DEMOLISHING SITE.
  6. BEGIN GRADING THE SITE.
  7. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
  8. TEMPORARY SEED BOUNDARIES.
  9. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS.
  10. INSTALL INLET/FINISH PROTECTION DEVICES.
  11. PREPARE SITE FOR PAVING.
  12. PAVE SITE.
  13. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING, SOODING, AND PERMANENT MATTING BARRIERS.
  14. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

24 HR EMERGENCY CONTACT:  
JULIE GEHLING--(859) 916-1808

SURFACE STABILIZATION MEASURES

KEY	PRACTICE	DESCRIPTION	NOTES
M	TEMPORARY PROTECTION	Temporary protection for disturbed areas as an erosion prevention cover when temporary grassing is inoperative.	Straw (1-2 tons/acre), Wood chips (2nd ton/acre), Wood fiber (0.2-1 tons/acre), Bark (0.5 tons/acre), Com Fibre (4th tons/acre), or Hay/Straw/Chemical Mulch/Straw application.
TS	VEGETATIVE	Planting seed/native annual grasses, small grains, (Inclined to grade slope, temporary cover) erosion control on disturbed areas.	May-Aug, German rye (140 lbs/acre), Arg-2Pac, Rye grass (120 lbs/acre), late-olifer, Nature of the grass (120 lbs/acre) and John Deere (50 lbs/acre) 750 (100 lbs/acre) Full Rate of 100-150 lbs/acre
SO	VEGETATIVE	Transplanting vegetative sections of silt mat to stabilize erosion control on disturbed areas.	Warm Season: Hybrid Bermuda grass, Zoysia grass, Centipede grass, or St Augustine grass. Cool Season: Tall Fescue/Kentucky Bluegrass
DC	DUST CONTROL	Silt mat control method whenever there are off-site impacts, especially periods of drought until final stabilization is reached.	Placing the product, vegetative cover, Mulch, spreading water, sprayer/ultrasonic calcium chloride, barriers, etc.

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE
NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE
CONSTRUCTION SEQUENCE: JAN FEB MAR APR MAY JUN JUL AUG SEPT OCT NOV DEC
TEMPORARY CONTROL MEASURES
STRIP & STOCKPILE TOPSOIL
STORM FACILITIES
TEMPORARY CONSTRUCTION ROADS
FOUNDATION / BUILDING CONSTRUCTION
SITE CONSTRUCTION
PERMANENT CONTROL STRUCTURES
FINISH GRADING
LANDSCAPING/SEED/FINAL STABILIZATION

SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: WISCONSIN UTILITIES PROTECTION SERVICE AT 811 OR 800-365-8111 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



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DATE	ISSUE
03/06/2024	OWNER REVIEW SET
03/20/2024	PERMIT SET

PROFESSIONAL SEAL



PROFESSIONAL LICENSE NO. E-36072-006  
PROFESSIONAL IN CHARGE: JEFFREY A. TIBBITTS  
PROJECT NUMBER: 761370-01  
PROJECT MANAGER: NET  
QUALITY CONTROL: SPP  
DRAWN BY: DJR  
PROJECT NAME:

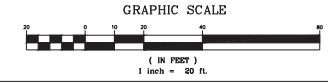


VALVOLINE INSTANT OIL CHANGE  
WISCONSIN RAPIDS, WI

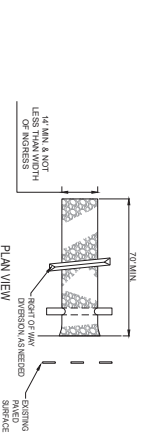
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SHEET NAME:

EROSION CONTROL PHASE I

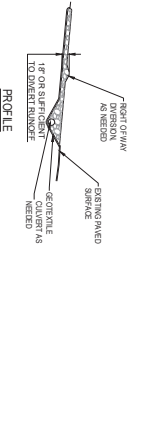
SHEET# C-5.0







- NOTES:**
1. STONE SIZE: 1 1/2" AND 2" STONE SHALL BE USED ON THE CONCRETE EQUIVALENT.
  2. LESS THAN 1" OF EXPOSITION PER 1" OF MINIMUM CRACK RESISTANCE LOGS.
  3. THICKNESS: THE STONE LAYERS SHALL BE AT LEAST 4 INCHES THICK FOR LIGHT DUTY ENTRANCES OR AT LEAST 10 INCHES THICK FOR HEAVY DUTY ENTRANCES.
  4. WIDTH: THE ENTRANCE SHALL BE AT LEAST 7 FEET WIDE. BUT NOT LESS THAN THE TYPICAL WIDTH OF THE PAVEMENT WHERE THE ENTRANCE IS LOCATED.
  5. STROKE OF CONCRETE SHALL BE AT LEAST 2 FEET WIDE AND NOT MORE THAN 4 FEET LONG.
  6. STROKE OF CONCRETE SHALL BE AT LEAST 2 FEET WIDE AND NOT MORE THAN 4 FEET LONG.
  7. STROKE OF CONCRETE SHALL BE AT LEAST 2 FEET WIDE AND NOT MORE THAN 4 FEET LONG.

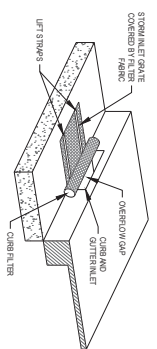


- NOTES:**
1. CONCRETE SHALL BE CONSTRUCTED UNDER THE ENTRANCE AND REINFORCED TO PREVENT SPALLS.
  2. THE CONCRETE SHALL BE CONSTRUCTED TO A MINIMUM OF 4 INCHES ABOVE THE FINISHED GRADE.
  3. THE CONCRETE SHALL BE CONSTRUCTED TO A MINIMUM OF 4 INCHES ABOVE THE FINISHED GRADE.
  4. THE CONCRETE SHALL BE CONSTRUCTED TO A MINIMUM OF 4 INCHES ABOVE THE FINISHED GRADE.
  5. THE CONCRETE SHALL BE CONSTRUCTED TO A MINIMUM OF 4 INCHES ABOVE THE FINISHED GRADE.
  6. THE CONCRETE SHALL BE CONSTRUCTED TO A MINIMUM OF 4 INCHES ABOVE THE FINISHED GRADE.
  7. THE CONCRETE SHALL BE CONSTRUCTED TO A MINIMUM OF 4 INCHES ABOVE THE FINISHED GRADE.

MINIMUM TRAFFIC STRENGTH	200 PSI
MINIMUM WINDLOAD STRENGTH	90 PSI
MINIMUM TENSILE STRENGTH	50 PSI
MINIMUM BOND STRENGTH	200 PSI
MINIMUM ELONGATION	2%
EQUIVALENT CRACKING SIZE	EQS < 0.6mm
EMITTERY	SPRICKLE

**STABILIZED CONSTRUCTION ENTRANCE**

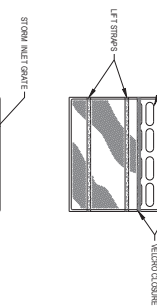
NTS



- NOTE:**
1. INLET PROTECTION SHALL BE SANDY CURB AND APPROVED OTHER.

**CURB AND INLET PROTECTION**

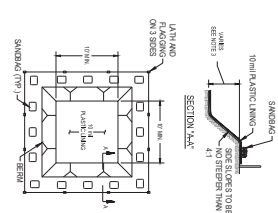
NTS



- NOTE:**
1. INLET PROTECTION SHALL BE SANDY CURB AND APPROVED OTHER.

**INLET PROTECTION**

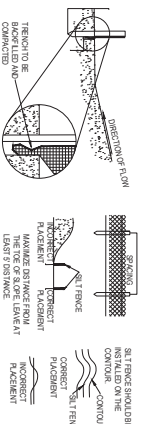
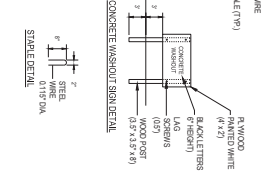
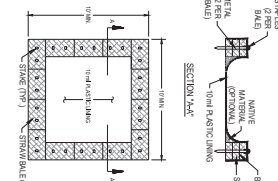
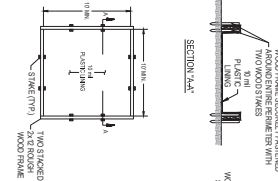
NTS



- NOTE:**
1. ACTUAL WORK PERFORMANCE IN THE FIELD.
  2. THE CONCRETE WASHOUT SOAK SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
  3. THE WASHOUT SHALL HAVE SUFFICIENT VOLUME TO CLEAN ALL LOADS AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS INCLUDING BUT NOT LIMITED TO OPERATIONS ASSOCIATED WITH GRAD AND MATING.

**CONCRETE WASHOUT**

NTS

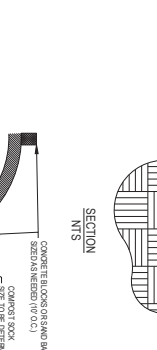


- NOTES:**
1. SILT FENCE SHALL BE CONSTRUCTED BEFORE UNDERLAND DISTURBANCE BEGINS.
  2. SILT FENCE SHALL BE CONSTRUCTED TO A MINIMUM OF 4 INCHES ABOVE THE FINISHED GRADE.
  3. SILT FENCE SHALL BE CONSTRUCTED TO A MINIMUM OF 4 INCHES ABOVE THE FINISHED GRADE.
  4. SILT FENCE SHALL BE CONSTRUCTED TO A MINIMUM OF 4 INCHES ABOVE THE FINISHED GRADE.
  5. SILT FENCE SHALL BE CONSTRUCTED TO A MINIMUM OF 4 INCHES ABOVE THE FINISHED GRADE.
  6. SILT FENCE SHALL BE CONSTRUCTED TO A MINIMUM OF 4 INCHES ABOVE THE FINISHED GRADE.
  7. SILT FENCE SHALL BE CONSTRUCTED TO A MINIMUM OF 4 INCHES ABOVE THE FINISHED GRADE.
  8. SILT FENCE SHALL BE CONSTRUCTED TO A MINIMUM OF 4 INCHES ABOVE THE FINISHED GRADE.
  9. SILT FENCE SHALL BE CONSTRUCTED TO A MINIMUM OF 4 INCHES ABOVE THE FINISHED GRADE.
  10. SILT FENCE SHALL BE CONSTRUCTED TO A MINIMUM OF 4 INCHES ABOVE THE FINISHED GRADE.
  11. SILT FENCE SHALL BE CONSTRUCTED TO A MINIMUM OF 4 INCHES ABOVE THE FINISHED GRADE.

MINIMUM TRAFFIC STRENGTH	200 PSI
MINIMUM WINDLOAD STRENGTH	90 PSI
MINIMUM TENSILE STRENGTH	50 PSI
MINIMUM BOND STRENGTH	200 PSI
MINIMUM ELONGATION	2%
EQUIVALENT CRACKING SIZE	EQS < 0.6mm
EMITTERY	SPRICKLE

**SILT FENCE**

NTS



- NOTE:**
1. ALL MATERIAL TO MEET REQUIREMENTS OF WISCONSIN RAPIDS, WI.
  2. REQUIREMENTS OF WISCONSIN RAPIDS, WI.
  3. REQUIREMENTS OF WISCONSIN RAPIDS, WI.
  4. REQUIREMENTS OF WISCONSIN RAPIDS, WI.
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  9. REQUIREMENTS OF WISCONSIN RAPIDS, WI.
  10. REQUIREMENTS OF WISCONSIN RAPIDS, WI.
  11. REQUIREMENTS OF WISCONSIN RAPIDS, WI.

**COMPOST SOCK ON PAVEMENT**

NTS



SPECIFICATIONS FOR SILT FENCE	
FIBER REINFORCES	VALUS
SOIL TENSILE STRENGTH	50 LB PER INCH
MINIMUM TENSILE STRENGTH	10 LB PER INCH
MINIMUM BOND STRENGTH	200 PSI
MINIMUM ELONGATION	2%
EQUIVALENT CRACKING SIZE	EQS < 0.6mm
EMITTERY	SPRICKLE

**CRITERIA FOR SILT FENCE MATERIALS**

1. FENCE DESIGN: THE FENCE SHALL BE A MINIMUM OF 2 INCHES HIGH AND 6 INCHES WIDE.
2. FENCE MATERIALS: THE FENCE SHALL BE MADE OF 1/2 INCH DIA. GALVANIZED STEEL PIPE OR 2 INCH DIA. GALVANIZED STEEL PIPE.
3. FENCE SPACING: THE FENCE SHALL BE SPACED AT 50 FEET INTERVALS.
4. FENCE ANCHORING: THE FENCE SHALL BE ANCHORED TO THE GROUND WITH 1/2 INCH DIA. GALVANIZED STEEL PIPE.
5. FENCE MAINTENANCE: THE FENCE SHALL BE MAINTAINED AT ALL TIMES.
6. FENCE REMOVAL: THE FENCE SHALL BE REMOVED AT THE END OF THE PROJECT.
7. FENCE REPLACEMENT: THE FENCE SHALL BE REPLACED IF IT IS DAMAGED.
8. FENCE INSPECTION: THE FENCE SHALL BE INSPECTED AT REGULAR INTERVALS.
9. FENCE RECORDS: THE FENCE SHALL BE RECORDED AS PART OF THE PROJECT RECORDS.
10. FENCE APPROVAL: THE FENCE SHALL BE APPROVED BY THE LOCAL AUTHORITIES.
11. FENCE COMPLIANCE: THE FENCE SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.

