



**PLANNING COMMISSION
MEETING
May 11, 2023
4:00 PM**

PUBLIC MEETING NOTICE

PLANNING COMMISSION

Mayor Blaser, Chairperson
Ryan Austin, Alderperson
Lee Thao
Eric Daven
Ben Goodreau
Thaddeus Kubisiak
Jeff Marutz

AGENDA ITEM RECIPIENTS

Sue Schill, City Attorney
Erika Esser, Secretary
Jennifer Gossick, City Clerk

Notice is hereby given of a meeting of the Wisconsin Rapids Planning Commission to be held in the Council Chambers at City Hall, 444 West Grand Avenue, Wisconsin Rapids, on **Thursday, May 11, 2023, at 4:00 PM**. The meeting will be streamed live on the City of Wisconsin Rapids Facebook page and will also be broadcast live on Charter Cable Channel 985 and Solarus HD Cable Channel 3. If a member of the public wishes to access this meeting live via Zoom audio conferencing, you must contact the City Clerk at least 24 hours prior to the start of the meeting to coordinate your access. This meeting is also available after its conclusion on the City's Facebook page and Community Media's YouTube page, which can be accessed at www.wr-cm.org. It is possible that members of the Planning Commission may appear remotely via video or audioconferencing for this meeting.

AGENDA

1. Approval of the report from the May 1, 2023, Plan Commission meeting.
2. **23-000285; The Dental Suite, LLC.** – request for site plan and architectural review for a commercial building addition and site improvements at 2301 Chestnut Street (Parcel ID 3410789).
3. **City of Wisconsin Rapids** – conceptual Comprehensive Plan Future Land Use Map Amendment review and Zoning Map Amendment review for the properties located between Clyde Avenue and Grove Avenue and between 12th Street South and 14th Street South.
4. Adjourn

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at this meeting is not possible due to a disability or other reasons, notification to the city clerk's office at least 24 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the clerk at (715) 421-8200 to request accommodations.

REPORT OF THE PLANNING COMMISSION

Date of Meeting: May 1, 2023

Report #1

The Planning Commission met at 4:00 p.m. on May 1, 2023 in the Council Chambers at City Hall. It was also streamed live on the City of Wisconsin Rapids Facebook page and broadcast live on Charter Cable Channel 985 and Solarus HD Cable Channel 3. Members present included Chairperson Shane Blaser, Ryan Austin, Lee Thao, Eric Daven and Jeff Marutz; Thad Kubisiak attended via Zoom. Ben Goodreau was absent. Also present were Community Development Director Kyle Kearns, Associate Planner Carrie Edmondson, Alderpersons Patrick Delaney and Dennis Polach, Tom Altmann, Kyrea Hamilton, and Leo Dewitt. David Zielke and Darren Simler were present via Zoom.

The meeting was called to order at 4:00 p.m.

1. Approval of the report from the April 3, 2023, Plan Commission meeting.

Motion by Daven to approve the report from the April 3, 2023, Plan Commission meeting; second by Thao.

Motion carried (6 – 0)

2. **23-000224; David Zielke** – public hearing and action on a request for a conditional use permit amendment for site reconfiguration to a previously approved conditional use permit to establish an auto repair facility at 2240 8th Street South (Parcel ID 3412139).

Carrie Edmondson provided a summary of the request. Approval of the proposal was recommended with the conditions specified in the staff report.

Public hearing opened at 4:06 p.m.

Speaking in favor: Leo Dewitt, 2241 6th St S.

Speaking against: none

Public hearing closed at 4:08 p.m.

Kyle Kearns and Darren Simler addressed Mr. Dewitt's concerns regarding building codes. Ms. Edmondson answered Eric Daven's questions concerning parking.

Motion by Austin to approve the request for a conditional use permit amendment for site reconfiguration to a previously approved conditional use permit to establish an auto repair facility at 2240 8th Street South (Parcel ID 3412139), subject to the following conditions:

1. No more than 15 vehicles shall be stored out-of-doors overnight.
2. Parts and equipment associated with the use shall be stored in-doors or within a fully screened area.
3. Overnight vehicles must be screened from public view from 8th Street South with fencing to be approved by the Community Development Department.
4. Motor vehicles shall not be serviced or repaired outside of the principal structure.
5. All designated parking must be striped to meet current dimensional standards.
6. Applicable building permits though the City shall be obtained.
7. The Community Development Department shall have the authority to approve minor modifications

to the plans.

Second by Blaser

Motion carried (6 – 0)

3. **23-000251; Meehan Development** – request for site plan and architectural review for an industrial building addition at 2211 Industrial Street (Parcel ID 3400912).

Carrie Edmondson provided a synopsis of the request. Approval was recommended with the conditions as outlined in the staff report:

Motion by Austin to approve the request for site plan and architectural review for an industrial building addition at 2211 Industrial Street (Parcel ID 3400912), subject to the following conditions:

1. The exterior materials of the building shall match the design and color of the principal building.
2. Light from the business shall not exceed 0.1 foot-candles at neighboring property lines to the north and west and 0.2 footcandles at properties to the south.
3. Applicable permits through the City shall be obtained, including those applicable for fences and asphalt.
4. A landscape plan is required to be submitted and approved by the Community Development Department.
5. The refuse storage shall be screened with an enclosure made of brick, textured concrete masonry units, wood, and/or chain-link with slats, to be reviewed and approved by the Community Development Department
6. Community development staff shall have the authority to approve minor modifications to the plans.

Second by Daven

Motion carried (6 – 0)

4. **23-000259; Jonathan Ruder** – request for a sign exception for an off-premise sign at 2730 8th Street South (Parcel ID 3412599).

Carrie Edmondson provided a review of the request. Staff recommended approval of the request due to the unique site characteristics, and since it would be difficult for the applicant to meet their signage needs under the current sign code requirements. Approval was recommended with the condition outlined in the staff report.

Motion by Daven to approve 23-000259, a request for a sign exception for an off-premise sign at 2730 8th Street South (Parcel ID 3412599), subject to the following condition:

1. The off-premise sign shall include signage for tenants at 2660 8th Street South (Parcel # 3412598) and at 2730 8th Street South (Parcel # 3412599).

Second by Marutz

Motion carried (6 – 0)

5. **23-000234; City of Wisconsin Rapids** – public hearing and action on a request to amend Chapter 11 – Zoning Ordinance, specifically Section 11.06.67(c), Parking of a commercial vehicle as an ancillary residential use, to allow for greater flexibility in standards for commercial vehicles.

Kyle Kearns provided a synopsis of item 23-000234. The impetus for the request was to achieve consistency with the language regarding commercial vehicle parking in Chapter 27 of the City Ordinances. Staff recommended approval of the request.

Public hearing opened at 4:25 p.m.

Speaking in favor: none

Speaking against: Emily Kent, 231 5th St N – via an e-mail to Plan Commission members.

Public hearing closed at 4:28 p.m.

Mr. Delaney inquired about the penalty for being in violation of the code and Mr. Daven asked for clarification about parking and idling, to which Kyle Kearns replied.

Motion by Austin to approve the request to amend Chapter 11 – Zoning Ordinance, specifically Section 11.06.67(c), Parking of a commercial vehicle as an ancillary residential use, to allow for greater flexibility in standards for commercial vehicles; second by Marutz.

Motion carried (6 – 0)

6. Adjourn

Motion by Daven to adjourn; second by Kubisiak.

Meeting adjourned at 4:35 p.m.

Respectfully Submitted by Erika Esser, Secretary

Administrative Staff Report

The Dental Suite, LLC.
 Site Plan & Architectural Review
 2301 Chestnut Street
 May 4, 2023



<p>Applicant(s):</p> <ul style="list-style-type: none"> The Dental Suite, LLC. <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns, Community Development Director Carrie Edmondson, Associate Planner <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3410789 <p>Lot Information:</p> <ul style="list-style-type: none"> Effective Frontage: 305.02 feet Effective Depth: 295.01 feet Square Footage: 91,179 Acreage: 2.093 Acres <p>Zone(s):</p> <ul style="list-style-type: none"> "B-5" Mixed Use Commercial District <p>Council District:</p> <ul style="list-style-type: none"> District 6 - Polach <p>Master Plan:</p> <ul style="list-style-type: none"> Commercial <p>Current Use:</p> <ul style="list-style-type: none"> Health Care Clinic (dental clinic) <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 – Zoning Woodland Business Center Protective Covenants 	<p>Request</p> <p>23-000285; The Dental Suite, LLC. – request for site plan and architectural review for a commercial building addition and site improvements at 2301 Chestnut Street (Parcel ID 3410789).</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Application Plans <p>Findings of Fact</p> <ol style="list-style-type: none"> The project is to add approximately 939 square feet of commercial square footage to the northwest of the building. Additionally, approximately 2,504 square feet of additional paved area is proposed including additional parking and drive aisle areas. The proposed building addition will consist of materials that match the existing structure. The property is zoned "B-5" Mixed Use Commercial District. A health care clinic (dental clinic) is permitted in the B-5 District A building plan – architectural review (AR), plan of operation (PO), site plan (SP), and zoning permit (ZP) are required. <p>Staff Recommendation</p> <p>Approve the request from the applicant for site plan review and architectural review for a commercial building addition and site improvements at 2301 Chestnut Street (Parcel ID 3410789), subject to the following condition(s):</p> <ol style="list-style-type: none"> All exterior materials including siding, windows, doors, and lighting shall match the existing structure. The installation of six parking spaces to the south along Chestnut Street are contingent upon a Variance approved by the Zoning Board of Appeals to permit over 35% of onsite parking in front of a principal building. If a variance is not granted or obtained an updated site plan shall be submitted for review and approval by the Community Development Department. Cut-off lighting fixtures or equivalent shall be used for the development.
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- 4. Light from the business shall not exceed 0.1 foot-candles at all neighboring residential property lines and not exceed 0.2 foot-candles at all neighboring commercial property lines.
- 5. Applicable stormwater and building permits through the City shall be obtained as required.
- 6. Community development staff shall have the authority to approve minor modifications to the plans.