**PROFESSIONAL SEAL**

REGISTERED PROFESSIONAL ENGINEER  
STATE OF WISCONSIN  
No. 101,000  
EXPIRES 12/31/2026

DATE: 11/20/2024  
PROJECT: WISCONSIN RAPIDS, WI  
SHEET: 29 OF 49

**VALUOLINE**

**VALUOLINE INSTANT OIL CHANGE**

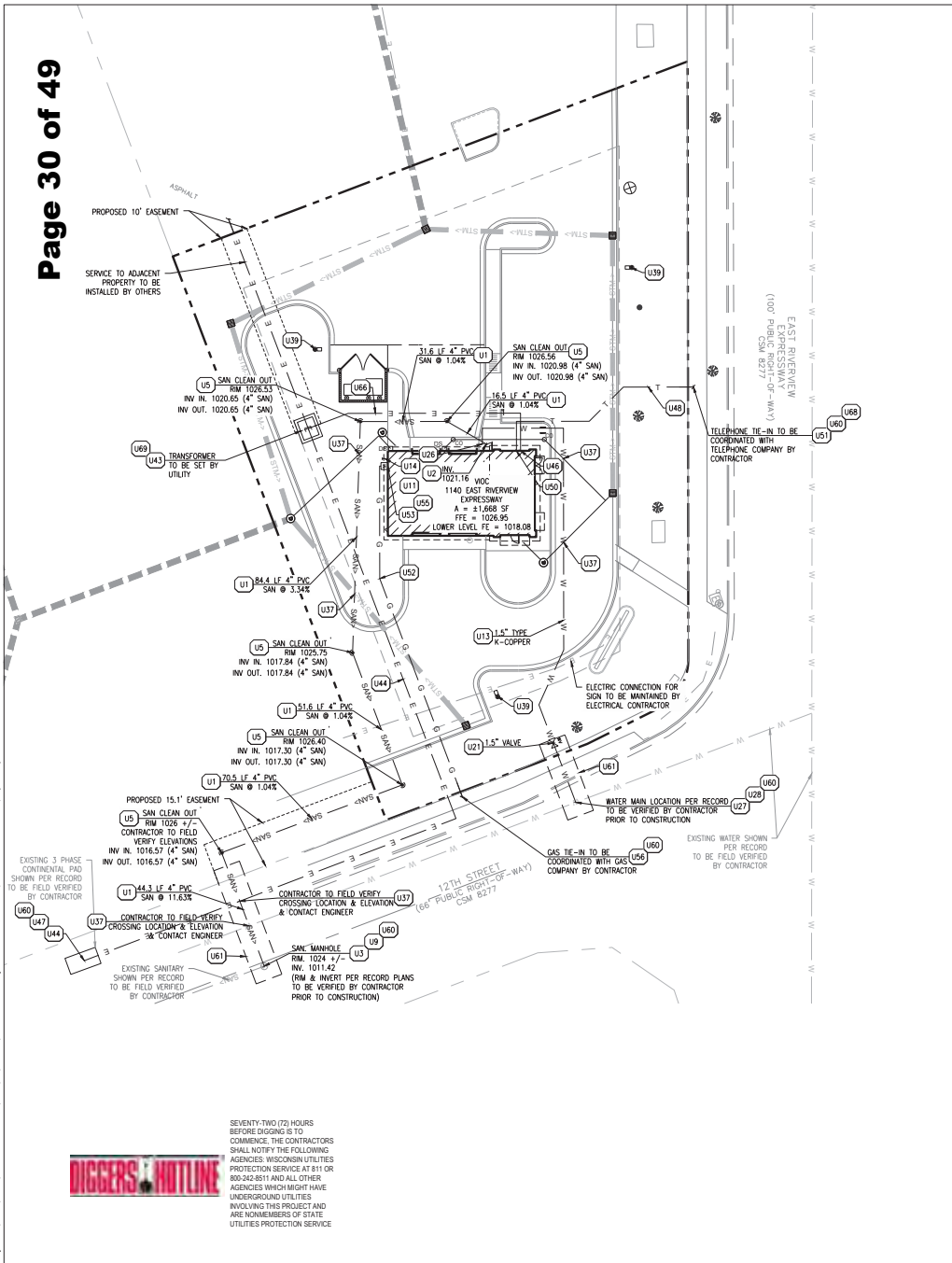
WISCONSIN RAPIDS, WI

PROJECT NAME: VALUOLINE INSTANT OIL CHANGE  
PROJECT NUMBER: W1402-COL-VAL-PAV-020-001-001  
SHEET NAME: W1402-COL-VAL-PAV-020-001-001  
DATE: 11/20/2024

**EROSION CONTROL DETAILS**

DATE: 11/20/2024

C-42



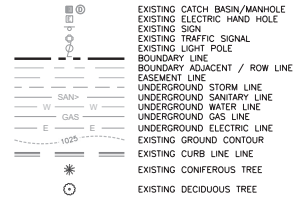
**GENERAL UTILITY NOTES:**

- CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ENSURE NO CONFLICTS EXIST WITH PROPOSED IMPROVEMENTS. NOTIFY ENGINEER IMMEDIATELY IF UTILITIES ARE LOCATED DIFFERENTLY THAN SHOWN. THE CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE UTILITY COMPANY IN ORDER TO RELOCATE IF NEEDED IN CONFORMANCE WITH THEIR GUIDELINES.
- CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE REMOVAL OF INDICATED UTILITIES ON SITE (SEE DEMOLITION PLAN). CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS REQUIRED FOR DEMOLITION AND HAUL OFF FROM THE APPROPRIATE AUTHORITIES.
- AUTHORIZATION MUST BE OBTAINED FROM THE WISCONSIN RAPIDS WATER WORKS & LIGHTING COMMISSION TO CONSTRUCT, ALTER OR MODIFY A WATER OR SEWER LINE. CONSTRUCTION OF WATER AND SEWER INFRASTRUCTURE WILL BE AUTHORIZED BY THE WATER SYSTEM UPON:
  - APPROVAL OF SUBMITTED PLANS.
  - NOTIFICATION OF THE WATER SYSTEM AT LEAST 24 HOURS PRIOR TO STARTING CONSTRUCTION.
- AT THE COMPLETION OF THE WATER AND/OR SEWER CONSTRUCTION AND PRIOR TO RECORDING THE FINAL PLAN, THE CONTRACTOR WILL FURNISH THE WATER SYSTEM INSPECTOR RECORD DRAWINGS OF THE PROJECT.
- BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE GAS COMPANY FOR THE CONSTRUCTION OF ELECTRICAL CONDUIT TO PROVIDE SERVICE TO THE TRANSFORMER.
- BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE POWER COMPANY FOR THE CONSTRUCTION OF ELECTRICAL CONDUIT TO PROVIDE SERVICE TO THE TRANSFORMER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, PRIOR TO CONSTRUCTION, ALL EXISTING LOCATIONS AND INVERT ELEVATIONS OF SANITARY SEWERS, STORM DRAINAGE, AND WATER MAINS. IF ANY INVERT ELEVATION VARIES MORE THAN 0.1 FT. FROM RECORD ELEVATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. WORK SHALL NOT PROCEED UNTIL THE CONTRACTOR IS NOTIFIED BY THE ENGINEER.
- CONNECT TO EXISTING UTILITIES AND INSTALL UTILITIES IN COMPLIANCE WITH REQUIREMENTS OF APPROPRIATE JURISDICTIONAL AGENCIES.
- COORDINATE WITH BUILDING PLANS TO ASSURE ACCURACY OF UTILITY CONNECTIONS AND COMPLIANCE WITH LOCAL CODES.
- ALL SEWERS TO BE MAINTAINED THROUGHOUT CONSTRUCTION, INCLUDING CLEANING OF ANY SILT OR DEBRIS ACCUMULATED IN STRUCTURES.
- COORDINATE EXACT TRENCHING, ROUTING, AND POINT OF TERMINATION WITH ALL UTILITY COMPANIES.
- ALL WATER LINES SHALL HAVE AT LEAST FOUR AND ONE HALF (4.5) FEET ABOVE GROUND COVER FROM THE TOP OF THE PIPE TO THE FINISHED GROUND SURFACE.
- ALL WATER LINES 2" OR SMALLER SHALL BE TYPE K-COPPER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING UTILITY LOCATES.

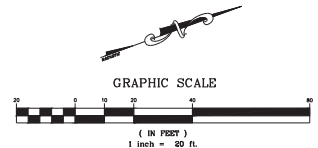
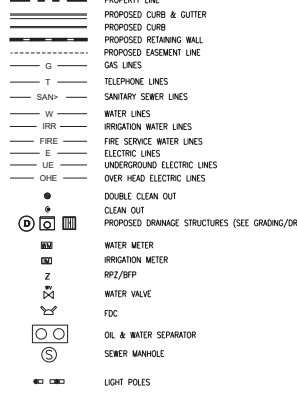
**UTILITY KEY NOTES**

- U1 SANITARY SEWER (SEE NOTE FOR TYPE, SIZE AND SLOPE)
- U2 SANITARY SEWER POINT OF ENTRY (PER MEP PLANS)
- U3 SANITARY SEWER POINT OF CONNECTION CONTRACTOR TO CORE DRILL CONNECTION TO MANHOLE
- U5 SANITARY SEWER CLEAN-OUT REFER TO DETAIL ON C-7.3.
- U9 CONNECT TO EXISTING SANITARY SEWER, MANHOLE SUB-OUT OR CLEAN-OUT. (CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION)
- U11 OIL-WATER SEPARATOR LOCATED IN BUILDING (PER MEP/ARCH. PLANS)
- U13 DOMESTIC WATER LINE (SEE NOTE FOR TYPE AND SIZE)
- U14 IRRIGATION CONNECTION (TYPE AND SIZE PER IRRIGATION PLAN)
- U21 WATER VALVE (SEE NOTE FOR SIZE)
- U22 METERS & BACKFLOW PREVENTER ARE LOCATED IN BUILDING. (PER MEP PLANS)
- U26 WATER LINE POINT OF ENTRY (PER MEP PLANS)
- U27 WATER LINE POINT OF CONNECTION
- U28 CONTRACTOR SHALL COORDINATE WITH WATER DEPARTMENT TO ENSURE THAT SERVICE IS NOT INTERRUPTED AT ANY TIME.
- U37 MAINTAIN MIN. 18" VERTICAL SEPARATION
- U39 LIGHT POLE LOCATIONS (SEE LIGHTING PLAN FOR DETAILS)
- U43 PROPOSED ELECTRIC TRANSFORMER
- U44 UNDERGROUND ELECTRIC SERVICE
- U46 ELECTRIC SERVICE POINT OF ENTRY (PER MEP PLANS)
- U47 ELECTRIC SERVICE POINT OF CONNECTION
- U48 UNDERGROUND TELEPHONE SERVICE (INSTALL TWO 2" CONDUITS)
- U50 TELEPHONE SERVICE POINT OF ENTRY (PER MEP PLANS)
- U51 TELEPHONE SERVICE POINT OF CONNECTION
- U52 GAS SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH GAS COMPANY FOR THE INSTALLATION OF THE GAS SERVICE LINE.
- U53 GAS METER
- U55 GAS LINE POINT OF ENTRY (PER MEP PLANS)
- U56 GAS LINE POINT OF CONNECTION
- U60 CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- U61 CURB, SIDEWALK & PAVEMENT UTILITY TRENCH REPAIR. MATCH EXISTING CROSS SECTIONS
- U66 ELECTRIC SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH ELECTRIC COMPANY PRIOR TO ANY EXCAVATION OR INSTALLATION OF CONDUITS. NO OTHER UTILITIES ALLOWED IN ELECTRIC DITCH. CONTRACTOR SHALL INSTALL TWO (2) - 4" SECONDARY CONDUITS FROM THE TRANSFORMER TO THE BUILDING. (SEE MEP PLANS)
- U68 TELEPHONE SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY PRIOR TO ANY EXCAVATION OR INSTALLATION OF CONDUITS.
- U69 TRANSFORMER CONCRETE PAD TO BE PROVIDED BY UTILITY

**EXISTING LEGEND:**



**PROPOSED LEGEND:**



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DATE	ISSUE
03/29/2024	OWNER REVIEW SET
03/29/2024	PERMIT SET

PROFESSIONAL SEAL



PROFESSIONAL LICENSE NO. E-36072-006

PROFESSIONAL IN CHARGE: JEFFREY A. TOBITT

PROJECT MANAGER: NET

QUALITY CONTROL: SMP

DRAWN BY: DJP

PROJECT NAME:



WISCONSIN RAPIDS, WI

PROJECT NUMBER: 761570-01

SHEET NAME:

UTILITY PLAN

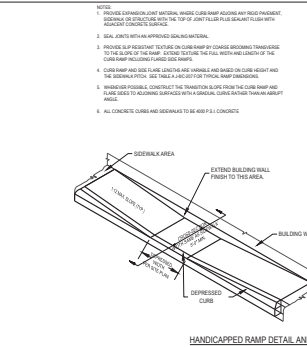
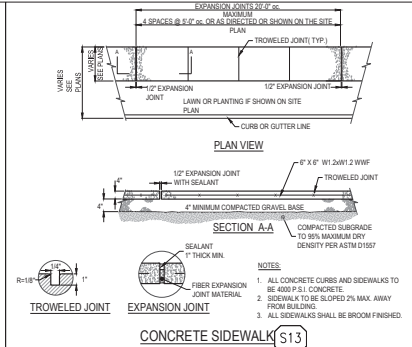
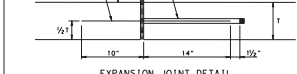
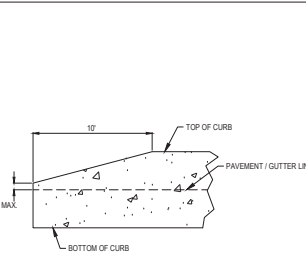
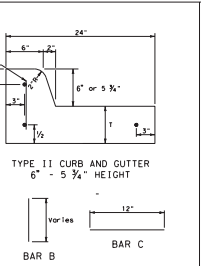
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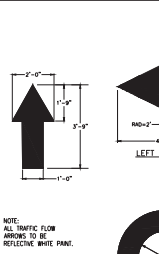
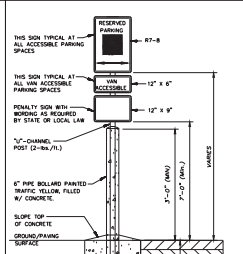
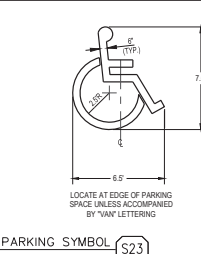
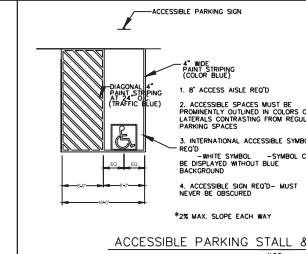
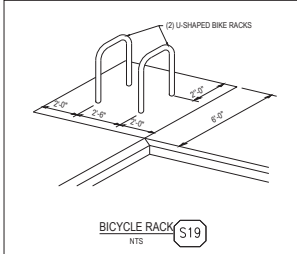


- GENERAL NOTES:**
- CONCRETE CURBS TO BE 1" COMP 4000 P.S.I. CONCRETE AT 28 DAYS. CURBS AND GUTTER EXPANSION JOINT SPACING IS 10'-0" MAXIMUM. FILL WITH 1" HORIZ. REINFORCED EXPANSION JOINT RECESSED 1/2" BELOW SURFACE OF CURB.
  - MINIMUM HEIGHT OF CURB TO PAVING IS 6" INCH. CONCRETE FINISH SHALL BE PLACED IN THIRTY (30) MINUTES OF PLACEMENT. CONCRETE SHALL BE CURED AND PROTECTED WITH A POLYURETHANE MEMBRANE TO PREVENT CURING CRACKS AND TO PREVENT COLOR CHANGES. FINISH SHALL BE PLACED IN THIRTY (30) MINUTES OF PLACEMENT. CONCRETE SHALL BE CURED AND PROTECTED WITH A POLYURETHANE MEMBRANE TO PREVENT CURING CRACKS AND TO PREVENT COLOR CHANGES. FINISH SHALL BE PLACED IN THIRTY (30) MINUTES OF PLACEMENT.
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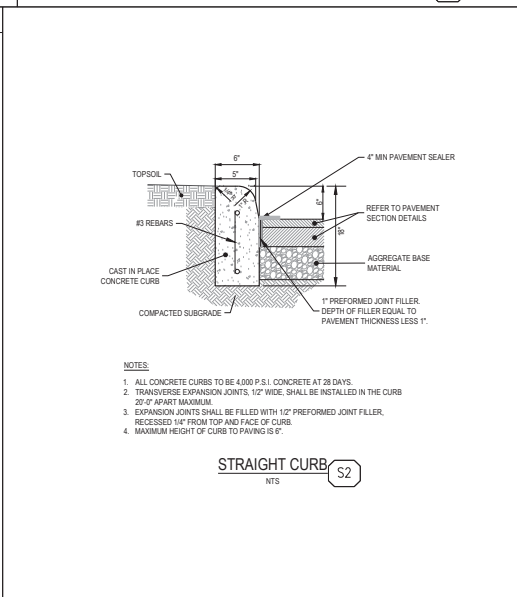
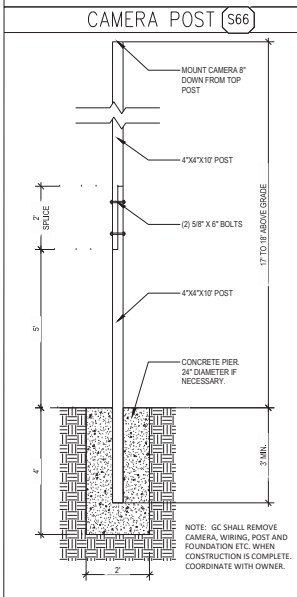


**TABLE A**

CURB HEIGHT (IN)	CURB WIDTH (IN)	CONCRETE CLASSIFICATION		
		MIN. STRENGTH	MIN. MODULUS OF ELASTICITY	MIN. COMPRESSIVE STRENGTH
4"	8"	4000	3,000,000	4,000
6"	10"	4000	3,000,000	4,000
8"	12"	4000	3,000,000	4,000
10"	14"	4000	3,000,000	4,000
12"	16"	4000	3,000,000	4,000



- MINIMUM REQUIREMENTS:**
- USE TRAINED AND EXPERIENCED PERSONNEL IN APPLYING THE PRODUCTS AND OPERATING THE EQUIPMENT REQUIRED FOR PROPERLY PERFORMED WORK.
  - PAINT SHALL BE WATERBORNE OR SOLVENT BORNE COLOR SHALL BE REFLECTIVE WHITE UNLESS OTHERWISE SPECIFIED. PAVEMENT MARKING PAINTS SHALL COMPLY WITH APPLICABLE STATE AND LOCAL LAWS ENACTED TO ENSURE COMPLIANCE WITH FEDERAL CLEAN AIR STANDARDS. PAINT MATERIALS SHALL CONFORM TO THE RESTRICTIONS OF THE LOCAL AIR POLLUTION CONTROL DISTRICT.
  - WATERBORNE PAINTS SHALL CONFORM TO FEDERAL SPECIFICATION TT-P-100 (LATEST REVISION) AND ALL APPLICABLE ASTM STANDARDS WITHIN THIS SPECIFICATION.
  - SOLVENT BORNE PAINTS SHALL CONFORM TO FEDERAL SPECIFICATION A-A-2200B OR EARLIER VERSION. PAINT SHALL BE NON-BLEEDING, QUICK-DRYING, AND READY-RETRIEVAL (BET) PAINT. SURFACE FOR TRAFFIC-BEARING SURFACE AND BE MIXED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS BEFORE APPLICATION FOR COLOR YELLOW (UNLESS OTHER COLOR IS OTHERWISE SPECIFIED).
  - GLASS BEADS: ASTM A 247, TYPE I OR FS TT-B-1223, TYPE I, GRAIN A.
  - APPLY TWO COATS OF PAINT, AT MANUFACTURER'S RECOMMENDED RATE, WITHOUT ADDITION OF FILLERS WITH MAXIMUM OF 100 SQUARE FEET PER GALLON OR AS REQUIRED TO PROVIDE A MINIMUM WET FILM THICKNESS OF 15 MILS AND DRY FILM THICKNESS OF 7 MILS PER COAT. PAINT SHALL BE APPLIED FOR A TOTAL DRY FILM THICKNESS OF 15 MILS. APPLY WITH MECHANICAL EQUIPMENT TO PROVIDE UNIFORM STRIATED EFFECT.
  - APPLY GLASS BEADS AT PEDESTRIAN CROSSWALK STRIPING AND AT LINE STRIPING AND ARROWS. BROKEN GLASS BEADS BEAD BEADS UNIFORMLY INTO WET MARKING AT A RATE OF 4 LBS/GAL.



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DATE	ISSUE
05/06/2024	OWNER REVIEW SET
03/20/2024	PERMIT SET

**PROFESSIONAL SEAL**

**PROFESSIONAL LICENSE NO.**  
E-36072-008

**PROFESSIONAL IN CHARGE**  
JEFFREY A. TIBBITTS

**PROJECT MANAGER**  
NET

**QUALITY CONTROL**  
SMP

**DRAWN BY**  
DJR

**PROJECT NAME**

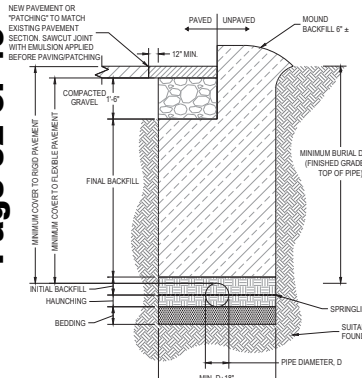


**WISCONSIN RAPIDS, WI**

**PROJECT NUMBER**  
761370-01

**SHEET NAME**

**DETAILS**



**TABLE 1: BACKFILL AND EMBEDMENT MATERIALS**

SOIL CLASSIFICATIONS (AS DEFINED IN ASTM D2487 AND D2321)	
CLASS I	CRUSHED ROCK ANGULAR (CLEAN)
CLASS II	GRAVEL AND/OR SANDS, WITH LITTLE OR NO FINES
CLASS III	SAND/SILT AND SAND/CLAY MIXTURES
CLASS IV	INORGANIC CLAYS
CLASS V	ORGANIC SILTS, CLAYS, AND PEATS
SOIL CLASSIFICATIONS (AS DEFINED IN ASCE 15-08)	
CATEGORY I	GRAVELLY SAND
CATEGORY II	SANDY SILT
CATEGORY III	SILTY CLAY

**NOTES:**

- IN THE CASE OF TRENCH BOTTOM BEING UNSTABLE, THE CONTRACTOR SHALL REPLACE FOUNDATION WITH SUITABLE MATERIAL AS SPECIFIED BY GEOTECHNICAL ENGINEER.
- COMPACTION PERCENTAGES SPECIFIED REFER TO STANDARD PROCTOR PERCENT COMPACTION.
- CONTRACTOR TO MANDATE DEWATERING IN TRENCHES DURING CONSTRUCTION.
- TRENCHING OPERATIONS SHALL CONFORM TO ALL OSHA REQUIREMENTS.
- FOR HDPE AND PVC WATERLINES AND LONG SEWER LATERALS, INSTALL METALLIC LOCATOR TAPE 12" (MIN) AND 18" (MAX) BELOW FINISHED SUBGRADE ELEVATION. INSTALL TRACER WIRE LOCATED AT THE TOP OF THE PIPE WITHIN THE INITIAL BACKFILL.

**STORM SEWER TRENCH AND BEDDING**

NTS

PVC PIPE	
ZONE	DEPTH / SOIL MATERIAL
FINAL BACKFILL	CLASS 1**
INITIAL BACKFILL	MINIMUM DEPTH = D+2 (1" COMMON)*** CLASS I, II, AND III
HAUNCHING	DEPTH = D+2*** CLASS I, II, AND III COMPACTED*
BEDDING	DEPTH = 4+4*** CLASS I, II, AND III COMPACTED*

HDPE PIPE	
ZONE	DEPTH / SOIL MATERIAL
FINAL BACKFILL	MINIMUM COVER UNPAVED AREAS = 12" MINIMUM COVER PAVED AREAS (D <= 48") = 12"*** MINIMUM COVER PAVED AREAS (D > 48") = 24"*** CLASS I AND II (COMPACTED 90% SPO) AND CLASS III (COMPACTED 95% SPO)†
INITIAL BACKFILL	MINIMUM DEPTH = D+2 (CAN EXTEND TO THE CROWN OF THE PIPE)** CLASS I, II, AND III (TYPE IV CAN BE USED WITH THE APPROVAL OF GEOTECHNICAL ENGINEER*)
HAUNCHING	DEPTH = D+2*** CLASS I, II, AND III (TYPE IV CAN BE USED WITH THE APPROVAL OF GEOTECHNICAL ENGINEER*)
BEDDING	DEPTH (D > 24") = 4+4*** DEPTH (D <= 24") = 4+4*** CLASS I, II, AND III (TYPE IV CAN BE USED WITH THE APPROVAL OF GEOTECHNICAL ENGINEER*)

NOTE: THE MIDDLE 2' BENEATH THE PIPE INVERT IN THE BEDDING ZONE SHALL BE LOOSELY PLACED.

RC PIPE	
ZONE	DEPTH / SOIL MATERIAL
FINAL BACKFILL	CATEGORY I, II, III†
INITIAL BACKFILL	DEPTH = D+2** CATEGORY I (85-95% COMPACTION), CATEGORY II (90-95% COMPACTION), OR CATEGORY III (85-95% COMPACTION)†
HAUNCHING	DEPTH = D+2** CATEGORY I (85-95% COMPACTION), CATEGORY II (90-95% COMPACTION), OR CATEGORY III (85-95% COMPACTION)†
BEDDING	MINIMUM DEPTH = D+2 (NOT LESS THAN 3") MINIMUM DEPTH = D+2 (NOT LESS THAN 3") IF ROCK FOUNDATION, MINIMUM DEPTH = D+2 (NOT LESS THAN 1") CATEGORY I (85-95% COMPACTION), CATEGORY II (90-95% COMPACTION), OR CATEGORY III (85-95% COMPACTION)†

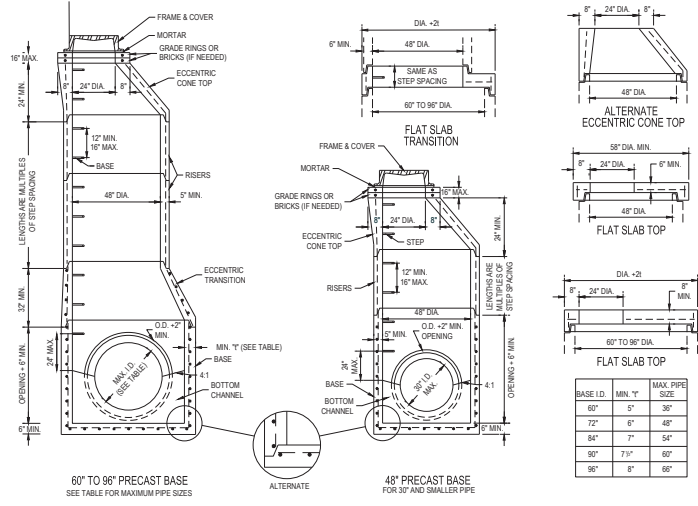
NOTE: FOR ELLIPTICAL AND ARCH PIPE, D SHALL REPRESENT HORIZONTAL SPAN OF PIPE.

DI PIPE	
ZONE	DEPTH / SOIL MATERIAL
FINAL BACKFILL	CLASS 1**
INITIAL BACKFILL	DEPTH = D+2** CLASS I, II, AND III (APPROX. 90% STANDARD PROCTOR PER ASHSTO T-99)†
HAUNCHING	DEPTH = D+2** CLASS I, II, AND III†
BEDDING	MINIMUM DEPTH = 4" CLASS I, II, AND III†

SEE TABLE 1 FOR SPECIFICATIONS ON SOIL MATERIALS  
\*\* D = PIPE DIAMETER  
\*\*\* MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

**NOTES:**

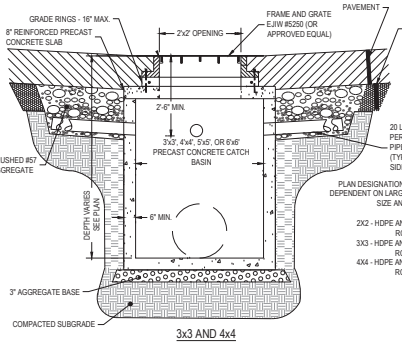
- SECTIONS OF THE PRECAST MANHOLE SHALL BE CAST AND ASSEMBLED WITH EITHER ALL TONGUE OR ALL GROOVE ENDS UP. LIFT HOLES MAY BE PROVIDED IN EACH SECTION FOR HANDLING.
- TOP AND TRANSITION (OR REDUCER) SECTIONS MAY BE EITHER ECCENTRIC CONE, CONCENTRIC CONE, OR FLAT SLAB.
- BASES FOR MANHOLES ARE SHOWN WITH MONOLITHIC FLOOR AND RISER WHICH MAY BE CAST IN ONE OR TWO OPERATIONS. A PERMISSIBLE ALTERNATE IS TO CAST AND SHIP THE FLOOR AND BASEL SEPARATELY. OPENINGS FOR INLET AND OUTLET PIPE SHALL BE PROVIDED EITHER WHEN THE UNIT IS CAST OR LATER, TO MEET PROJECT REQUIREMENTS. BOTTOM CHANNELS MAY BE FORMED OF CONCRETE PRECAST IN THE BASE OR BY FIELD CONSTRUCTION. BASES MAY ALSO BE POURED IN PLACE. ALL INLETS AND OUTLETS ARE TO BE IDENTIFIED.
- OPENINGS IN RISER SECTIONS FOR 18" AND SMALLER INLET PIPES SHALL BE PREFABRICATED. FLEXIBLE CONNECTIONS SHALL BE PROVIDED FOR SANITARY AND COMBINED SEWERS.
- JOINT SEAL BETWEEN PRECAST MANHOLE SECTIONS AND PIPES SHALL BE RESILIENT AND FLEXIBLE GASKET JOINTS PER ASTM C-923 OR LATEST EDITION.
- G-RING JOINT BETWEEN MANHOLE SECTIONS SHALL BE FLEXIBLE BUTYL RUBBER SEAL PER ASTM C-990.
- PRECAST MANHOLE SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-478.
- CONCRETE SHALL BE 4000 PSI.
- SEAL LIFT HOLES WITH NON-SHRINK GROUT.
- FRAME AND COVER.
- FRAME WITH SOLID COVER USE EAST JORDAN 1710A, WITH APPROPRIATE LETTERING OR APPROVED OTHER.
- FRAME WITH GRATE USE EAST JORDAN 1710M OR APPROVED OTHER.



**PRECAST CONCRETE MANHOLE**

NTS

C4

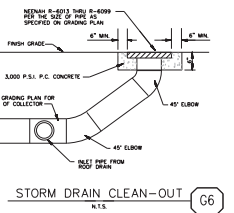


**PRECAST CATCH BASIN**

NTS

**NOTES:**

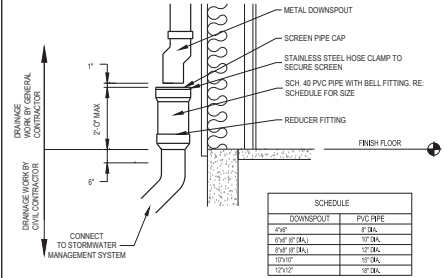
- TOP OF GRATES SHALL BE CAST WITH "NO-PO" NO WASTE" AND "GRABS TO WATERWAY". JOINTS BETWEEN SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-990 OR LATEST EDITION. PRECAST SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-478.
- CONCRETE SHALL BE 4000 PSI.
- ADJUSTMENT TO GRADES TO BE PRECAST GRADE RINGS, CASTINGS TO BE MORTARED WITH TYPE "M" MASONRY MORTAR.