Vicinity Map



Site Photos





Background

The existing dental clinic building was constructed in 2007. Due to need resulting from the growing businesses, a commercial building addition and site improvements are proposed. The proposed addition is approximately 939 square feet and includes new treatment room space, office space, and a restroom. The property is located within the Mixed-Use Commercial "B-5" District. Additionally, properties located within this district are regulated by the Woodlands Business Center Protective Covenants (WBCPC). A health care clinic (including dental clinics) are permitted by right in this district and are described in Chapter 11 – Zoning as follows:

Health Care Clinic

Description: A place where medical services are offered and patients do not stay overnight. The term includes dental clinics, medical offices, chiropractic offices, acupuncture centers, and sports medicine facilities. The term does not include those uses as classified as a health care center.

Vehicle Parking: 1 space for each examination room or equivalent; plus 1 space for each 300 square feet of gross floor area not devoted to examinations

Supplemental Standards: Aside from generally applicable standards, no special standards apply to health care clinics.

As part of this proposal, there is also an additional 2,504 square feet of paved area proposed, including a total of nine new parking spaces. Six parking spaces to the south of the property are included but are contingent upon a Variance approval by the Zoning Board of Appeals, which is reviewed further below. As the proposed addition and site improvements will impact site configuration and overall aesthetic, Plan Commission is providing a site plan and architectural review. The submitted plans and renderings are attached and have been reviewed further below.

Standards of Review

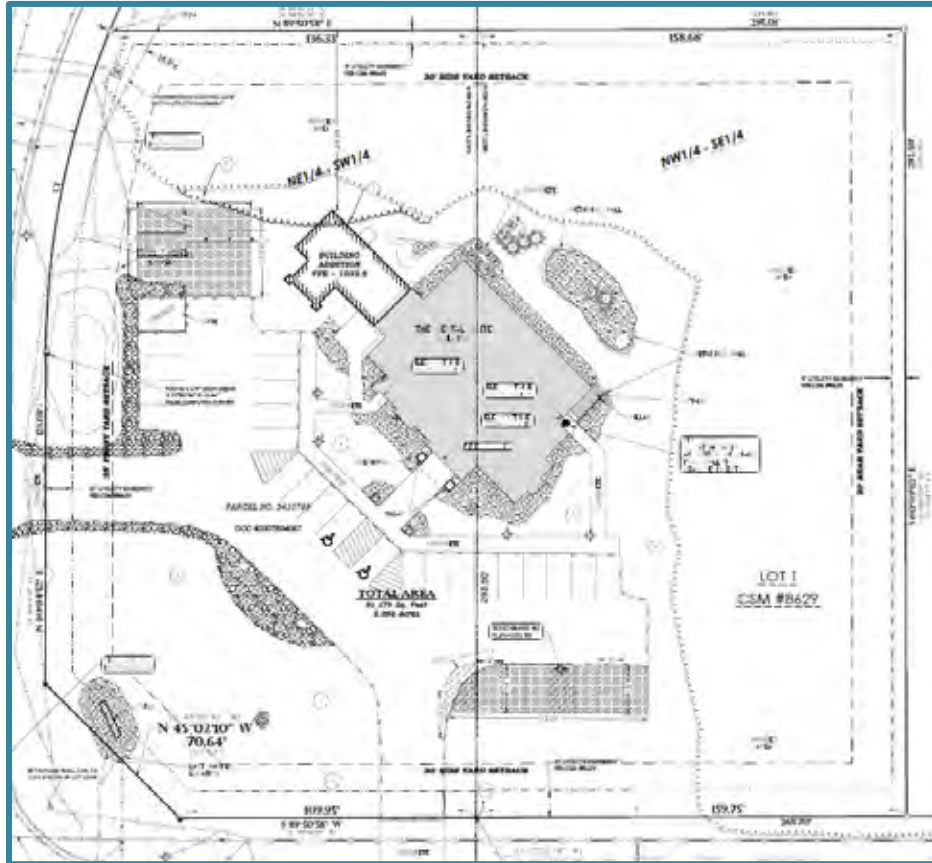
1) Use

Analysis: A health care clinic (including dental clinic) is permitted in the B-5 District. The use exists and there is a need for expansion.

Findings: Note that a building plan – architectural review (AR), plan of operation (PO), site plan review (SP), and zoning permit (ZP) are required.

2) Dimensional Standards

Analysis: The WBCPC requires front yard setbacks of 50 feet and a rear yard setback of 30 feet, which are proposed to be met. Setback areas are considered tree preservation zones, no trees are permitted to be removed without permission from the City in these areas. The existing lot coverage is approximately 5% and would increase to 6% with the building addition, meeting the 50% lot coverage maximum. The existing impervious surface is 20% and would increase to approximately 23% with the building addition, meeting the 75% impervious surface coverage maximum.



Findings: The addition and parking lot expansion meet all dimensional requirements of the B-5 Mixed Use Commercial District. A condition has been added requiring trees within setback areas to be preserved.

3) Ingress/Egress

Analysis: The existing driveways on Chestnut Street and 23rd Street South will remain and be the source of ingress and egress for all vehicles on the lot.

Findings: Driveway standards are met and the point of ingress and egress from Chestnut Street and 23rd Street South will not change. Vehicles will maintain the same circulation pattern on the lot.

4) Parking

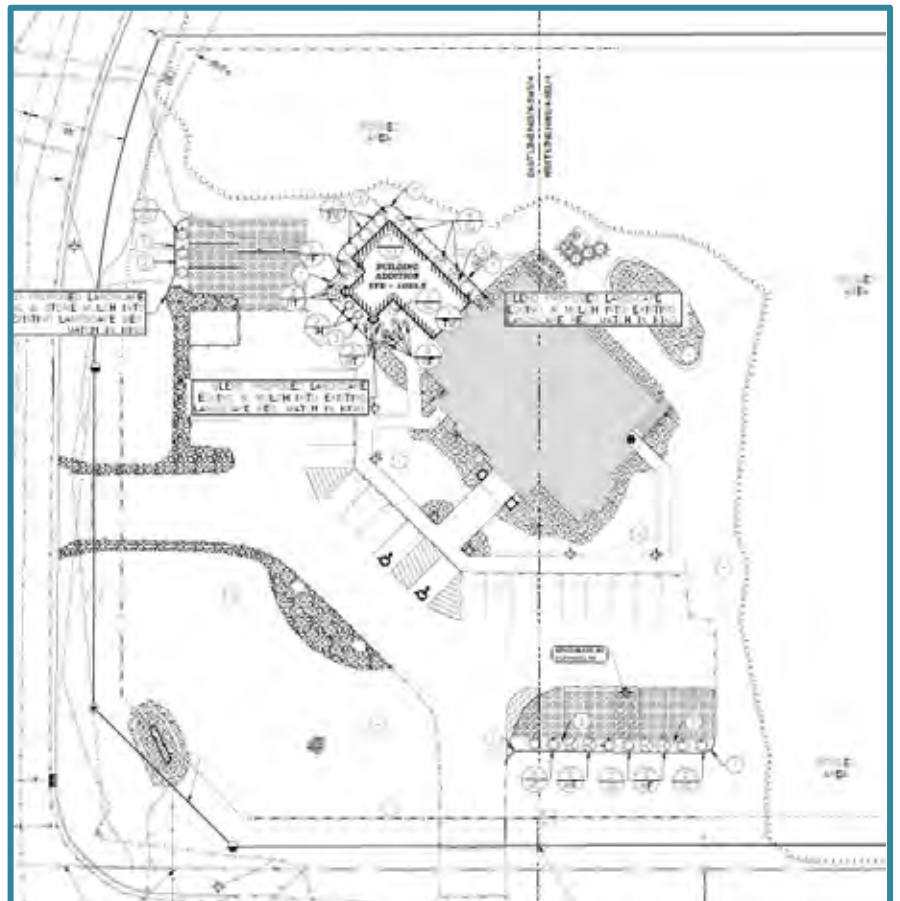
Analysis: The use requires 1 parking space for each examination room or equivalent and 1 space for each 300 square feet of gross floor area not devoted to examinations. There are a total of 9 examination rooms (6 existing and 3 proposed) that total approximately 1,296 square feet (approximately 12 feet by 12 feet each). The total proposed building area is 5,041 square feet including 3,745 square feet not dedicated to examination room space. Therefore, a total of 22 parking spaces (9 examination rooms, 13 remaining square footage) are required. Additionally, 1 ADA approved accessible parking space is required.

Findings: The development meets the parking requirement ratio with a total of 32 parking spaces and 2 ADA approved accessible parking spaces. A Special Exception is required to permit up to 35% of the parking to be located in front of the building. This proposal includes 17 of 32 parking spaces in front of the building (for a total of 53%), which is not permitted even with a Special Exception. The applicant will likely pursue a Variance application to exceed the 35% parking allowed in front of the building to incorporate the six proposed parking spaces along Chestnut Street. Note that as a corner lot, the front of the building has been interpreted to be on the larger classified Street (Chestnut Street), which is consistent with other site plan reviews. If the 6 proposed stalls are not pursued the parking ratio would be met, and the existing stalls would be considered legally nonconforming. Therefore, this portion of the Site Plan Review is contingent upon Zoning Board of Appeals approval of the Variance to exceed 35% of the parking in front of the building.

Chapter 11 – Zoning allows Plan Commission to grant a Special Exception when the proposed number of parking spaces on a ground surface parking lot exceeds the minimum number required by over 15 percent (in this case an excess of 26 parking spaces). They have this ability when they determine that the additional number of spaces are required for the particular use or location. Staff is suggesting that the Special Exception to exceed the 15 percent be granted based upon the needs of this particular use.