**STORM DRAIN CLEAN-OUT**

NTS

C6



**DOWNSPOUT COLLECTOR DETAIL**

NTS

C26



**CESO**  
WISCONSIN RAPIDS, WI  
PHONE: 920.838.8500  
FAX: 920.838.4000

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DATE	ISSUE
03/06/2024	OWNER REVIEW SET
03/20/2024	PERMIT SET

PROFESSIONAL SEAL

PROFESSIONAL LICENSE NO. E-36072-006  
PROFESSIONAL IN CHARGE: JEFFREY A. TIBBITTS  
PROJECT MANAGER: NET  
QUALITY CONTROL: SFP  
DRAWN BY: DJH  
PROJECT NAME: WISCONSIN RAPIDS, WI

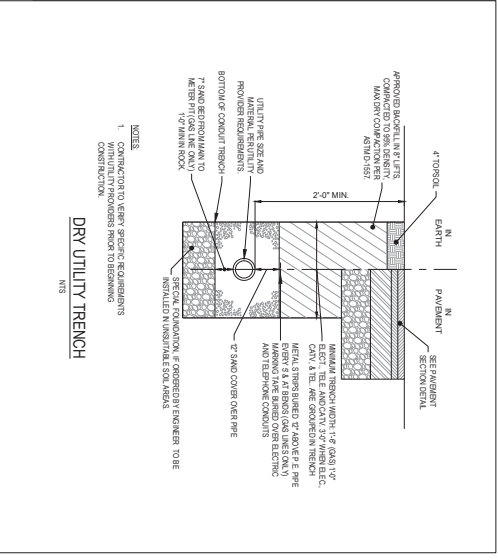
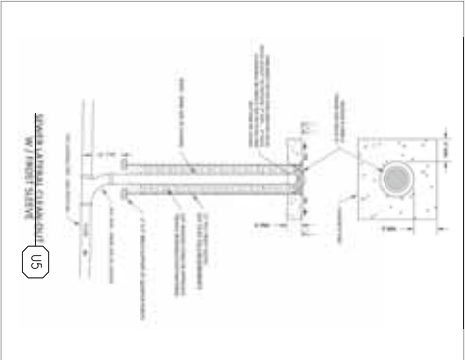


**VALVOLINE INSTANT OIL CHANGE**  
WISCONSIN RAPIDS, WI

PROJECT NUMBER: 76170-01  
SHEET NAME: DETAILS

SHEET #



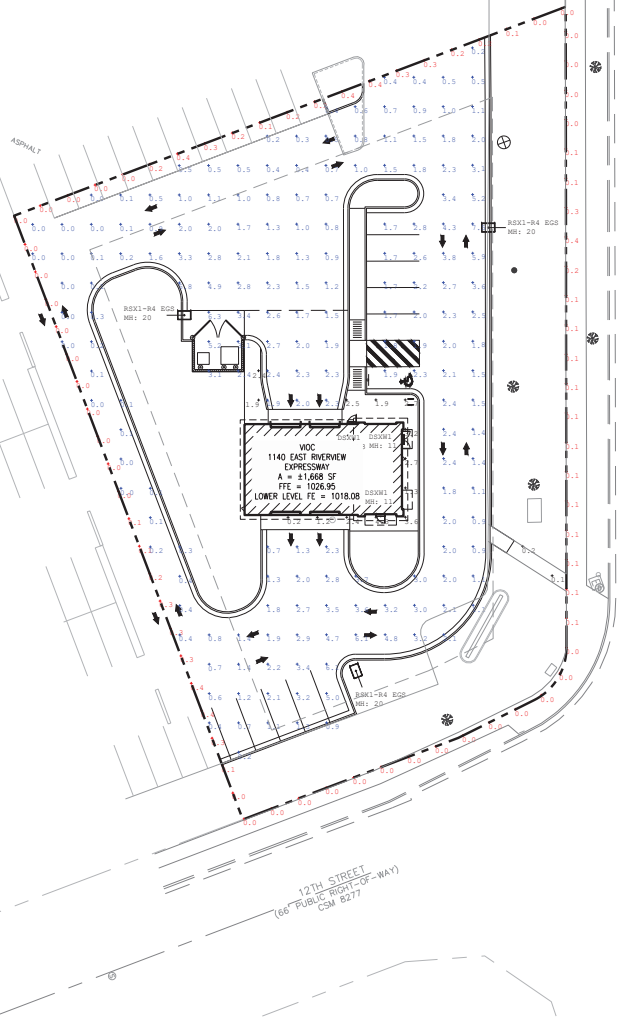


**CESO**  
 COMMUNITY ENGINEERING & SURVEYING, INC.  
 1000 WISCONSIN DRIVE, SUITE 200  
 WEST WAUKESHA, WISCONSIN 53091  
 TEL: 262.783.2600 FAX: 262.783.2601  
 WWW.CESOWISCONSIN.COM

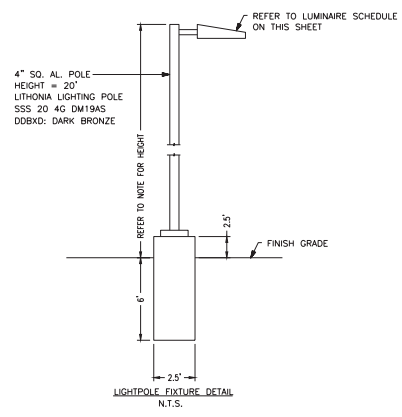
**Professional Engineer**  
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PROFESSIONAL SEAL  
 JEFFREY A. HARRIS  
 REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NO. 10521  
 STATE OF WISCONSIN  
 03/20/2024

PROJECT NAME: VALVOLINE INSTANT OIL CHANGE  
 PROJECT NUMBER: 2023-08  
 SHEET NAME: DETAILS  
 WISCONSIN RAPIDS, WI



EAST RIVERVIEW  
(100' PROVISIONAL - MWV)  
(100' PROVISIONAL - MCV)  
CSM 8277



EXISTING LEGEND:

- ⊕ EXISTING CATCH BASIN/MANHOLE
- ⊖ EXISTING ELECTRIC HAND HOLE
- ⊙ EXISTING SIGN
- ⊙ EXISTING TRAFFIC SIGNAL
- ⊙ EXISTING LIGHT POLE
- BOUNDARY LINE
- BOUNDARY ADJACENT / ROW LINE
- EASEMENT LINE
- UNDERGROUND STORM LINE
- UNDERGROUND SANITARY LINE
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- UNDERGROUND ELECTRIC LINE
- EXISTING GROUND CONTOUR
- EXISTING CURB LINE
- ⊙ EXISTING CONIFEROUS TREE
- ⊙ EXISTING DECIDUOUS TREE

PROPOSED LEGEND:

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- PROPOSED CURB
- ⊙ LIGHT POLES

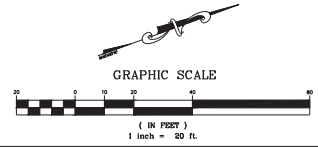
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Horiz Spill @ Prop Line	Illuminance	Fc	0.11	0.4	0.0	N/A	N/A
Pavement	Illuminance	Fc	1.12	7.5	0.0	N/A	N/A
Sidewalk	Illuminance	Fc	2.04	4.3	0.1	20.40	43.00

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Horiz Spill @ Prop Line	Illuminance	Fc	0.11	0.4	0.0	N/A	N/A
Pavement	Illuminance	Fc	1.12	7.5	0.0	N/A	N/A
Sidewalk	Illuminance	Fc	2.04	4.3	0.1	20.40	43.00



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE. THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: WISCONSIN UTILITIES PROTECTION SERVICE AT 811 OR 800-262-8511 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE.

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Mounting Height above finished grade (MF on Plan)
	3	RSX1-R4 EGS	SINGLE	1.000	RSX1 LED P4 40K R4 EGS	133,1431	20'
	3	DSXW1	SINGLE	1.000	DSXW1 LED TOC 1000 40K TFFM MVOLT	38.8	11, 13



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03/20/2024	PERMIT SET



PROFESSIONAL LICENSE NO. E-36072-006  
PROFESSIONAL IN CHARGE: JEFFREY A. TOBITTS  
PROJECT MANAGER: NET  
QUALITY CONTROL: SSP  
DRAWN BY: DJP  
PROJECT NAME:



VALVOLINE INSTANT OIL CHANGE  
WISCONSIN RAPIDS, WI

PROJECT NUMBER: 76150-01  
SHEET NAME:

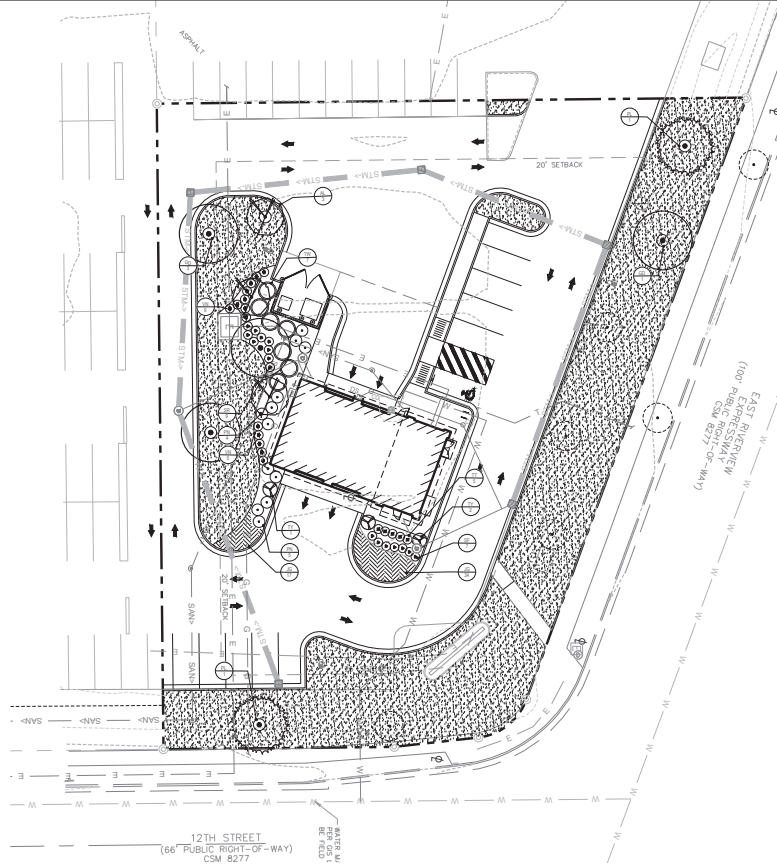
PHOTOMETRIC PLAN

SHEET#  
C-8,0

LANDSCAPE NOTES

- LANDSCAPE PLANS ARE FOR THE LOCATION AND IDENTIFICATION OF PLANT MATERIAL ONLY. ALL OTHER WORK IS TO BE PERFORMED BASED ON THESE PLANS.
- QUANTITIES ON THE PLANT SCHEDULE ARE PROVIDED FOR CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE LANDSCAPE PLANS AND THE PLANT SCHEDULE, THE LANDSCAPE ARCHITECT WILL TAKE PRECEDENCE. THE CONTRACTOR SHALL INFORM THE LANDSCAPE ARCHITECT IMMEDIATELY UPON DISCOVERING ANY QUANTITY DISCREPANCIES.
- THE CONTRACTOR SHALL NOT CHANGE OR SUBSTITUTE PLANT VARIETIES OR SPECIES WITHOUT PRIOR WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL TAKE 3 REPRESENTATIVE SOIL SAMPLES OF EACH PROPOSED PLANTING AREA AND SUBMIT COPIES OF THE RESULTS TO THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE OF ALL PLANTING HOLES AND PLANT BEDS PRIOR TO INSTALLATION.
- PLANT BEDS LABELED FOR REMOVAL SHALL BE EXCAVATED, NOT GROUND, REMOVE ANY DEBRIS FROM THE HOLE, FILL WITH TOP SOIL, COMPACT AND RAKE SMOOTH PRIOR TO INSTALLING PLANT MATERIAL.
- TOPSOIL WILL NOT BE STOCKPILED FOR RE-USE IN LANDSCAPE WORK. CONTRACTOR SHALL EXPORT TOPSOIL AS REQUIRED TO COMPLETE LANDSCAPE WORK.  
 PROVIDE NEW TOPSOIL THAT IS FERTILE, FRAGILE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF ROOTS, STUMPS AND LARGE STONES AND FREE OF BRUSH, WEEDS, LITTER, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.  
 OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NOT LESS THAN 4 INCHES. DO NOT OBTAIN FROM BOGS OR MARSHES.  
 PLANT MATERIAL SHALL BE PLACED AS SHOWN ON THE LANDSCAPE PLANS.
- PLANTING SOIL MIX FOR TREES, SHRUBS, AND GROUNDCOVERS SHALL CONSIST OF THE FOLLOWING:  
 80% TOPSOIL  
 20% PREPARED ADDITIVES (BY VOLUME AS FOLLOWS):  
 - 3 PARTS - ORGANIC SOIL CONDITIONER (NATURE'S HELPER OR EQUAL)  
 - 1 PART - STERILIZED COW MANURE (OR EQUAL)  
 - COMMERCIALLY AVAILABLE STARTER FERTILIZER @ RATES SPECIFIED BY MANUFACTURER  
 - LIME (AS RECOMMENDED IN SOIL ANALYSIS)
- QUALITY OF PLANT MATERIAL: ALL PLANTS SHALL CONFORM TO THE CURRENT VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).  
 PLANT MATERIAL SHALL BE FREE OF DISEASE AND/OR INSECTS, AND SHALL HAVE A HEALTHY ROOT SYSTEM WITH NO CIRCLING OR KINKED ROOTS. CONTAINER PLANTS SHALL NOT BE ROOT BOUND. PLANT MATERIAL SHALL CONFORM TO THE CURRENT STANDARDS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004).  
 TREES SHALL HAVE STRAIGHT TRUNKS, DENSE CANOPIES AND STRONG BRANCHING WITH GOOD CROTCH ANGLES. CONTRACTOR SHALL SUBMIT GRADE PHOTOS OF EACH TREE TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY.  
 ALL PLANT MATERIAL SHALL BE SUFFICIENTLY WATERED TO WET THE ENTIRE ROOT BALL WITHIN TWO HOURS OF PLANTING.
- INSPECTION AND APPROVAL OF PLANT MATERIAL: ALL PLANT MATERIAL SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT UPON DELIVERY TO THE SITE. PRIOR TO INSTALLATION, CONTRACTOR SHALL GIVE LANDSCAPE ARCHITECT AT LEAST ONE WEEK NOTICE PRIOR TO PLANT DELIVERY.
- NEW SHRUB AND GROUNDCOVER PLANTING SHALL BE A MINIMUM OF 36" AWAY FROM EXISTING TREES.
- CONTRACTOR SHALL REMOVE ALL PLANT TAGS AFTER APPROVAL OF PLANT INSTALLATION BY LANDSCAPE ARCHITECT
- MULCH ALL PLANT BEDS AND TREE RINGS WITH FRESH, CLEAN PINESTRAW TO A MINIMUM DEPTH OF THREE (3) INCHES. DO NOT PILE MULCH AROUND THE BASE OF PLANTS OR TREE TRUNKS. ALL MULCH EDGES SHALL BE NEATLY TUCKED, ALL STRING AND/OR BAILING WIRE SHALL BE REMOVED. DUST SHRUBS AND GROUND COVER AFTER MULCHING TO REMOVE LOOSE PINESTRAW FROM THE PLANTS.
- BED PREPARATION FOR SOD INSTALLATION: REMOVE EXISTING VEGETATION WITHIN THE APPROVED BEDLINE. IF THE EXISTING SOIL IS COMPACTED OR OTHERWISE UNSUITABLE FOR PLANTING, REMOVE THE TOP 4 INCHES OF SOIL, TILL SUBGRADE TO A MINIMUM DEPTH OF 6 INCHES. REMOVE LARGE STONES, STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATERIAL.  
 SPREAD 2 INCHES OF TOPSOIL OVER THE PREPARED BED AND TILL INTO THE TOP 4 INCHES OF LOOSENED SUBGRADE. SPREAD THE REMAINING 2 INCHES OF TOPSOIL, RAKE SMOOTH AND ROLL COMPACT. BEDS SHALL BE FINISHED WITH A SLIGHT CROWN AT THE CENTER TO ALLOW WATER TO SHEET FLOW TO THE SIDES.  
 WATER THE BED IMMEDIATELY BEFORE LAYING THE SOD SO THAT THE TOP INCH OF SOIL IS MOIST. ALLOW WATER TO PERCOLATE SO THERE IS NO STANDING WATER. LIMIT PREPARATION TO AREAS THAT WILL BE SOODED THAT SAME DAY.
- MAINTENANCE: CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL FROM THE TIME IT IS INSTALLED UNTIL FINAL ACCEPTANCE OR WHEN THE OWNER TAKES OVER MAINTENANCE. WHOEVER OCCURS FIRST, MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO MOWING, EDGING, WEEDING, WATERING, PRUNING, FERTILIZING, ETC.
- WARRANTY: CONTRACTOR SHALL PROVIDE A ONE-YEAR WARRANTY ON ALL PLANT MATERIAL AND LABOR. WARRANTY PERIOD SHALL BEGIN UPON FINAL COMPLETION OR WHEN THE OWNER TAKES OVER MAINTENANCE, WHICHEVER OCCURS FIRST.  
 THE CONTRACTOR SHALL MAKE PERIODIC INSPECTIONS OF THE PROJECT DURING THE WARRANTY PERIOD TO ENSURE THAT THE ESTABLISHMENT RATE OF GROWTH IS ADEQUATE. ANY METHODS OR PRODUCTS DEEMED NOT NORMAL OR DETRIMENTAL TO GOOD PLANT GROWTH SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT IN WRITING. FAILURE TO INSPECT AND REPORT WILL BE INTERPRETED AS APPROVAL, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL REPLACEMENTS.
- WEED BARRIER REQUIRED UNDER LANDSCAPE BEDS (INCLUDING MULCH AND ROCK BED).

SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: WISCONSIN UTILITIES PROTECTION SERVICE AT 811 OR 800-242-8811 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE MEMBERS OF STATE UTILITIES PROTECTION SERVICE



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
<b>TREES</b>						
	AL	3	AMELANCHIER LAEVIS ALLEGHENY SERVICEBERRY 'CUMULUS'	2.5' CAL	6-8 HT	AS SHOWN
	GD	4	GYMNOCALOUS DIDICUS 'ESPRESSO' KENTUCKY COFFEETREE	2.5' CAL	10-12' HT	AS SHOWN
	TY	4	THUJA OCCIDENTALIS 'YELLOW RIBBON' YELLOW RIBBON ARBORVITAE	---	4' HT	AS SHOWN
<b>EVERGREEN TREES</b>						
	PL	2	PINUS SYLVESTRIS SCOTS PINE	---	8-12' HT	AS SHOWN
<b>SHRUBS</b>						
	SF	7	COTONEASTER APICULATUS CRANBERRY COTONEASTER	---	12' HT	3'-0" OC
	PN	13	PICEA ABIES 'NIDIFORMIS' BIRD'S NEST NORWAY SPRUCE	---	12' HT	4'-0" OC
	SR	5	SALIX REPENS 'NITIDA' SILVER CREEPING WILLOW	---	15' HT	4'-0" OC
	TT	5	TAXUS X MEDIA 'TALANTON' TAUNTONS ANGLO-JAPANESE YEW	---	36' HT	3'-0" OC
	TW	9	THUJA OCCIDENTALIS 'WOODWARD' WOODWARD ARBORVITAE	---	48' HT	6'-0" OC
	VN	14	VEURBURM OPIULIS 'NAMUF' DWARF EUROPEAN CRANBERRYBUSH	---	18' HT	3'-0" OC
<b>GROUND COVERS</b>						
	JG	51	JUNPERUS CHINENSIS 'SARGENTII' 'GLAUKA' BLUE SARGENT JUNPER	---	1 GAL	2'-0" OC
	PP	10,887 SF	POA PRATENSIS KENTUCKY BLUEGRASS	SOD		
			EXISTING TREE TO REMAIN			

LANDSCAPE REQUIREMENTS

**STREET FRONTAGE LANDSCAPE REQUIREMENTS (60 POINTS PER 100 LF)**  
 REQUIRED: 170 POINTS (283'100' \* 60 ÷ 170)  
 PROPOSED: 170 POINTS (4 EXISTING TREES, 1 PROPOSED)

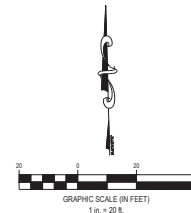
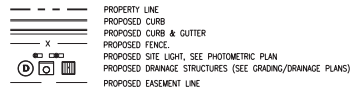
**BUILDING FOUNDATION REQUIREMENTS (40 POINTS PER 100 LF OF BUILDING PERIMETER)**  
 REQUIRED: 84 POINTS (100'100' \* 40 ÷ 484)  
 PROPOSED: 126 POINTS

**PARKING LOT LANDSCAPE REQUIREMENTS (100 POINTS PER 10,000 SF OF PAVED AREA)**  
 REQUIRED: 170 POINTS  
 PROPOSED: 160 POINTS

**MULCH**  
 ALL PLANT BEDS SHALL CONTAIN A 3" LAYER OF DOUBLE HAMMERED HARDWOOD MULCH (FROM A SUSTAINABLE SOURCE). CONTRACTOR TO PLACE A 4" DIAMETER MULCH RING AROUND ALL TREES IN LAWN

**IRRIGATION**  
 THE CONTRACTOR SHALL DESIGN, SUPPLY, AND INSTALL IRRIGATION SYSTEM FOR ALL SOODED AND PLANTING AREAS AS SHOWN ON THIS SHEET. DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION

PROPOSED LEGEND:



**DISCLAIMER NOTICE**  
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DATE	ISSUE
03/26/2024	OWNER REVIEW SET
03/20/2024	PERMIT SET

PROFESSIONAL SEAL:

PROFESSIONAL LICENSE NO. E-36072-006

PROFESSIONAL IN CHARGE: JEFFREY A. HEBBETS

PROJECT MANAGER: NET

QUALITY CONTROL: SMP

DRAWN BY: DJP

PROJECT NAME:



VALVOLINE INSTANT OIL CHANGE

WISCONSIN RAPIDS, WI

PROJECT NUMBER: 761370-01

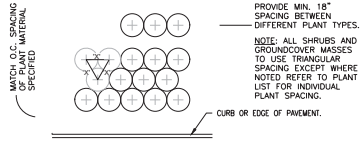
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LANDSCAPE PLAN

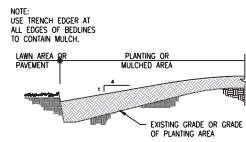
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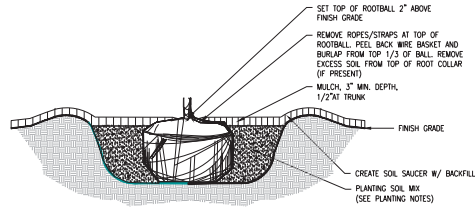




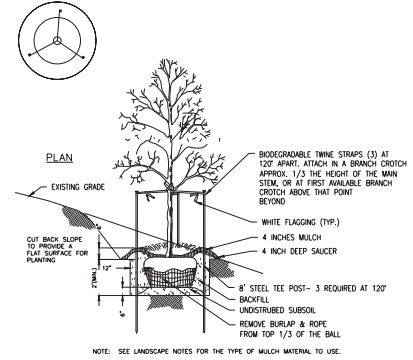
**1** TYP. PLANT SPACING  
SCALE: NTS



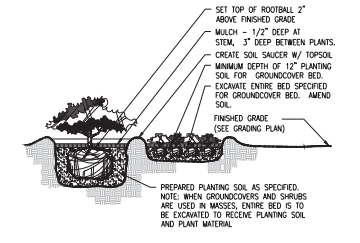
**2** TRENCH EDGER  
SCALE: NTS



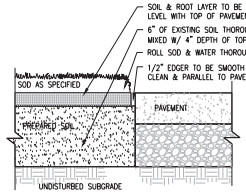
**3** ROOTBALL DETAIL  
SCALE: NTS



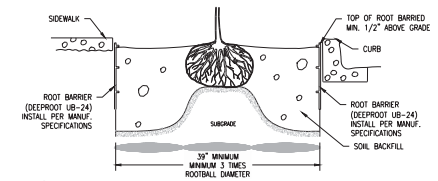
**4** TREE PLANTING ON SLOPE  
SCALE: NTS



**5** SHRUB & GROUNDCOVER PLANTING  
SCALE: NTS



**6** SOD EDGE DETAIL  
SCALE: NTS



**7** ROOT BARRIER  
SCALE: NTS

**TREE PROTECTION NOTES**

- ALL TREES SHOWN ON THIS PLAN TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF DEMOLITION/CONSTRUCTION WITH TEMPORARY FENCING. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH LANDSCAPE CONTRACTOR.
- TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR GRADING). CLEARING SHALL BE DONE BY HAND.
- ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED WITH A CLEAN CUT FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY NATIVE SOIL IMMEDIATELY. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
- PRIOR TO EXCAVATION OR GRADE CUTTING WITHIN TREE DRIP LINES, MAKE A CLEAN CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT TO MINIMIZE DAMAGE TO REMAINING ROOTS.
- TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES SHOULD BE WATERED DEEPLY ONCE A WEEK DURING PERIODS OF HOT, DRY WEATHER. TREE CROWNS SHOULD BE SPRAYED WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- DAMAGE TO TREES OR ANY NATURAL RESOURCE DUE TO CONTRACTOR'S NEGLIGENCE DURING THE CONSTRUCTION PHASE SHALL BE APPRAISED BY THE OWNERS REPRESENTATIVE AND ORDERED REPAIRED, REPLACED, OR COMPENSATED.

PROFESSIONAL LICENSE NO. E-36072-006

PROFESSIONAL IN CHARGE JEFFREY A. HEBBETS

PROJECT MANAGER NET

QUALITY CONTROL SFP

DRAWN BY DJP

PROJECT NAME



VALVOLINE INSTANT OIL CHANGE

WISCONSIN RAPIDS, WI

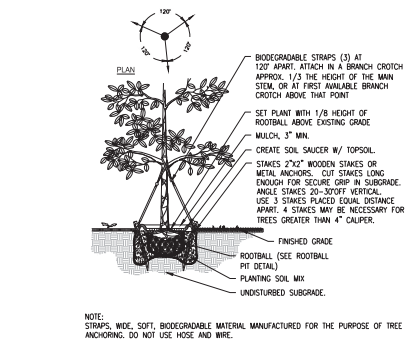
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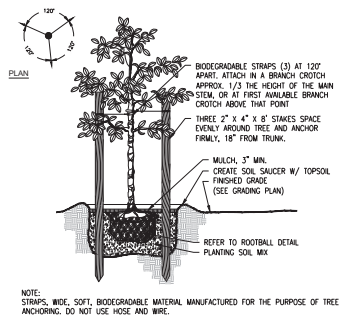
PLANTING DETAILS

SHEET#

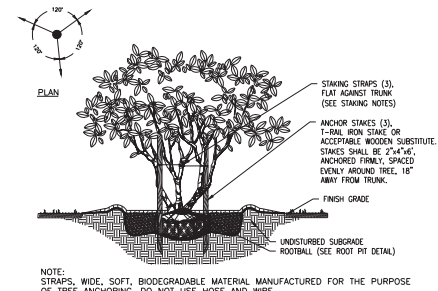
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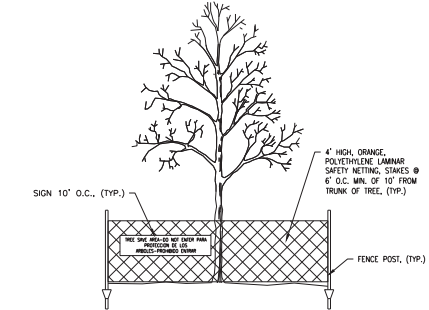
**8** DECIDUOUS TREE STAKING  
SCALE: NTS



**9** SMALL TREE STAKING  
SCALE: NTS



**10** MULTI-TRUNK TREE STAKING  
SCALE: NTS



**11** TREE PROTECTION DETAIL  
SCALE: NTS

ALTA / NSPS LAND TITLE SURVEY  
VALVOLINE - WISCONSIN RAPIDS, WI  
LOT 3 OF WOOD COUNTY CERTIFIED SURVEY MAP NO. 8277, RECORDED IN VOL. 28 OF C.S.M.'S ON PAGE 177,  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 22 SOUTH,  
RANGE 6 EAST OF FOURTH PRINCIPAL MERIDIAN (EXTENDED), WOOD COUNTY, STATE OF WISCONSIN

LEGAL DESCRIPTION

PLAT OF WOOD COUNTY CERTIFIED SURVEY MAP NO. 8277, RECORDING IN VOL. 28 OF C.S.M.'S ON PAGE 177, LOCATED IN THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 22 SOUTH, RANGE 6 EAST OF FOURTH PRINCIPAL MERIDIAN (EXTENDED), WOOD COUNTY, STATE OF WISCONSIN. THE SURVEYED AREA IS DESCRIBED AS FOLLOWS: ...

TITLE COMMITMENTS

THE SURVEYED AREA IS SUBJECT TO THE FOLLOWING TITLE COMMITMENTS: ...

... (Additional title commitment details)

... (Additional title commitment details)

... (Additional title commitment details)

... (Additional title commitment details)

... (Additional title commitment details)

... (Additional title commitment details)

... (Additional title commitment details)

... (Additional title commitment details)

... (Additional title commitment details)

... (Additional title commitment details)

... (Additional title commitment details)



GENERAL NOTES

- 1. ALL DIMENSIONS ARE SHOWN IN FEET AND INCHES. ...
- 2. THE SURVEYED AREA IS SUBJECT TO THE FOLLOWING TITLE COMMITMENTS: ...
- 3. THE SURVEYED AREA IS SUBJECT TO THE FOLLOWING TITLE COMMITMENTS: ...

PROPERTY INFORMATION

- 1. PROPERTY NUMBER: ...
- 2. PROPERTY ADDRESS: ...
- 3. PROPERTY AREA: ...

ADDITIONAL NOTES

- 1. THE SURVEYED AREA IS SUBJECT TO THE FOLLOWING TITLE COMMITMENTS: ...
- 2. THE SURVEYED AREA IS SUBJECT TO THE FOLLOWING TITLE COMMITMENTS: ...

PROPERTY INFORMATION

- 1. PROPERTY NUMBER: ...
- 2. PROPERTY ADDRESS: ...
- 3. PROPERTY AREA: ...

ADDITIONAL NOTES

- 1. THE SURVEYED AREA IS SUBJECT TO THE FOLLOWING TITLE COMMITMENTS: ...
- 2. THE SURVEYED AREA IS SUBJECT TO THE FOLLOWING TITLE COMMITMENTS: ...