5) Landscaping

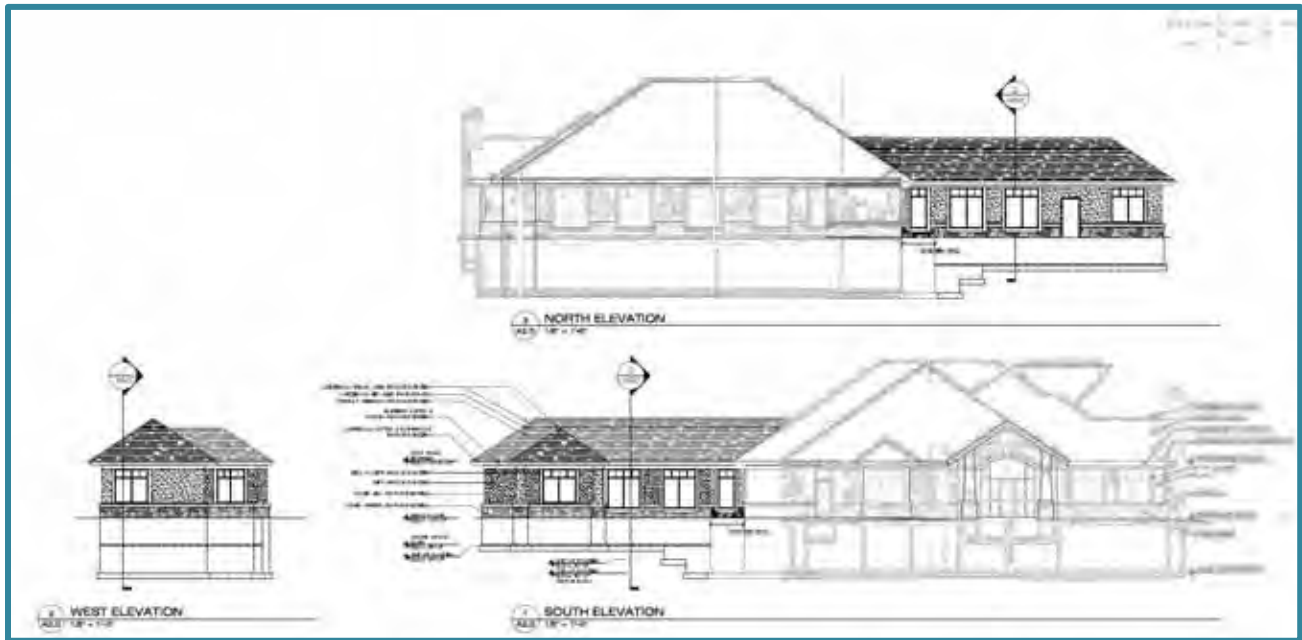
Analysis: The proposed addition creates the need to meet foundation planting requirements and the additional paved area creates the need to meet parking lot points requirements. There are 133 linear feet of building being added, requiring 53 foundation points. The additional 2,504 square feet of paved area, for a total of 26 points. A total of 85 square feet must be located within the paved area perimeter. The Woodlands Business Center Protective Covenants requires that all setback areas be considered “tree preservation zones”. No trees greater than six inches diameter and four feet above existing grade be removed without special permission from the City. Setbacks at this location are 50 feet from both street frontages and 30 feet rear.



Findings: A landscaping plan has been submitted. A total of 57 foundation landscaping points are proposed including a mix of medium and low evergreen and deciduous shrubs. In addition, 31 parking lot points are proposed. Chapter 11 – Zoning requires that 60% of the points be devoted to tall trees. Because tall trees are a minimum of 30 points and 26 points total area required, the proposed points are sufficient. There are 8 trees proposed to be removed as part of this proposal, however none are within the required setback areas.

6) Architectural Review

Analysis: Renderings have been submitted, showing façade finishing materials primarily of EIFS, accent EIFS, and a stone veneer base with stone sill to match existing. Additionally columnar elements and bump out accents have been incorporated to match the existing structure. The new windows include mullions (vertical beams) and transom elements (horizontal beams) to add visual interest and to match the existing windows.



Findings: The exterior materials proposed for the commercial building addition will blend nicely with the existing structure. From an architectural standpoint, the style and form of the addition ties well into the existing commercial building and includes a nice blend of materials and features. The south elevation is most visible from the street side and includes the highest level of enhancement.

7) Lighting & Photometric Plan

Analysis: Proposed lighting for the development is primarily building lighting and therefore will be down lighting and cut-off fixtures.

Findings: A condition of approval has been added requiring that a lighting plan be submitted. Chapter 11 – Zoning requires that lighting from the business not exceed 0.1 foot-candles at neighboring residential property lines and not exceed 0.2 foot-candles at neighboring commercial property lines.

In summary, the proposed commercial building addition and parking lot expansion meets the needs of the existing business and is consistent with the City's planning vision for that area. There are changes to the parking configuration that are required to meet code requirements. Overall, the proposal is being done in a way that is consistent with the surrounding commercial business park. Therefore, staff would recommend approval of the site plan and architectural review, subject to the items mentioned above and summarized on page one of the staff report.



Site Plan & Plan of Operation Application
City of Wisconsin Rapids, Wisconsin
Version: January 3, 2019

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The Planning Commission reviews site plans and plans of operation for those land uses specifically requiring such review as listed in the land-use matrix (Appendix A of the zoning code).

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at https://wisconsinrapids.zoninghub.com/

Application fee: \$175.00 for new; \$125.00 for amendment of prior approval

Note: Site plan/plan of operation review and architectural review can be combined into one application fee.

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Office Use Only

Date Received

Received By

Fee

Case #

Aldermanic District

Plan Commission Date

1. Applicant information

Applicant name The Dental Suite, LLC

Street address 2301 Chestnut Street

City, state, zip code Wisconsin Rapids, WI 54494

Daytime telephone number (715) 424-2301

Email drdoolittle17@gmail.com

2. Agent contact information Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys

Agent 1

Agent 2

Name Jim Lundberg

Company Point of Beginning, Inc.

Street address 4941 Kirschling Court

City, state, zip code Stevens Point, WI 54481

Daytime telephone number (715) 344-9999

Email jiml@pobinc.com

3. Type of application (check all that apply)

[X] Site plan Complete Part A, B and D

[] Plan of operation Complete Part A, C and D

[] New project

[] Amendment of prior approval (if any)

If an amendment, the date of last approval (if any):

Part A. About the Property

4. Subject property information

Physical address 2301 Chestnut Street, Wisconsin Rapids, WI 54494

Parcel number(s) 3410789

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

- No
- Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

- No
- Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

The subject property is located in the following base zoning district(s) (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> RR Rural Residential | <input type="checkbox"/> R 8 Manufactured Home Park | <input type="checkbox"/> M 1 General Industrial |
| <input type="checkbox"/> R-1 Single-family Residential | <input type="checkbox"/> B-1 Downtown Commercial | <input type="checkbox"/> M-2 Heavy Industrial |
| <input type="checkbox"/> R-2 Mixed Residential | <input type="checkbox"/> B-2 General Commercial | <input type="checkbox"/> I-1 Institutional |
| <input type="checkbox"/> R-3 Multi-family Medium Density Residential | <input type="checkbox"/> B-3 Neighborhood Commercial | <input type="checkbox"/> P-1 Park and Recreation |
| <input type="checkbox"/> R-4 Multi-family High Density Residential | <input checked="" type="checkbox"/> B-5 Mixed Use Commercial | <input type="checkbox"/> C-1 Conservancy |

The subject property is also located in the following overlay zoning district(s) (check all that apply)

- | | | |
|--|---|--|
| <input type="checkbox"/> Planned Development (PDD) | <input checked="" type="checkbox"/> Shoreland | <input type="checkbox"/> Floodplain |
| <input type="checkbox"/> Downtown Design | <input type="checkbox"/> Shoreland-Wetland | <input type="checkbox"/> Wellhead Protection |

Part B. Site Plan (See the standards and requirements in Division 6 of Article 6)

6. Building type. Which of the following building types best describes the building?

- | | | |
|--|--|--|
| <input type="checkbox"/> Townhouse | <input checked="" type="checkbox"/> Commercial | <input type="checkbox"/> Industrial |
| <input type="checkbox"/> Multi-family | <input type="checkbox"/> Work/live | <input type="checkbox"/> Parking structure |
| <input type="checkbox"/> Institutional | | |

Please refer to Appendix D for any design requirements that may apply.

7. Encroachments.

Aside from driveways connecting to the street, will any part of the proposed project encroach into a public right-of-way?

- No
- Yes

If yes, please explain.

8. Site parameters (area in square feet or acres)

Subject property	91,179 SF
Building coverage	4,193 existing (950 proposed)
Outdoor storage	
Stormwater facilities	
Impervious surfaces	18,140 existing (2,504 proposed)
Landscaping and other undeveloped areas	78,532 SF
Wetlands	
100-year floodplain	

Impervious surfaces include buildings, parking areas and driveways, sidewalks, decks, patios, and other types of 'hard' surfaces.

Attach appropriate documentation if there are any wetlands.

9. Street access

Name	New Access	Change to Existing Access	No Change to Existing Access
23rd Street South	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Chesnut Street	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

10. Traffic generation

Will the proposed project create 500 trips per day or more?

- No
- Yes Attach a traffic impact report to this application. See s. 11.06.151 of the zoning code for additional details.

Will the proposed project create 300 trips per day or more, but less than 500?

- No
- Yes The city may require a traffic impact report as described in s. 11.06.151 of the zoning code. Please contact the Community Development Department for further guidance.

11. Parking (See the standards and requirements in Article 17 of the zoning code.)

Minimum number of required spaces	5 new spaces	See Appendix B of the zoning code for parking requirements for the proposed land use(s).
Proposed number of spaces	9 new spaces	If the number of proposed spaces exceeds what is required by more than 15 percent, the Planning Commission may grant a special exception to allow oversized parking areas. (See s. 11.17.03(r) of the zoning code.)
ADA van accessible spaces	2 existing spaces	

Other ADA accessible spaces _____

Number of electric charging stations (if any) _____

Charging stations are not required, but are recommended.

Bicycle parking spaces _____

Bike parking is not required, but is recommended. (See s. 11.17.06 of the zoning code.)

Number of spaces in front of the building _____

19 existing spaces

The number of spaces in front of the building may be limited depending on the zoning district. (See Appendix C of the zoning code.)

Number of spaces on the side(s) of the building _____

Number of spaces to the rear of the building _____

4 existing spaces

12. Outdoor lighting (See the standards and requirements in Article 18 of the zoning code.)

	Number of Fixtures	Lumens
Building 1	_____	_____
Building 2	_____	_____
Building 3	_____	_____
Parking lot 1	_____	_____
Parking lot 2	_____	_____
Parking lot 3	_____	_____
Other	_____	_____
Other	_____	_____
Total	_____	_____

Maximum lighting levels at each property boundary line (in footcandles): _____

Attach a photometric plan to this application along with manufacturer's cut sheets for the different kinds of light fixtures.

Height of parking lot lights above grade (if any): _____

13. Fencing. Will the proposed project include fencing?

No

Yes (See Article 15 of the zoning code for the standards and requirements that apply.)

If yes, please describe and/or attach a fencing plan.

14. Stormwater. Describe how stormwater generated on the site will be handled

Stormwater is not applicable to this project as the construction site does not have 1 or more acres of disturbing land activity.