Professional surveyor information including: Valvoline, LLC; Wisconsin Rapids, WI; ATWELL logo; 811 logo; and various contact details and dates.

ALTA / NSPS LAND TITLE SURVEY  
 VALVOLINE - WISCONSIN RAPIDS, WI  
 LOT 3 OF WOOD COUNTY CERTIFIED SURVEY MAP NO. 8277, RECORDED IN VOL. 28 OF C.S.M.'S ON PAGE 177,  
 LOCATED IN THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 20, TOWNSHIP 22 SOUTH,  
 RANGE 6 EAST OF FOURTH PRINCIPAL MERIDIAN (EXTENDED), WOOD COUNTY, STATE OF WISCONSIN



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SECTION 20  
 TOWNSHIP 22 SOUTH, RANGE 6 EAST  
 WISCONSIN RAPIDS  
 WOOD COUNTY, WISCONSIN

VALVOLINE, LLC  
 VALVOLINE WISCONSIN RAPIDS, WI  
 ALTA/NSPS LAND TITLE SURVEY  
 LOT 3 DE WOOD COUNTY CSM  
 MAP NO. 8277

DATE  
 DECEMBER 8, 2023

REVISIONS

SCALE  
 1" = 60 FEET

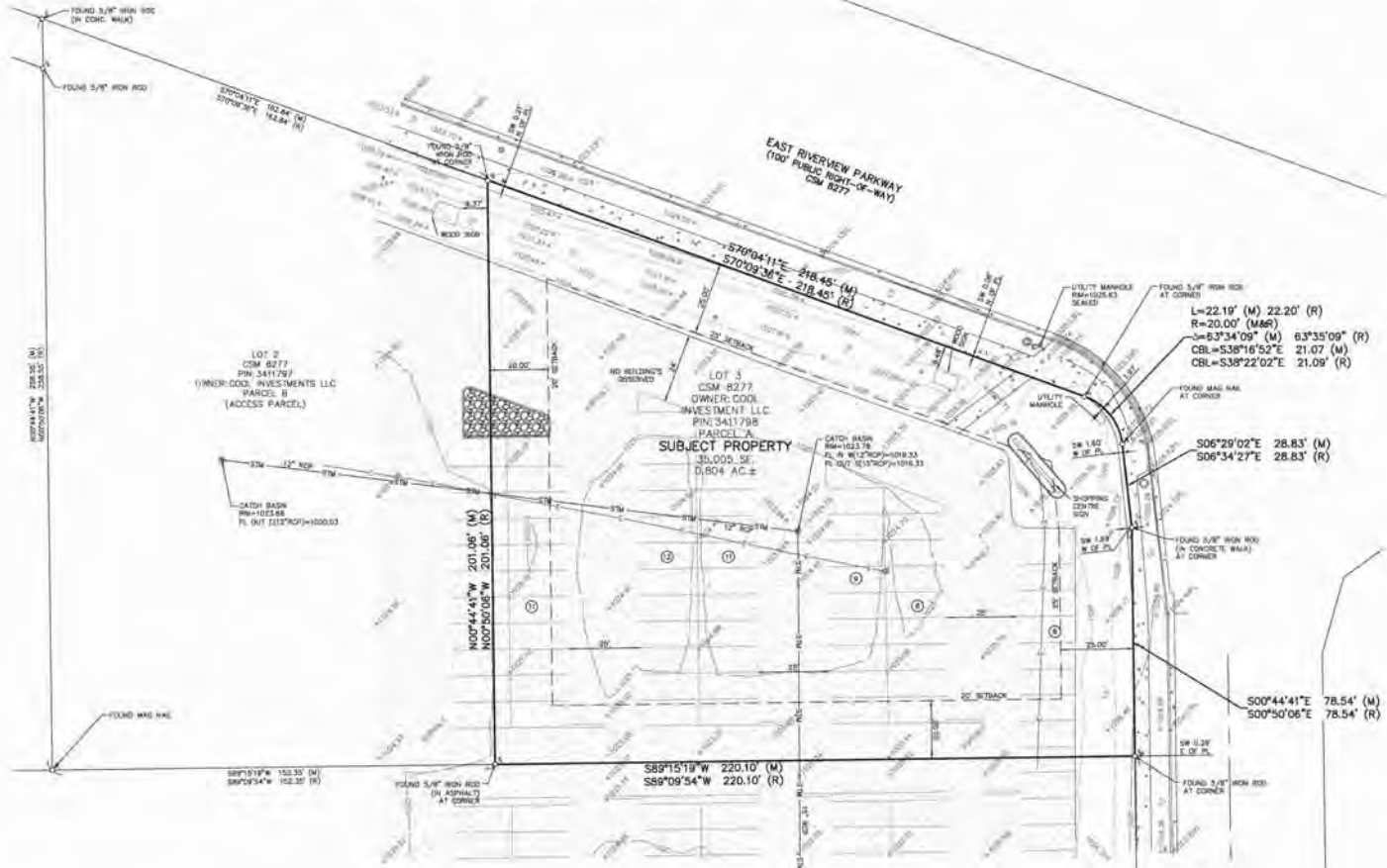
BY  
 J. B. CLIPPER

BOOK  
 28

PAGE  
 39 OF 49

SHEET NO.  
 2 OF 3

ALTA / NSPS LAND TITLE SURVEY  
 VALVOLINE - WISCONSIN RAPIDS, WI  
 LOT 3 OF WOOD COUNTY CERTIFIED SURVEY MAP NO. 8277, RECORDED IN VOL. 28 OF C.S.M.'S ON PAGE 177,  
 LOCATED IN THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 20, TOWNSHIP 22 SOUTH,  
 RANGE 6 EAST OF FOURTH PRINCIPAL MERIDIAN (EXTENDED), WOOD COUNTY, STATE OF WISCONSIN



LEGEND

LS	LANDSCAPE AREA
BM	BENCHMARK
(R1)	RECORD DIMENSIONS FROM CSM 8277
(R2)	RECORD DIMENSIONS FROM CSM 11143
(R3)	RECORD DIMENSIONS EAST SIDE ANNEX ASSessor'S PLAT NO. 51
(M)	MEASURED
(CL)	CALCULATED
REC	RECORDED
DOC	DOCUMENT
N	NORTH
S	SOUTH
E	EAST
W	WEST
PL	PROPERTY LINE
QT	FOUND SURVEY MONUMENT
OS	SURVEY MONUMENT TO BE SET
K1029.86	EXISTING GROUND ELEVATION
K 1022.90(F)	FLOW LINE ELEVATION
K 1029.87(F)	EDGE OF PAVEMENT ELEVATION
TIC	EXISTING MANHOLE/CATCH BASIN
IT	EXISTING ELECTRIC HAND HOLE
○	EXISTING SIGN
○	EXISTING TRAFFIC SIGNAL
○	EXISTING LIGHT POLE

---	BOUNDARY LINE
---	BOUNDARY ADJACENT / ROW LINE
---	EASEMENT LINE
---	SUBDIVISION LOT LINE
---	PROPOSED EASEMENT LINE
---	UNDERGROUND STORM LINE
---	UNDERGROUND SANITARY LINE
---	UNDERGROUND WATER LINE
---	UNDERGROUND GAS LINE
---	UNDERGROUND ELECTRIC LINE
---	EXISTING GROUND CONTOUR
---	EXISTING CURB LINE LINE
---	EXISTING CONCRETE
---	EXISTING ASPHALT
---	EXISTING GRAVEL
---	EXISTING CONIFEROUS TREE
---	EXISTING DECIDUOUS TREE
---	PARKING COUNT

PART OF LOT 1  
 CSM 8277  
 PIN: 3411796A  
 OWNER: TWAS PROPERTIES LLC  
 PARCEL: B  
 (ACCESS PARCEL)

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 CERTIFICATE OF AUTHORIZATION 348-11

SECTION 20  
 TOWNSHIP 22 SOUTH, RANGE 6 EAST  
 WISCONSIN RAPIDS  
 WOOD COUNTY, WISCONSIN

VALVOLINE, LLC  
 VALVOLINE WISCONSIN RAPIDS, WI  
 ALTA/NSPS LAND TITLE SURVEY  
 LOT 3 OF WOOD COUNTY CSM  
 MAP NO. 8277

DATE  
 DECEMBER 8, 2023

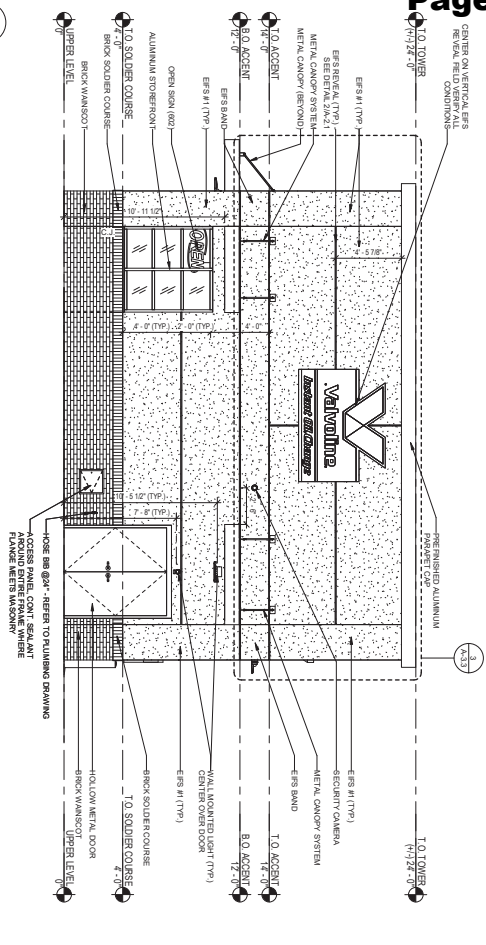
REVISIONS

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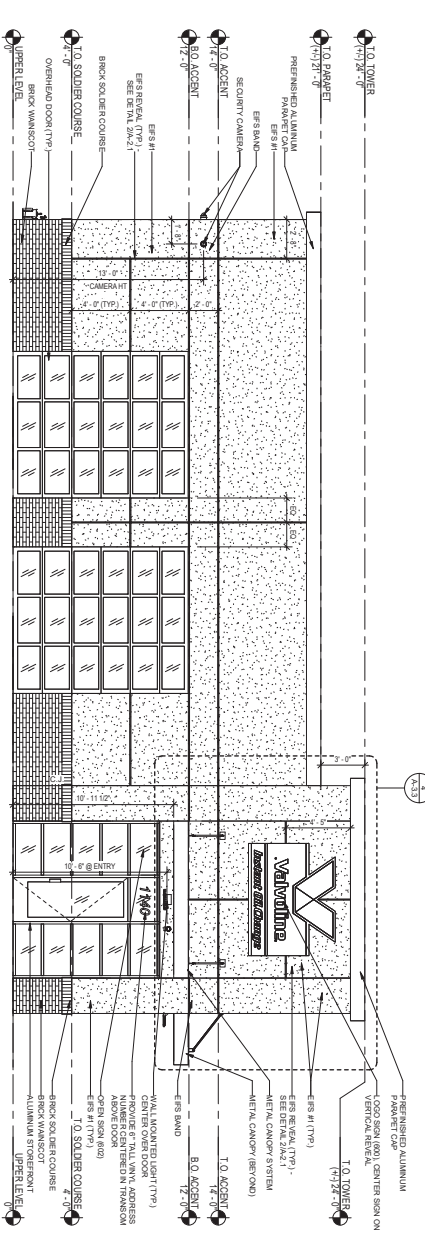
DATE  
 12/8/23  
 DRAWN  
 CHECKED  
 APPR.  
 JOB  
 23008945  
 SHEET NO.  
 3 OF 3



2 EXTERIOR ELEVATION (OVERALL RIGHT)  
Scale: 1/4" = 1'-0"



1 EXTERIOR ELEVATION (OVERALL FRONT)  
Scale: 1/4" = 1'-0"



ELEVATION NOTES

1. ERS SHALL BE GRUNT CLASS REBARING SYSTEM WITH FLUID APPLIED WATER RESISTIVE BARRIER BEHIND INSULATION BOARD.
2. SQUARE SHOW ON THESE ELEVATIONS IS FOR GENERAL REFERENCE PURPOSES ONLY. ALL SQUARE SHALL BE AMEASURED FOR A SPAN/SPAN SQUARE SUBMITTAL.
3. O.G. SHALL PROVIDE EVIDENCE OF THE WALL BENEATH EACH ELEVATION RECORDED BY SIGN CONTRACTOR TO AVOID ANY DISPUTE AS TO THE LOCATION OF THE ORIGINAL SQUARES.
4. ALL FINISHING, STAIR CASES, GARAGES, ETC. SHALL MATCH EXTERIOR FINISHING. MANUFACTURERS' STANDARD DETAILS PROVIDE VERTICAL BROOM CAP WHERES SHOWN.
5. NOT USED.
6. ALL WORK WITH CORNER EXPOSURES TO HAVE SAME FINISH AS FACE OF THE STANDING MASONRY PRODUCT. NO CUT SURFACE ARE TO BE EXPOSED.
7. ALL EXTERIOR SECURITY CAMERAS SHALL BE INSTALLED OVER RE-ELECTRICAL BOXES RECESSED INTO THE EXTERIOR WALL FINISH. REFER TO ELECTRICAL FOR SCHEDULE.

EXTERIOR FINISHES

FINISH SYSTEM	DESCRIPTION
EXTERIOR INSULATED FINISH SYSTEM	GRUNT (RAMPRESSE FINE) COLOR: ERS #1 - #115 ANY/ANY/L/WHITE
FACE BRICK WAINSCOT (GRADE TO 4'0" ABOVE GROUND)	BELEN - "MOLAR AND LOAN BLEND" SOLID BRICK - "MOUTHERS" MORTAR
MASONRY SEALER	LEHIGH STANDARD RT - "BE-CF" ALL MASONRY SURFACES SHALL BE TREATED DIVERT ALER REFER TO SPECIFICATIONS.
METAL CANOPY	ANYER CANOPY SYSTEM - COLOR TO MATCH PAC-CLAD SILVER
COMPING, SOPHIT & TRAIL ROOF SCUPPERS & DOWNPOUTS	PAC-CLAD SNAP ROOF EXTENSIVE ASBLA 113 107 AND VENTED SOPHIT AND TRAIL - COLOR TO MATCH PAC-CLAD SILVER DIMENSIONAL METALS, NC - "BORG"
STONEFRONT SYSTEM	24" THICK STONEFRONT PANELS WITH INSULATED ALUMINUM STONEFRONT SYSTEM WITH INSULATED GLAZING
H.M. DOORS & FRAMES	FIELD PAINT BY SHERMAN WILLIAMS 9065 5000 PRO-COLOR. FINISH FOLLOWED BY 21" FINISH COATS OF 9065 5000 BROWN. PROVIDE KNOCK-UP AND VERIFY COLOR TO OWNER
O.H. DOOR FINISH ACCESS PANEL	O.H. DOOR FINISH STAINLESS STEEL

SIGNAGE SCHEDULE

NUMBER	DESCRIPTION	SIZE	ALUMINATED	QUANTITY
(020)	LOGO SIGN	7'-8" x 11'-10" (64" SF)	INTERNAL	3
(010)	NAME SIGNATOR	18" x 1' (10" SF)	NO	2
(020)	OPEN SIGN	2'-1 1/2" x 11'-17 1/2" (24.95' SF)	INTERNAL	2
(030)	MONUMENT SIGN	REFER TO SHEET A-111	INTERNAL	0
(030)	LOGO SIGN	4'-11" x 6'-9" (91 SF)	INTERNAL	0

PER LOCAL AND DEVELOPMENTAL RESTRICTIONS.