Part C. Plan of Operation

16. Operating conditions

- Hours of operation: _____
- Estimated number of full-time employees _____
- Estimated number of part-time employees _____
- Maximum number of employees onsite at peak hours _____
- Will the proposed business operation create any noise outside of the building? _____ Refer to s. 11.06.147 of the zoning code.
- Will the proposed business operation create any emissions (e.g., fumes, smoke, steam, vapor, dust,) to the atmosphere? _____ Refer to s. 11.06.148 of the zoning code.
- Will the proposed business operation create any vibrations outside of the building? _____ Refer to s. 11.06.149 of the zoning code.
- Will the proposed business operation involve any explosives or other flammable materials? _____ Refer to s. 11.06.150 of the zoning code.
- Will the proposed business operation involve any radioactive materials? _____
- Will the proposed business operation create special needs for wastewater disposal? _____
- Will the proposed business operation require unusually high levels of public water? _____

17. Licensing. What kind of federal, state, county or city licensees will be required to operate the proposed business?

Part D. Other

18. Attachments List any attachments included with your application.

Site Plan
Survey Map

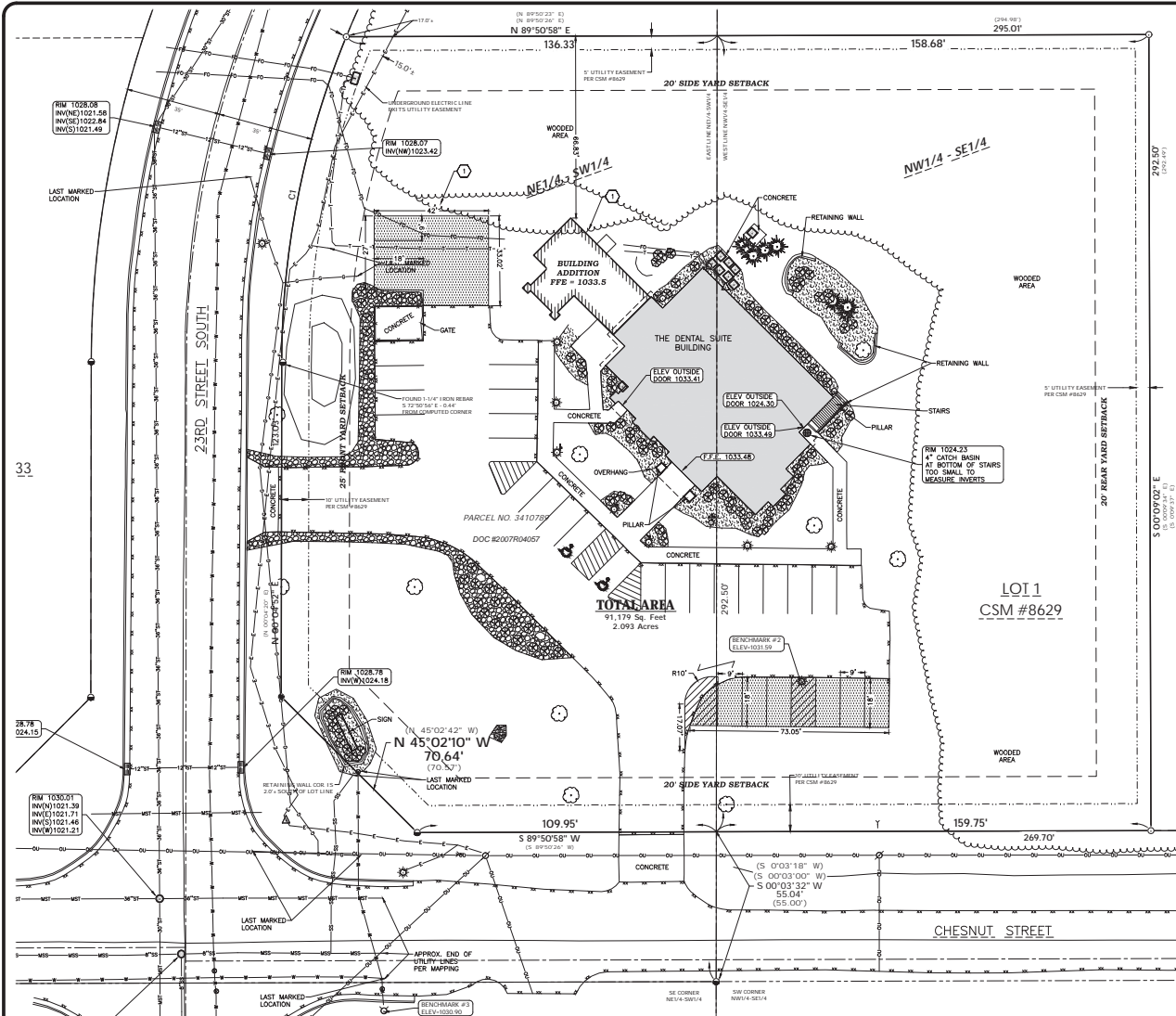
19. Other information You may provide any other information you feel is relevant to the review of your application.

20. Mandatory meeting with staff

When did you meet with the Community Development Director? _____ Month/year

15. **Site plan.** Attach a site plan drawn to scale with the following information to the extent it applies to the proposed project. The items with an asterisk are required. Check those elements that are included.

Background Project Information	Buildings and Outdoor Storage/Activity Areas	Transportation Facilities (existing and proposed)
<input checked="" type="checkbox"/> Project name*	<input type="checkbox"/> Existing and proposed	<input type="checkbox"/> Streets
<input checked="" type="checkbox"/> Applicant name*	<input type="checkbox"/> Existing within 50 feet of subject property	<input type="checkbox"/> Driveways and road access onto public and private roads
<input checked="" type="checkbox"/> Preparation date/revision*	Required Setbacks	
<input checked="" type="checkbox"/> Name of preparer*	<input type="checkbox"/> Yard setbacks (front, side, rear and shore)	<input type="checkbox"/> Sidewalks and trails
	<input type="checkbox"/> On-site septic systems	<input type="checkbox"/> Fire lanes (i.e., fire apparatus access)
	<input type="checkbox"/> On-site wells and off-site wells within 10 feet of the perimeter of the subject property	<input type="checkbox"/> Clear visibility triangles (location and dimensions)
Survey Information		On-Site Parking (existing and proposed)
<input checked="" type="checkbox"/> North arrow and graphic scale*		<input type="checkbox"/> Access aisles and parking spaces by size
<input checked="" type="checkbox"/> Address of subject property or legal description*	Landscaping Features (existing and proposed)	
<input checked="" type="checkbox"/> Property boundaries *	<input type="checkbox"/> Fences, buffers, and berms	<input type="checkbox"/> Location of accessible parking spaces
<input checked="" type="checkbox"/> Acreage of subject property*	<input type="checkbox"/> Pervious and impervious surfaces by type	<input type="checkbox"/> Location and specifications/dimensions for accessibility ramps
	<input type="checkbox"/> Site amenities (benches, fountains, etc.)	<input type="checkbox"/> Type and location of on-site parking signs and traffic control signs
Project Development Information	<input type="checkbox"/> Existing trees and other prominent vegetation	<input type="checkbox"/> Surface materials for parking lot (e.g., concrete, bituminous concrete, pavers)
<input type="checkbox"/> Land use summary table by density/intensity and acreage*	<input type="checkbox"/> Trees / shrubs to be planted, including a plant list and specs.	<input type="checkbox"/> Snow storage areas
<input type="checkbox"/> Easements/rights-of-ways (location, width, purpose, ownership)	Trees / shrubs to be retained	<input type="checkbox"/> Areas designated for queuing of vehicles for drive-through facilities (e.g., car washes, drive-up service windows, etc.)
<input type="checkbox"/> Common areas/conservancy areas (location, purpose, ownership)		<input type="checkbox"/> Pedestrian walks between the parking lot and the building
<input type="checkbox"/> Land to be dedicated to the public (boundaries, area, purpose)	Outdoor Lighting (existing and proposed)	
	<input type="checkbox"/> Location	<input type="checkbox"/> Designated areas of a parking area for pedestrian walks
Setting	<input type="checkbox"/> Fixture specifications	<input type="checkbox"/> Loading lanes and loading docks
<input type="checkbox"/> Property boundaries within 50 feet of the subject property	Stormwater Facilities (existing and proposed)	
<input type="checkbox"/> Land uses within 50 feet of the subject property	<input type="checkbox"/> Location	<input type="checkbox"/> Stormwater drainage
<input type="checkbox"/> Zoning district boundaries within 50 feet of the subject property	<input type="checkbox"/> Specifications for each facility	<input type="checkbox"/> Distance between parking areas and adjoining properties if less than 20 feet
<input type="checkbox"/> Municipal boundaries within 50 feet of the subject property		<input type="checkbox"/> Areas designated for bicycle parking
Site Features (existing and proposed)	Utilities (existing and proposed)	Signs (existing and proposed)
<input type="checkbox"/> Ground contours when slopes exceed 8 percent	<input type="checkbox"/> Location	<input type="checkbox"/> Location
<input type="checkbox"/> Wetlands	<input type="checkbox"/> Type (sewer, telephone, etc.) (buried or overhead, if applicable)	<input type="checkbox"/> Specifications for each sign including type, height, dimensions, lighting, and other factors considered during the review process
<input type="checkbox"/> Woodlands	<input type="checkbox"/> Size/capacity, if applicable	
<input type="checkbox"/> Wildlife habitat, including critical wildlife habitat		
<input type="checkbox"/> Environmentally sensitive features		
<input type="checkbox"/> Water resources (rivers, ponds, etc.) and ordinary high-water mark for navigable waters		
<input type="checkbox"/> Floodplain boundaries and elevations of the same		



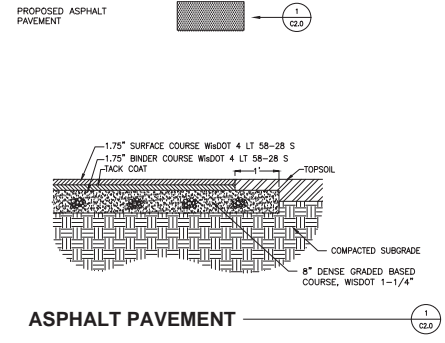
GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
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- SEE SHEET C3.0 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
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- ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED, FERTILIZED, AND CRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

KEYNOTES:

- DEMO EXISTING TREE LINE AS NEEDED FOR CONSTRUCTION

PAVEMENT HATCH PATTERNS:



UTILITY DISCLAIMER:

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BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #1:
BERRY BOLT ON HYDRANT, LOCATED ON THE EAST SIDE OF 23RD STREET SOUTH, LOCATED APPROXIMATELY 50 FEET NORTH OF THE NORTHWEST CORNER OF THE SURVEYED PROPERTY. ELEVATION = 1030.66

BENCHMARK #2:
NORTHWEST BOLT ON LIGHT POLE BASE, LOCATED WITHIN THE SURVEYED PROPERTY, APPROXIMATELY 65 FEET SOUTH OF THE SOUTHEASTERN CORNER OF THE CENTRAL SUITE BUILDING. ELEVATION = 1031.59

BENCHMARK #3:
BERRY BOLT ON HYDRANT, LOCATED AT THE SOUTHWEST QUADRANT OF THE INTERSECTION OF CHESTNUT STREET AND 23RD STREET SOUTH. ELEVATION = 1030.00

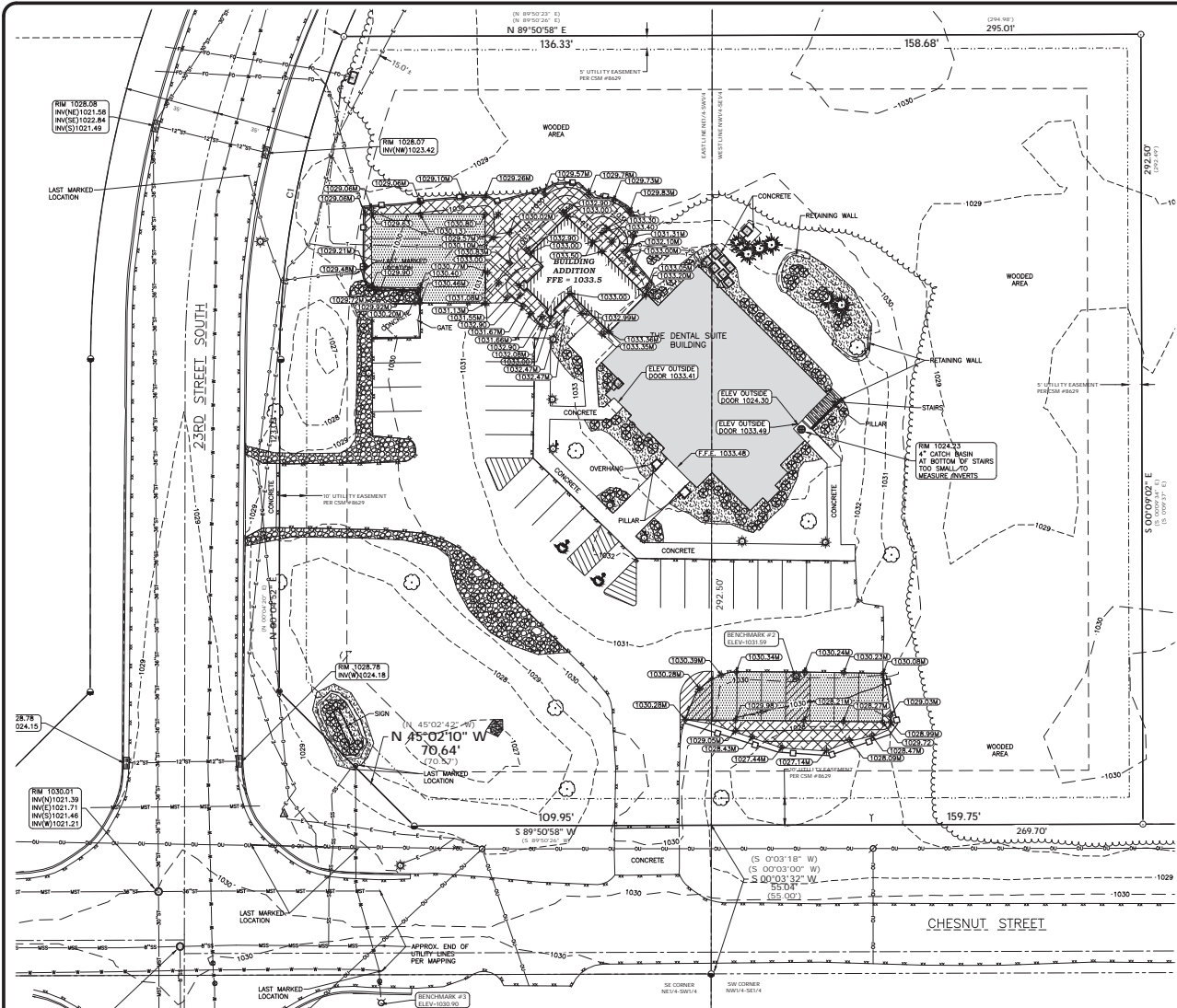
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18	
DRAWN BY:	AL
CHECKED BY:	AS
DATE:	04/30/2023
PROJECT NO.:	23-027

LAYOUT PLAN
ALTMANN CONSTRUCTION
DOOLITTLE OFFICE ADDITION
CITY OF WISCONSIN RAPIDS
WOOD CO, WISCONSIN

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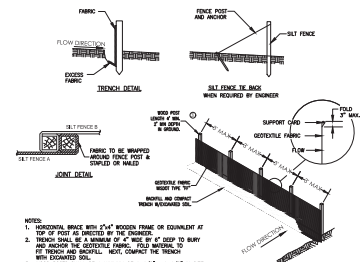


GENERAL NOTES:

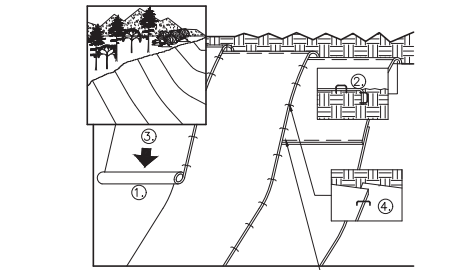
- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- THE PROPOSED SITE PLAN FINISH FLOOR ELEVATION OF 1033.50 EQUALS THE PROPOSED BUILDING ARCHITECTURAL FINISH FLOOR ELEVATION OF 100.00'.
- GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS AND 12" SHALL BE PROVIDED IN ALL PLANTING BED AREAS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED, AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- COORDINATE ALL EARTHWORK ACTIVITIES WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
- EXCESS TOPSOIL SHALL BE REMOVED FROM SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER. COORDINATE WITH OWNER FOR LOCATION OF STOCKPILE IF THE OWNER CHOOSES TO SALVAGE EXCESS TOPSOIL FOR FUTURE USE. SILT FENCE SHALL BE PLACED AROUND STOCKPILE.
- ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
- THE LOCAL MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY.
- GRADES AT BUILDING EDGE SHALL BE 6" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.

LEGEND:

- EXISTING CONTOUR: 712
- PROPOSED CONTOUR: 712
- PROPOSED SPOT ELEVATION: 692.26
- PROPOSED MATCH ELEVATION (CONTRACTOR TO VERIFY): 692.05(4)
- PROPOSED SILT FENCE: 1 CLO
- EROSION CONTROL BLANKET: 2 CLO



SILT FENCE



- GENERAL NOTES:**
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-2 SEED DO NOT SEED PREPARED AREA. CELL-2 SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 4" DEEP BY 4" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAKING.
 - ROLL THE BLANKETS DOWN THE SLOPE IN THE DIRECTION OF THE WATER FLOW.

EROSION CONTROL BLANKET

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NORTHWEST BOLT ON LIGHT POLE BASE, LOCATED WITHIN THE SURVEYED PROPERTY, APPROXIMATELY 65 FEET SOUTH OF THE SOUTHEASTERN CORNER OF THE CENTRAL SITE BUILDING. ELEVATION = 1031.59

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REVISIONS

61

DATE: 04/30/2023
PROJECT NO.: 23-027

GRADING & EROSION CONTROL PLAN

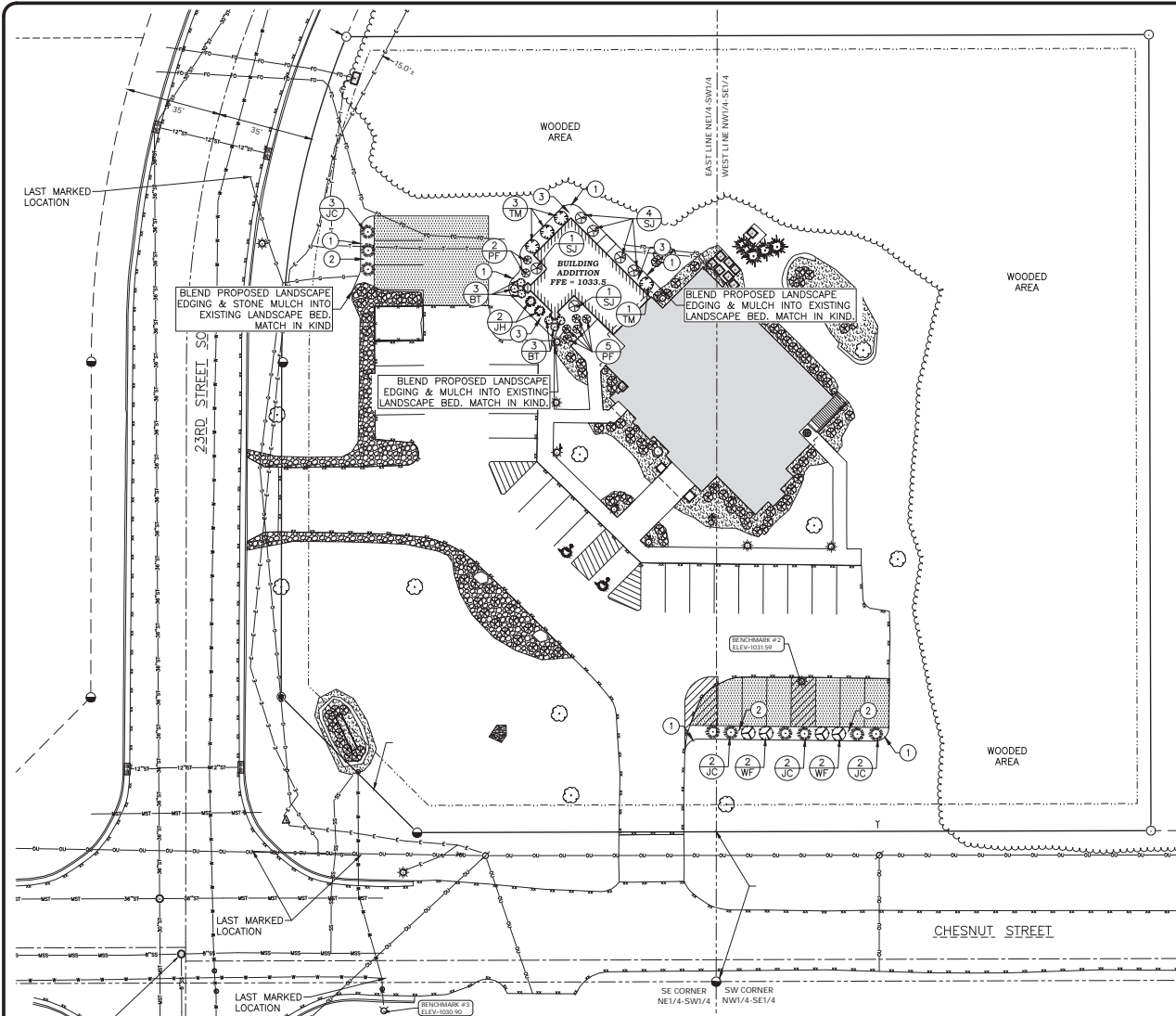
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61
Point of Beginning

434

SHEET C3.0



GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- 1" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SPECIFIED PLANTING SOIL DEPTH IS PRESENT PRIOR TO PLANTING.
- SEED/FERTILIZER/CHMP HAY MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION.
- ALL PLANT MATERIALS LISTED SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION FOR THE SIZES GIVEN.
- CURB-RITE LANDSCAPE EDGING (SERIES 3000, 3/16" X 4", WITH MILL FINISH) OR APPROVED EQUAL SHALL BE PLACED AROUND ALL LANDSCAPE BEDS. MATCH IN KIND TO EXISTING.
- 3" OF SHREDDED BARK MULCH SHALL BE PLACED IN ALL PLANTING BEDS AS NOTED ON PLAN. MATCH IN KIND TO EXISTING LANDSCAPE BEDS. OWNER TO CONFIRM FINAL COLOR AND SIZE OF BARK MULCH.
- 3" DEPTH STONE MULCH SHALL BE PLACED IN ALL PLANTING BEDS AS NOTED ON PLAN. STONE FOR LANDSCAPE BEDS TO BE WASHED. MATCH IN KIND TO EXISTING. OWNER TO CONFIRM FINAL COLOR AND SIZE OF STONE MULCH.
- 20 YEAR WEED BARRIER FILTER FABRIC SHALL BE PLACED BENEATH ALL STONE MULCH.
- COORDINATE ALL LANDSCAPE WORK WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.

PLANTING SCHEDULE:

SHRUBS SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
BT	Berberis thunbergii	DRAGON PLYMOUTH BARBERY	18"	3T X 3W	6
JH	Juniperus horizontalis 'Wiltoni'	BLUE RUG JUNIPER	12"	2T X 6W	2
JC	Juniperus chinensis	SEAGREEN JUNIPER	18"	5T X 6W	9
PF	Potentilla fruticosa	GOLD DROP POTENTILLA	18"	3T X 3W	7
SJ	Spiraea japonica 'Anthony Waterer'	ANTHONY WATERER SPIRAEA	24"	5T X 5W	6
TM	Taxus x media 'tauntoni'	TAUNTON YEW	18"	4T X 6W	4
WF	Weigela florida 'duRoi'ALOR'	CARNAVAL WEIGELA	18"	5T X 5W	4

LANDSCAPE REQUIREMENTS:

BUILDING FOUNDATION REQUIREMENT: 40 PTS PER EVERY 100 LF OF BUILDING FOUNDATION PERIMETER.
 CALCULATIONS: 133 LF/100 = 1.33 X 40 = 53 PTS REQUIRED

PARKING LOT REQUIREMENT: 100 PTS PER EVERY 10,000 SF OF PAVED AREA.
 CALCULATIONS: 2,504 SF/10,000 = 0.25 X 100 = 25 PTS REQUIRED

PROPOSED: 4 LOW SHRUBS (4 PTS) & 9 LOW EVERGREEN SHRUBS (27 PTS)
 TOTAL: 31 PTS

KEYNOTES:

- LANDSCAPE EDGING - SEE GENERAL NOTE #5
- LANDSCAPE STONE - SEE GENERAL NOTES #7
- LANDSCAPE BARK MULCH - SEE GENERAL NOTES #6

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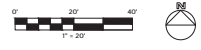
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REVISIONS

20

DESIGNED: JL
 DRAWN: AS
 DATE: 04/30/2023
 PROJECT NO.: 23-027

LANDSCAPE PLAN

**ALTMANN CONSTRUCTION
 DOOLITTLE OFFICE ADDITION
 CITY OF WISCONSIN RAPIDS
 WOOD CO, WISCONSIN**

Civil Engineering
 Land Surveying
 Planning Architecture
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SHEET 1.10

THE DENTAL SUITE ADDITION WISCONSIN RAPIDS

ARCHITECT



J+J ARCHITECTURE
CONTACT: JOE VRASPIR
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EMAIL: joe@jjarchitecture.com

STRUCTURAL ENGINEER

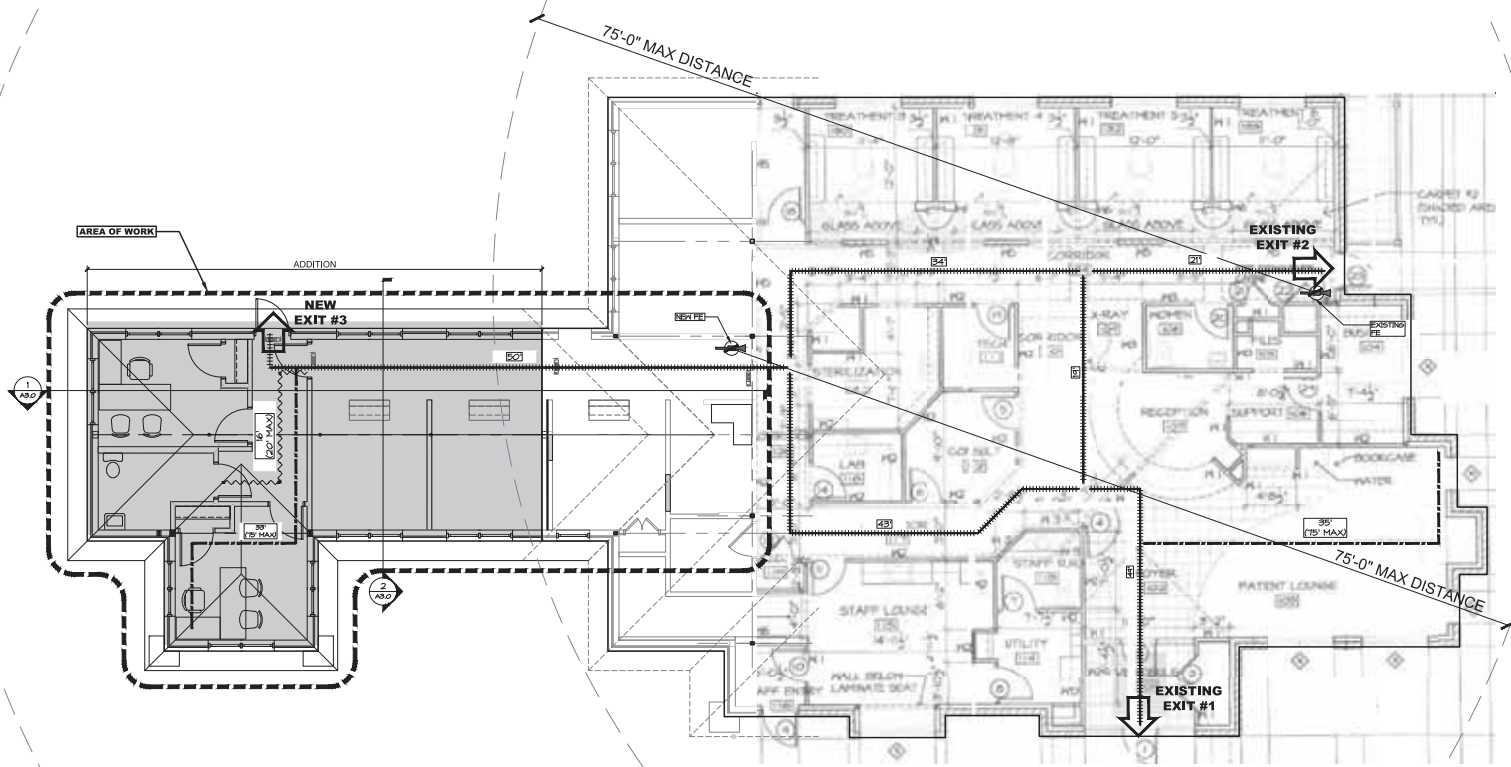


JFF ENGINEERING
CONTACT: JEFF FISHER
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PHONE: 715-256-7171
FAX: 715-256-1664
EMAIL: jffengineerive.com

PLUMBING / HVAC / ELECTRICAL AND FIRE PROTECTION
DESIGN AND SUBMITTAL TO BE SUBMITTED BY OTHERS

DRAWING INDEX

CIVIL
C2.0: SITE LAYOUT PLAN
ARCHITECTURAL
A0.0: COVER
A1.0: DEMOLITION PLAN, FLOOR PLANS & DETAILS
A2.0: EXTERIOR ELEVATIONS, REFLECTED CEILING PLAN & ROOF PLAN
A3.0: BUILDING SECTIONS
A4.0: WALL SECTIONS & DETAILS
STRUCTURAL
S1.0: STRUCTURAL (FOUNDATION PLAN, FLOOR FRAMING PLAN, ROOF FRAMING PLAN, STRUCTURAL NOTES, AND DETAILS)



1 OVERALL / LIFE SAFETY PLAN
A0.0 3/16" = 1'-0"



PROJECT INFORMATION

BUILDING CODES
2006 INTERNATIONAL BUILDING CODE (IBC)
2006 INTERNATIONAL EXISTING BUILDING CODE (IEBC)

BUILDING DATA

OCCUPANCY
BUSINESS + GROUP B (500+ GROSS OCCUPANT LOAD)