PROFESSIONAL SEAL

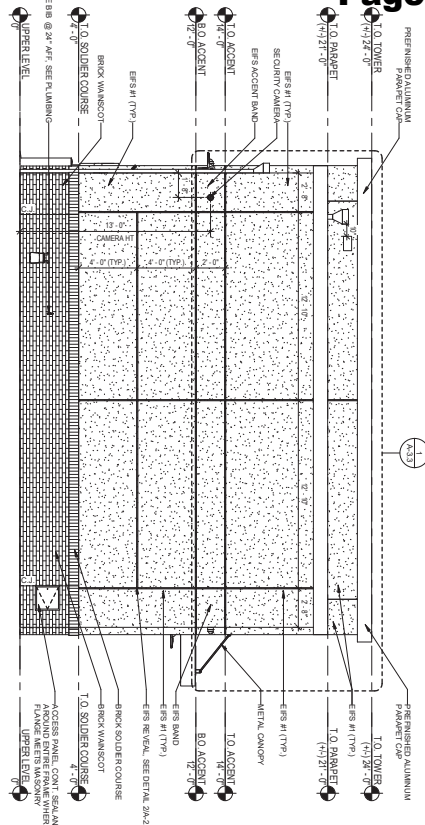
DATE	12/20/11
SCALE	AS SHOWN
DESIGNED BY	CEISO
DRAWN BY	CEISO
CHECKED BY	CEISO
APPROVED BY	CEISO

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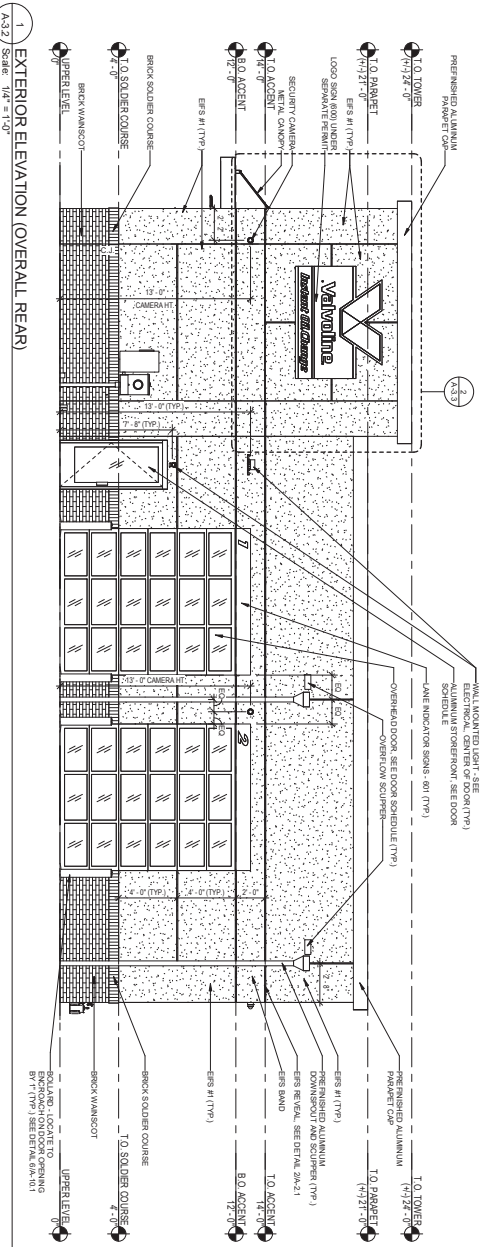
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SHEET NAME: EXTERIOR ELEVATIONS-  
PROJECT: VALVOLINE INSTANT OIL CHANGE WISCONSIN RAPIDS, WI

A-3.1

3/20/2014 6:41:11 AM BM 2001 DDC - Wisconsin Rapids WPT11370 Wisconsin Rapids WI.rvt



2 EXTERIOR ELEVATION (OVERALL LEFT)  
A-3.2 Scale: 1/4" = 1'-0"



1 EXTERIOR ELEVATION (OVERALL REAR)  
A-3.2 Scale: 1/4" = 1'-0"

ELEVATION NOTES


1. ERS SHALL BE GRANT CLASS AIR-BARRIAGE SYSTEM WITH FLUID APPLIED WATER RESISTIVE BARRIER BEHIND INSULATION BOARD.
2. SQUARE SHOW ON THESE ELEVATIONS IS FOR GENERAL REFERENCE PURPOSES ONLY. ALL SQUARE SHALL BE VERIFIED FOR & PRINTED UNDER A SQUARE SYMBOL.
3. G.O. SHALL PROVIDE EVIDENCE IN FIELD WALLS BEHIND EACH ELEVATION REQUIRED BY SIGN CONTRACTORS TO VERIFY THE QUALITY OF THE WORK.
4. ALL FINISHING, NAME CARDS, OPERATOR ETC. SHALL MATCH GUTTER DOWNSPOUT MANUFACTURER'S STANDARD DETAILS PROVIDE VENTED ROOF CAP WHEN SHOWN.
5. NOT USED.
6. ALL WORKING WITH CORNER EXPOSURES TO HAVE SAME FINISH AS FACE OF THE STANDARD MASSWORK PRODUCT. NO CUT SQUARES ARE TO BE EXPOSED.
7. ALL EXTERIOR SECURITY CAMERAS SHALL BE INSTALLED OVER RE-ELECTRICAL BOXES RECESSED INTO THE EXTERIOR WALL FINISH. REFER TO ELECTRICAL SIGN SCHEDULE.

EXTERIOR FINISHES


EXTERIOR INSULATION FINISH SYSTEM	GRANT (SAMPSON) FINE COLORED EPS 1 1/2" R19S ACRYL WHITE
FACE BRICK WANSICOT	BEIDEN - "MOLAR" MEDIUM BLEND (GRADE TO 4'0" ABOVE GRADE)
ROOFING	LEHIGH STANDARD RT - "ICE"
MASSWORK	ALL MASSWORK SURFACES SHALL BE TREAT DIVER ALER REFER TO SPECIFICATIONS.
METAL CANOPY:	ALUMINUM CANOPY SYSTEM - COLOR TO MATCH PAC-CLAD SILVER
CONING, SLOTT & TRAIL	PAC-CLAD SNAP ROOF EXTENDED AREA 1/2" R19 AND VENTED SLOTT AND TRAIL - COLOR TO MATCH PAC-CLAD SILVER DOWNSPOUTS
ROOF SCUPPERS & DOWNSPOUTS	DIMENSIONAL METALS, INC. - "BEGE"
STONEWORK SYSTEM	2 1/2" THICK GRANITE FINISH 4" X 8" TENSILE STAIN MANTER ALUMINUM STONEWORK SYSTEM WITH INSULATED CLADDING
H.M. DOORS & FRAMES	FINISH FLOOR TO 2 1/2" FINISH COAT OF 80% X 20% SAND BROWN - PROVIDE KNOCK-UP AND VERIFY COLOR W/ OWNER
O.H. DOOR FINISH ACCESS PANEL:	CLAM ANODIZED ALUMINUM STAINLESS STEEL

SIGNAGE SCHEDULE

NUMBER	DESCRIPTION	SIZE	ALUMINATED	QUANTITY
(A32)	LOGO SIGN	7'-8" x 5'-11" (66 SF)	INTERNAL	3
(A33)	LANE INDICATOR	1/2" x 1'-0" (10 SF)	NO	2
(A34)	OPEN SIGN	2'-1 1/2" x 11'-1/2" (22 SF)	INTERNAL	2
(A35)	MONUMENT SIGN	REFER TO SHEET A-1.11	INTERNAL	0
(A36)	LOGO SIGN	4'-11" x 6'-6" (31 SF)	INTERNAL	0



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CORPORATION  
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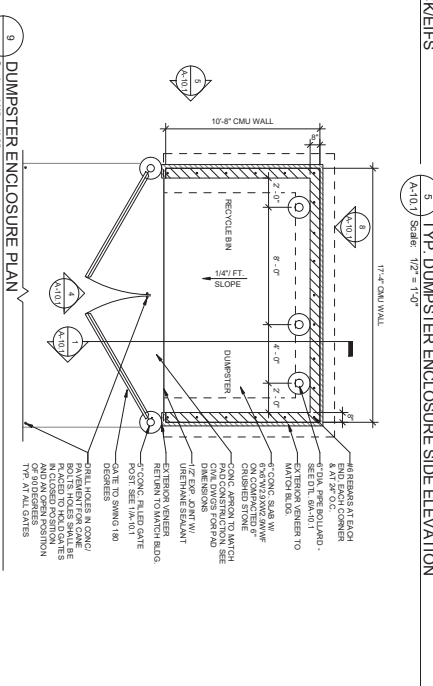
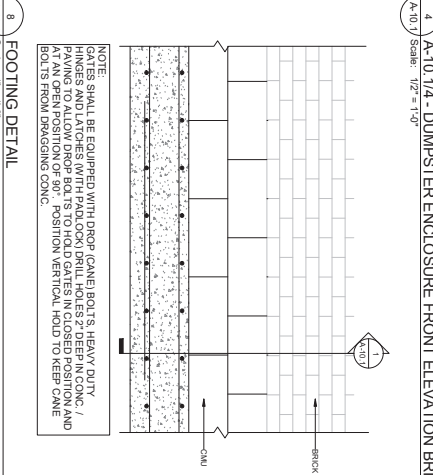
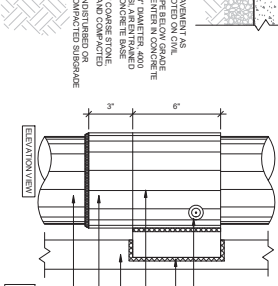
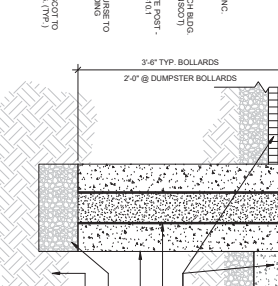
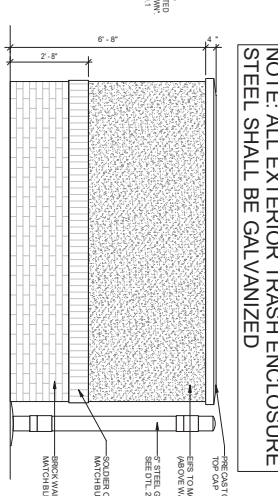
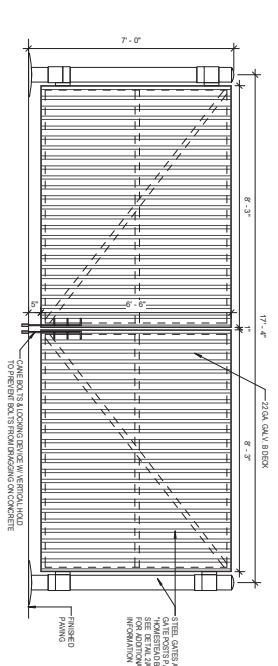
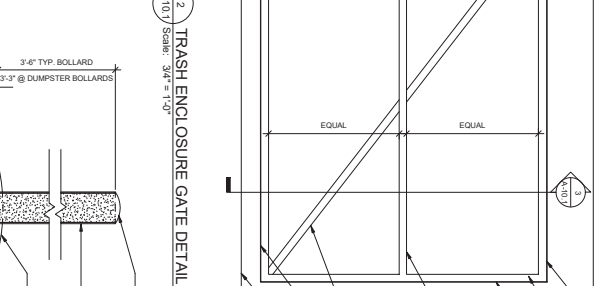
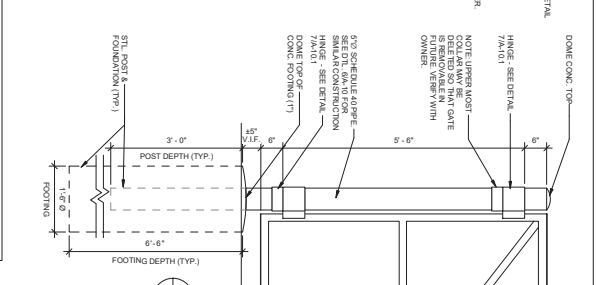
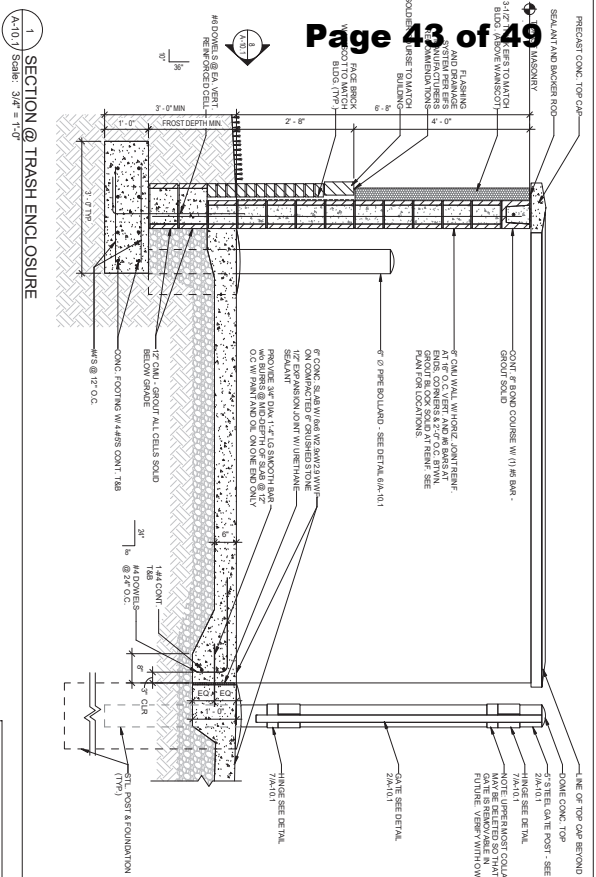
PROFESSIONAL SEAL

**VALVOLINE INSTANT OIL CHANGE**  
WISCONSIN RAPIDS, WI

PROJECT NUMBER: \_\_\_\_\_

SHEET NAME: EXTERIOR ELEVATIONS-

**A-3.2**



**VALVOLINE INSTANT OIL CHANGE WISCONSIN RAPIDS WI**

**CESO**  
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DATE: 10/20/2014  
DRAWN BY: JACOB  
CHECKED BY: JACOB  
PROJECT NAME: A-10.1

PROJECT NUMBER: A-10.1  
SHEET NAME: DUMPSTER ENCLOSURE- SHEET FA-3  
SHEET NUMBER: 1 OF 2

# Administrative Staff Report

## Site Plan

### Mead Park Improvements

311 17<sup>th</sup> Ave. S.

March 28, 2024



<p><b>Applicant(s):</b></p> <ul style="list-style-type: none"> <li>City of Wisconsin Rapids</li> </ul> <p><b>Staff:</b></p> <ul style="list-style-type: none"> <li>Kyle Kearns, Community Development Director</li> <li>Lizabeth Edwardsen, Community Development Specialist/Associate Planner</li> </ul> <p><b>Parcel Number(s):</b></p> <ul style="list-style-type: none"> <li>3402825</li> </ul> <p><b>Lot Information:</b></p> <ul style="list-style-type: none"> <li>Effective Frontage: 3224 feet</li> <li>Effective Depth: 881 feet</li> <li>Square Footage: 35,005 sq feet</li> <li>Acreage: 19.42</li> </ul> <p><b>Zone(s):</b></p> <ul style="list-style-type: none"> <li>"P-1" Park and Recreation District</li> </ul> <p><b>Council District:</b></p> <ul style="list-style-type: none"> <li>District 1 – Austin</li> <li></li> </ul> <p><b>Master Plan:</b></p> <ul style="list-style-type: none"> <li>Park</li> </ul> <p><b>Current Use:</b></p> <ul style="list-style-type: none"> <li>Park</li> </ul> <p><b>Applicable Regulations:</b></p> <ul style="list-style-type: none"> <li>Chapter 11 - Zoning</li> </ul>	<p><b>Request</b></p> <p>24-000246; City of Wisconsin Rapids – request for a Site Plan Review to construct park improvements at Mead Park, 311 17<sup>th</sup> Avenue South (Parcel ID 3402825)</p> <p><b>Attachment(s)</b></p> <ol style="list-style-type: none"> <li>Site Plan</li> </ol> <p><b>Findings of Fact</b></p> <ol style="list-style-type: none"> <li>The proposed project is to construct park improvements, including 6 pickle ball courts, shade structures, picnic pavilion and playground.</li> <li>The property is zoned Park &amp; Recreation (P-1) District.</li> <li>Parks are permitted uses in the General Commercial (B-2) District.</li> <li>A building plan – architectural review (AR), plan of operation (PO), site plan (SP), and zoning permit (ZP) are required.</li> </ol> <p><b>Staff Recommendation</b></p> <p>Approve the request from the applicant for site plan review to construct park improvements at Mead Park, 311 17<sup>th</sup> Avenue South (Parcel ID 3402825).</p> <ol style="list-style-type: none"> <li>All required stormwater requirements and permits shall be met and obtained by the applicant.</li> <li>Applicable permits through the City shall be obtained.</li> <li>Community development department shall have the authority to approve minor modifications to the plans.</li> </ol>
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# Vicinity Map



## Background

The City is requesting a site plan review to construct park improvements at Mead Park, consisting of 6 pickle ball courts, shade structures, picnic pavilion and playground. The property is zoned as Park & Recreation (P-1) District, which permits park improvements, but requires site plan review.



The site is surrounded by a mix of institutional and residential property. The use definition is below, followed by standards of review.

**11.11 Park**

**Description:** A place where primarily outdoor recreational activities may occur. A park may be operated by a public entity for the benefit of the general public or by a homeowners association for the benefit of its members. A park may be developed with recreational facilities or undeveloped. When operated by a public entity, the term includes zoos, dog parks, and neighborhood recreation centers.

**Vehicle Parking:** 1 space for each 3 patrons at the peak use period

**Supplemental Standards:**

Aside from generally applicable standards, no special standards apply to parks.

## Standards of Review

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1) Use

**Analysis:** A park is a permitted use within the P-1 Park & Recreation District.

**Findings:** The use is permitted and consistent with other uses in the P-1 District. Note that a building plan – architectural review (AR), plan of operation (PO), site plan review (SP), and zoning permit (ZP) are required.

2) Dimensional Standards

**Analysis:** The P-1 district does not have lot standards. However, setbacks and lot coverage ratios are required. The pickle ball footprint is approximately 120' by 130' (15,600 square feet). The building coverage ratio is well below the 45 percent maximum, given the 19.42 acre site size, as well as the impervious surface maximum of 65%.

**Findings:** The applicable dimensional standards appear to be met, including setbacks.

3) Ingress/Egress

**Analysis:** The park improvements are accessible via an existing parking lot on Alton Street. Sidewalks are proposed to be extended from the parking lot to the pickle ball courts. The picnic area and playground are accessible via the Alton Street or 14<sup>th</sup> Avenue South parking lots.

**Findings:** Adequate ingress/egress exists to serve the park improvements.

4) Parking

**Analysis:** The use requires 1 space for each 3 patrons at the peak use period.

**Findings:** A total of two parking lots exist on the north end of the site to serve the adjacent park amenities. The lot on 14<sup>th</sup> Avenue South (38 stalls) primarily serves the splash pad and playground. The existing lot on Alton Street (33 stalls) is often vacant or used as overflow for the splash pad. With the 6 pickle ball courts full, 24 people would be onsite, which means the existing lot is more than sufficient to serve the park improvements.

5) Landscaping

**Analysis:** The property is currently being utilized as a park. Additionally, a parking lot exists to serve the park improvements and isn't proposed or required to be expanded. However, the pickle ball courts create an approximate total of 15,600 square feet of hard surface.

**Findings:** Street frontage plantings are not required, as the park use is already established on the property. Building landscaping is not required as well, given the improvements are accessory in nature. Furthermore, no changes to the parking lot are proposed, and therefore do not trigger parking lot landscaping. However, 13 total trees will be added to the park, with 7-8 trees by the pickleball courts.

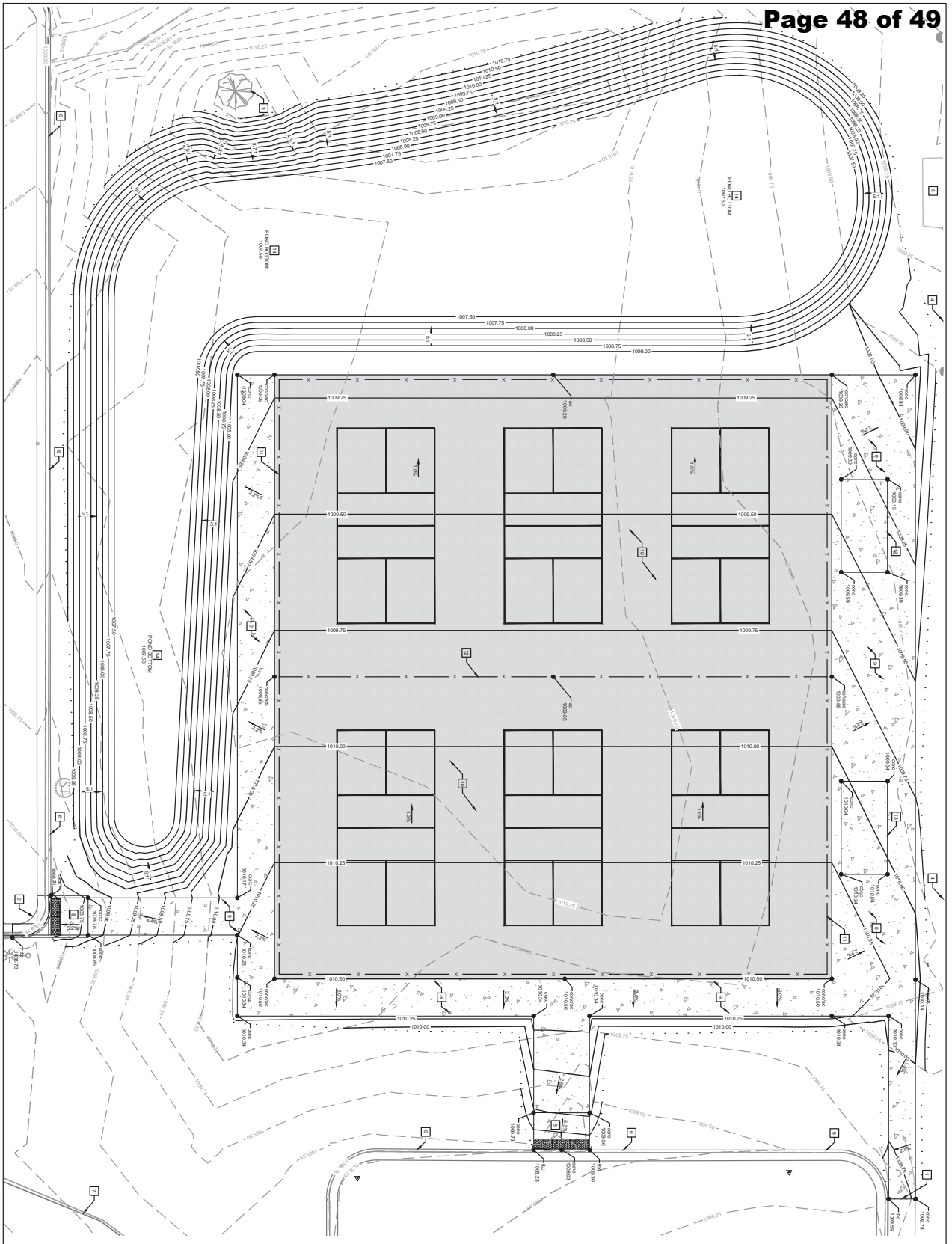
**6) Architectural Review**

Not applicable. Playground facilities and shelters are considered accessory structures.

**7) Lightings & Photometric Plan**

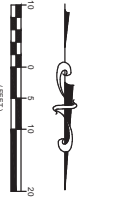
Not applicable. No lighting is proposed for the park improvements.

In summary, the proposed park improvements will have a significant impact on the neighborhood and offer the community additional recreational amenities. Therefore, staff would recommend approval of the site plan, subject to the items mentioned above and summarized as conditions on the first page of the staff report.




IF PARTITION 1/4" IS NOT SHOWN, PARTITION SHALL BE AS SHOWN ON SHEET A. PARTITION SHALL BE AS SHOWN ON SHEET A.

- CONSTRUCTION NOTES:**
1. VERIFY AND CONFIRM POSITION OF EXISTING UTILITIES IN SMOOT AND BROSIG EXISTING CONCRETE CURB AND GUTTER IN LOCATION SHOWN.
  2. EXISTING DRIVE TO REMAIN. SETBACK FROM DRIVE TO REMAIN. PROTECT DRIVE DURING CONSTRUCTION.
  3. EXISTING CONCRETE TO REMAIN. PROTECT DURING CONSTRUCTION.
  4. EXISTING CONCRETE TO REMAIN. PROTECT DURING CONSTRUCTION.
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  12. EXISTING CONCRETE TO REMAIN. PROTECT DURING CONSTRUCTION.

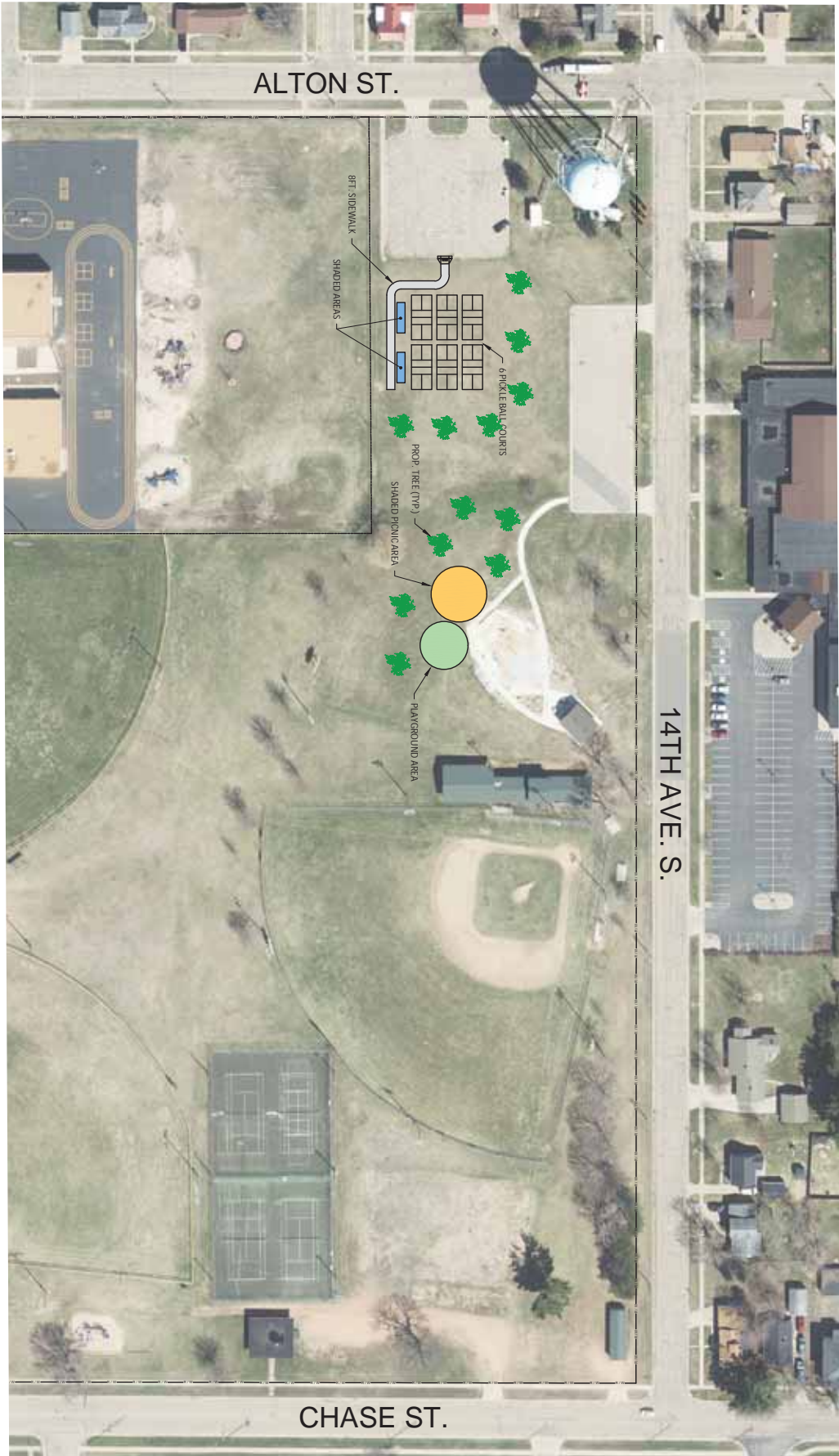


REV 5	12/13/23	ADJUST COURT LAYOUT
REV 4	12/13/23	ADJUST COURT LAYOUT
REV 3	12/13/23	ADJUST COURT LAYOUT
REV 2	12/13/23	ADJUST COURT LAYOUT
REV 1	12/13/23	ADJUST COURT LAYOUT
DATE	12/13/23	
SHEET	C1.0	

# MEAD PICKLE BALL COURTS


 Mid State  
 Johnson, Michael A.  
 December 13, 2023  
 SCALE 1" = 10'  
 GRADING & DRAINAGE PLAN





PROJECT:  
**MEAD FIELD PROPOSED ADDITIONS**

LOCATION:  
**MEAD FIELD**

ENGINEERING DEPARTMENT  
 444 WEST GRAND AVENUE  
 WISCONSIN RAPIDS, WI 54495  
 PHONE 715-421-8205 / FAX 715-421-8291

ENGINEERING DEPARTMENT  
 444 WEST GRAND AVENUE  
 WISCONSIN RAPIDS, WI 54495  
 PHONE 715-421-8205 / FAX 715-421-8291

DRAWN BY: M.A.S. | PLOT DATE: 3/22/21 | PROJ. NO. ###-## | SCALE: 1" = 100 FT. | SHEET: 00 OF 00

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