CONSTRUCTION CLASS
VB

ROOF SPRINKLERED
NONE SPRINKLERED

BUILDING HEIGHT
X + 11 STOREYS / 160'

VOLUME
X + 50,000 CF

SQUARE FEET / OCCUPANT LOAD
BUSINESS + 100 GROSS OCCUPANT LOAD
EXISTING: 4,022 SF
ADDITION: 881 SF
TOTAL BUILDING: 4,903 SF (21 occupied)

FIRE RATINGS - PER IBC TABLE 601 & 602
2 REQUIRED (3 PROVIDED)

FIRE SEPARATION DISTANCE
• EXTERIOR WALLS: 0 HOUR (X + 30')
• INTERIOR BEARING WALLS: 0 HOUR
• INTERIOR NON-BEARING WALLS: 0 HOUR
• PRIMARY STRUCTURAL MEMBERS: 0 HOUR
• ROOF CONSTRUCTION + ASSOCIATED MEMBERS: 0 HOUR

EXIT TRAVEL DISTANCE
• EXIT TRAVEL DISTANCE (PER TABLE 1017.2):
O - 200 FEET (NONE SPRINKLERED)
• COMMON PATH OF TRAVEL (PER TABLE 1006.2.1):
75 FEET (CL. OVER 30/30/KE SPRINKLERED)
• DEAD END LIMIT (PER 1020.4):
20 FEET

FIRE EXTINGUISHERS
• MAX TRAVEL DISTANCE 75' (PER 408.0)
• CLASS A

PLUMBING FEATURES
• REQUIRED PROVIDED AS INDICATED ON PLANS

LEGEND

- ACCESSIBLE ROUTE
- EXIT TRAVEL DISTANCE (200' MAX)
- COMMON PATH OF TRAVEL (75' MAX)
- DEAD END
- FIRE EXTINGUISHER
- EXIT SIGN - SEE ELECTRICAL
- BUILDING EXIT + OCCUPANCY

J+J Architecture
WISCONSIN REGISTERED ARCHITECTS

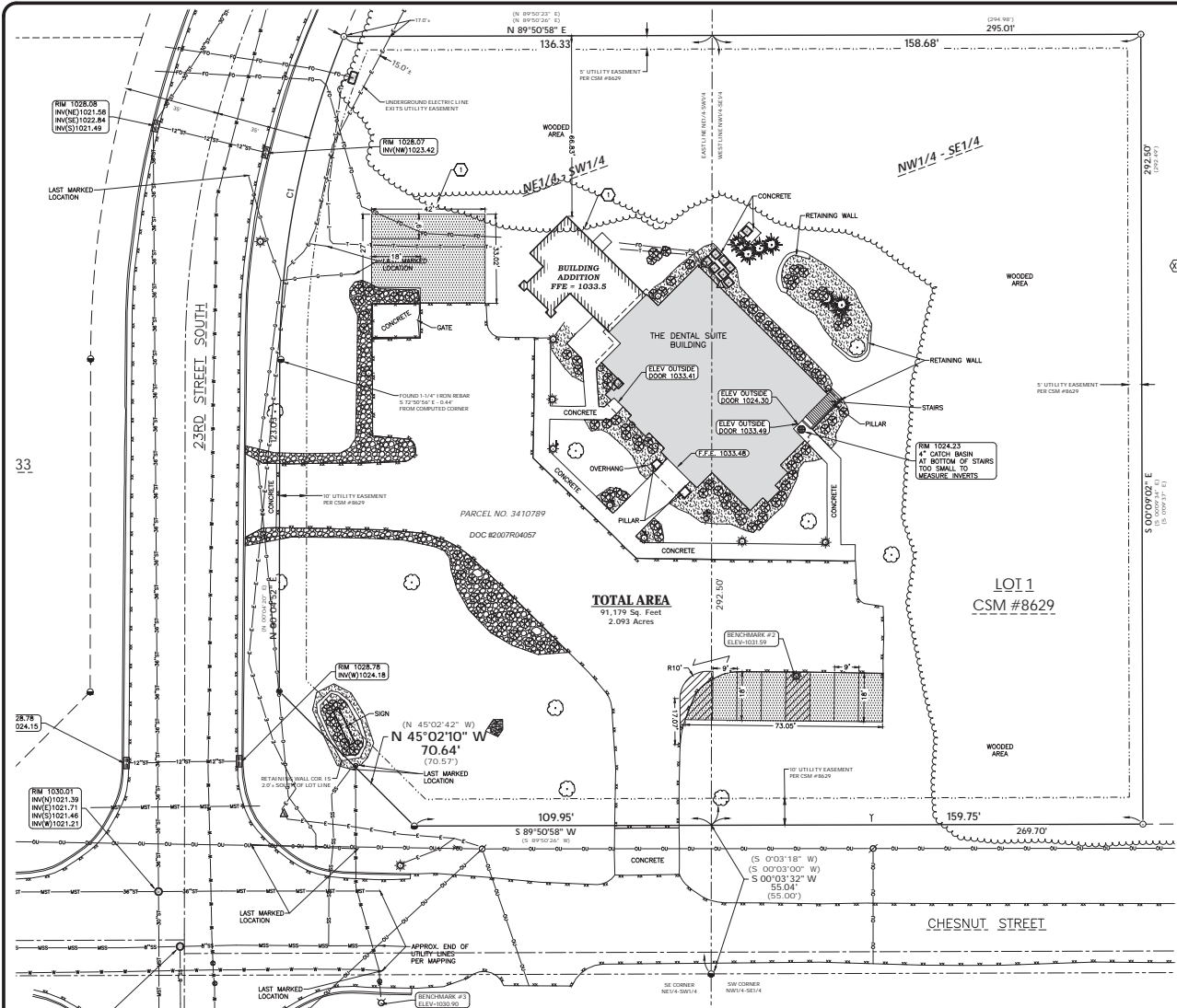
Owner: DR. DOOLITTLE
2301 CHESTNUT ST
WISCONSIN RAPIDS, WI 54494

Project Number: 2302
Project: THE DENTAL SUITE
WISCONSIN RAPIDS
ADDITION

Revisions:	No.	Date

Date: 04/14/23
Drawn By: JJ
Checked By: JJ

Page 21 of 34
Drawing No. 21-01-001
A0.0



GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
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KEYNOTES:

- DEMO EXISTING TREE LINE AS NEEDED FOR CONSTRUCTION

PAVEMENT HATCH PATTERNS:

PROPOSED ASPHALT PAVEMENT

ASPHALT PAVEMENT

REVISIONS	
22	
DATE	04/13/2023
PROJECT NO.	23-027

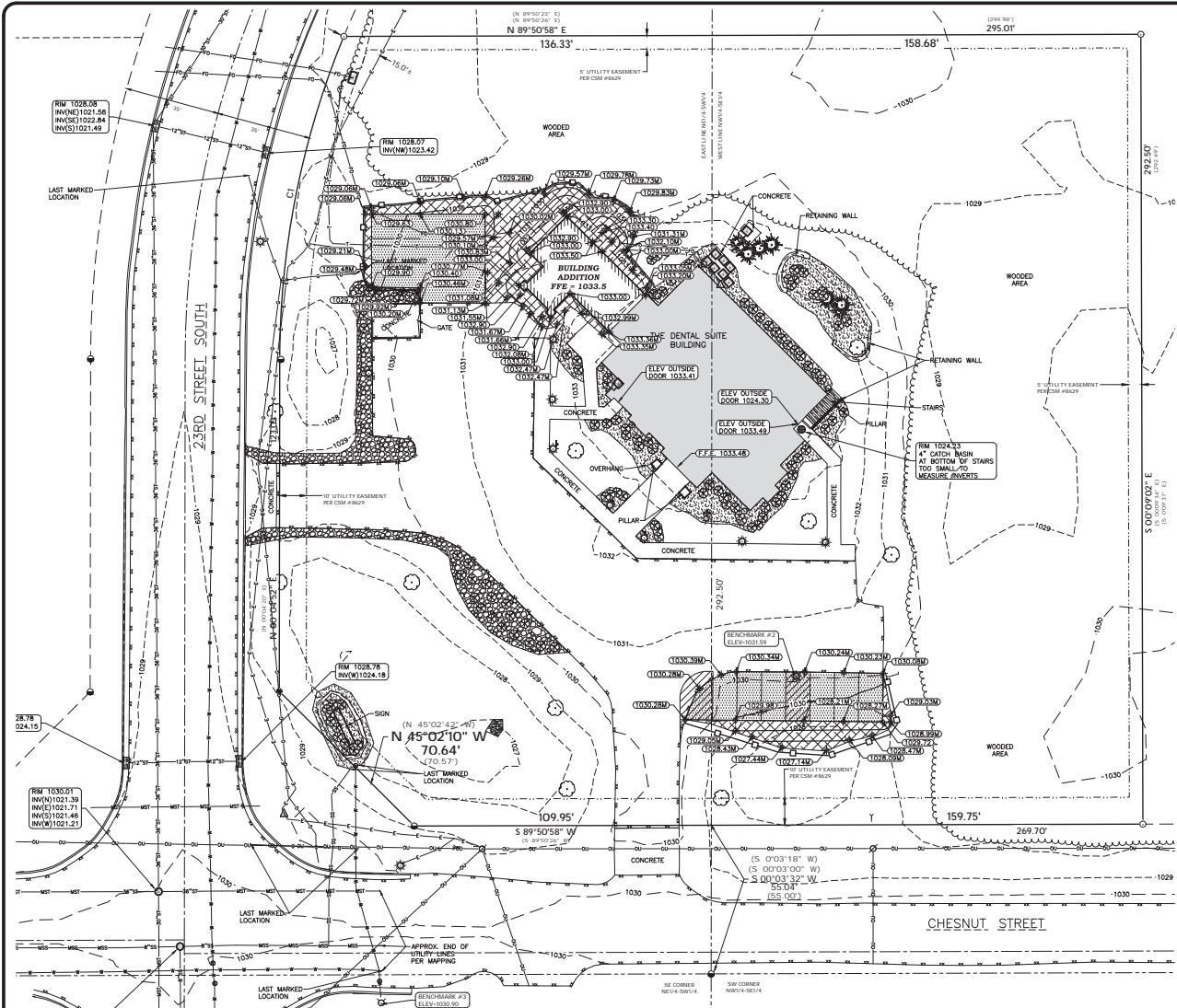
LAYOUT PLAN

ALTMANN CONSTRUCTION
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Page 22 of 34
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SHEET C2.0

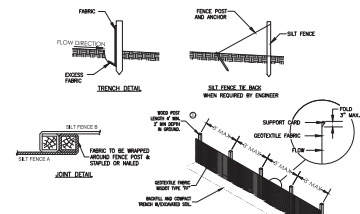
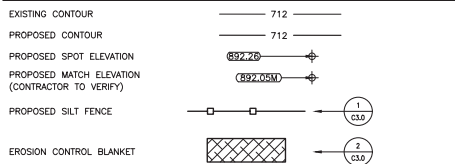
POINT OF BEGINNING, INC. HOLDS THE RIGHTS TO COPYRIGHT IN AND TO THESE PRINTS, DRAWINGS AND DOCUMENTS BY REPRODUCTION, COPYING, ALTERATION, REPRODUCTION, OR ANY MANNER. ANY REPRODUCTION OR ALTERATION OF THESE PRINTS, DRAWINGS AND DOCUMENTS WITHOUT THE PRIOR WRITTEN PERMISSION OF POINT OF BEGINNING, INC.



GENERAL NOTES:

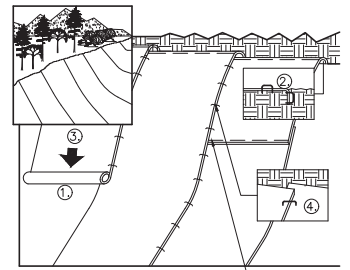
- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- THE PROPOSED SITE PLAN FINISH FLOOR ELEVATION OF 1033.50 EQUALS THE PROPOSED BUILDING ARCHITECTURAL FINISH FLOOR ELEVATION OF 1033.00'.
- GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS AND 12" SHALL BE PROVIDED IN ALL PLANTING BED AREAS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED, AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- COORDINATE ALL EARTHWORK ACTIVITIES WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
- EXCESS TOPSOIL SHALL BE REMOVED FROM SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER. COORDINATE WITH OWNER FOR LOCATION OF STOCKPILE IF THE OWNER CHOOSES TO SALVAGE EXCESS TOPSOIL FOR FUTURE USE. SILT FENCE SHALL BE PLACED AROUND STOCKPILE.
- ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
- THE LOCAL MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY.
- GRADES AT BUILDING EDGE SHALL BE 6" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.

LEGEND:



- NOTES:**
- HORIZONTAL BRACE WITH 2"x4" WOODEN FRAME OR EQUIVALENT AT TOP OF POST AS SPECIFIED BY THE DRAWINGS.
 - FRAMING SHALL BE A MINIMUM OF 4" WIDE BY 4" DEEP BY 4" DEEP AND BE LOCATED AT THE CENTER OF EACH POST AND BE SECURED TO THE POST WITH 2" DIA. BOLTS.
 - WOOD POSTS SHALL BE A MINIMUM OF 1-1/2" x 1-1/2" IN SIZE.
 - WOOD POSTS SHALL BE PLACED TO THE POST WITH WIRE STAPLES OR STAPLES PER 402 W-100.
 - WOOD POSTS SHALL WITHIN A 2' MINIMUM SPACING WHEN USING STAPLED GEOTEXTILE FABRIC AND WHEN GEOTEXTILE FABRIC IS USED, THE WOOD POSTS MAY BE SPACED UP TO 4' APART.

SILT FENCE



- GENERAL NOTES:**
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-2-SEED DO NOT SEED PREPARED AREA. CELL-2-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 4" DEEP BY 4" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 - ROLL THE BLANKETS DOWN THE SLOPE IN THE DIRECTION OF THE WATER FLOW.

EROSION CONTROL BLANKET

UTILITY DISCLAIMER:

THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOWN HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS, SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED OR MARKED DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONSTRUCTION USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY COLOCATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES. NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MAPS, BUT OTHERS AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.

BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #1: BERRY BOLT ON HYDRANT, LOCATED ON THE EAST SIDE OF 23RD STREET SOUTH, LOCATED APPROXIMATELY 50 FEET NORTH OF THE NORTHWEST CORNER OF THE SURVEYED PROPERTY. ELEVATION = 1030.66

BENCHMARK #2: NORTHWEST BOLT ON LIGHT POLE BASE, LOCATED WITHIN THE SURVEYED PROPERTY, APPROXIMATELY 65 FEET SOUTH OF THE SOUTHEASTERN CORNER OF THE DENTAL SUITE BUILDING. ELEVATION = 1031.59

BENCHMARK #3: BERRY BOLT ON HYDRANT, LOCATED AT THE SOUTHWEST QUADRANT OF THE INTERSECTION OF CHESNUT STREET AND 23RD STREET SOUTH. ELEVATION = 1030.00

POINT OF BEGINNING, INC. HOLDS THE RIGHTS TO CONDUCT IN AND TO THESE PLANS, DRAWINGS AND DOCUMENTS BY INSTRUMENTATION COVERED AS A SERVICE AGREEMENT OF THE SAME MAY OCCUR WITHOUT THE PRIOR WRITTEN PERMISSION OF POINT OF BEGINNING, INC.

REVISIONS

23

DATE: 04/13/2023
PROJECT NO.: 23-027

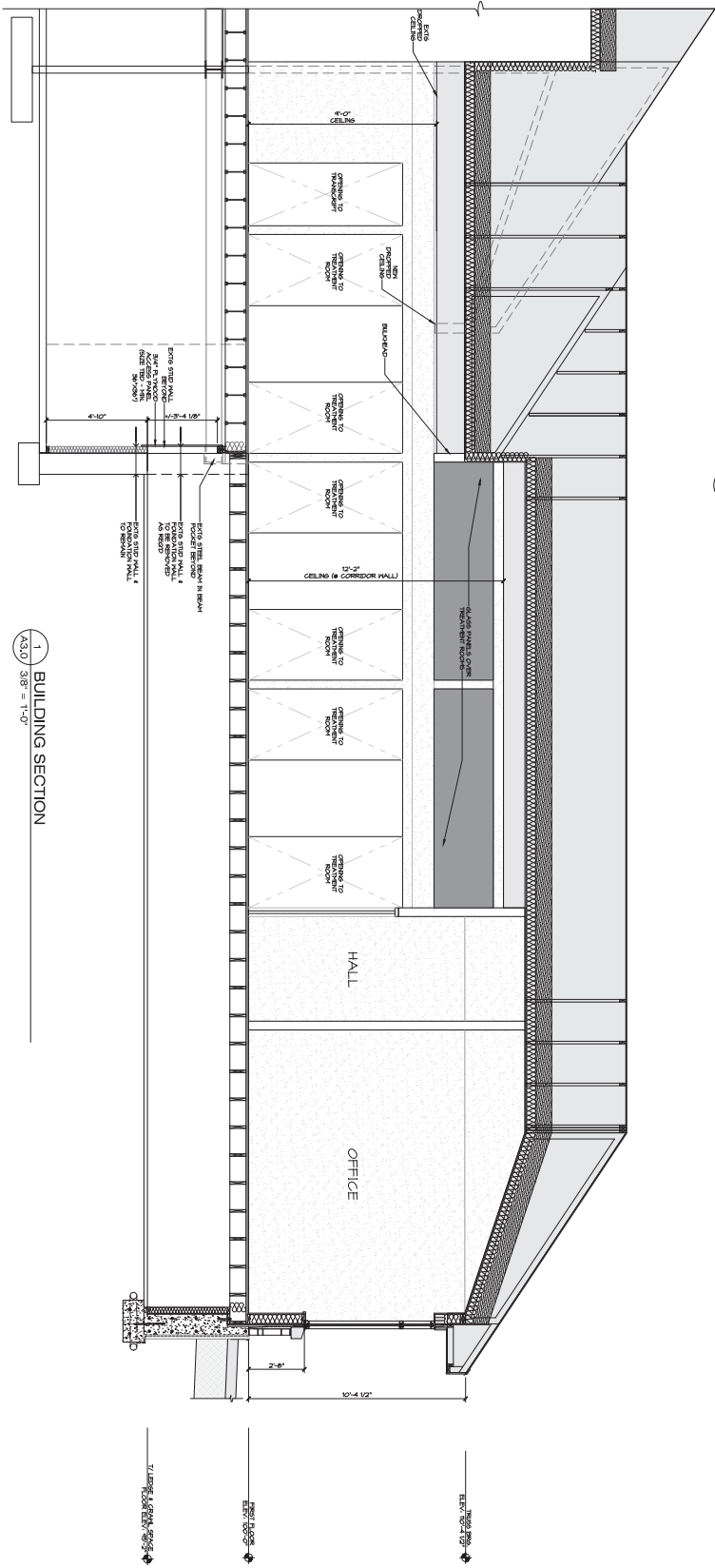
GRADING & EROSION CONTROL PLAN

ALTMANN CONSTRUCTION
DOOLITTLE OFFICE ADDITION
CITY OF WISCONSIN RAPIDS
WOOD CO, WISCONSIN

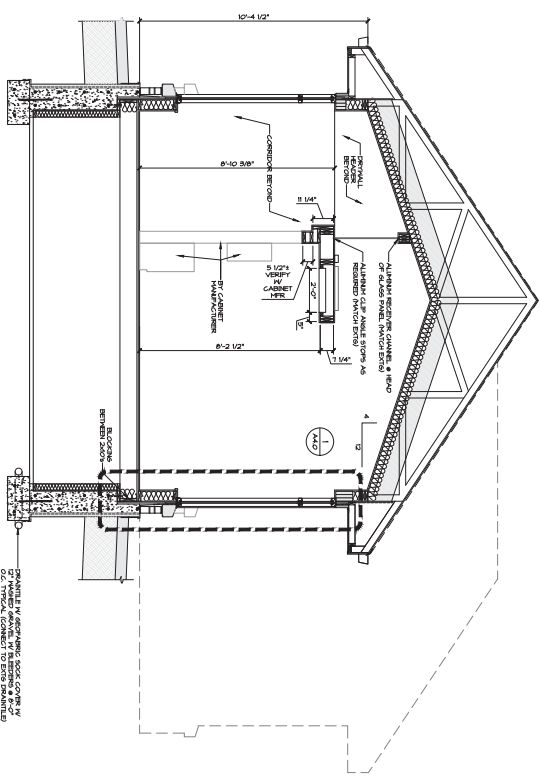
Civil Engineering
Land Surveying
Point of Beginning
Stevens Point, WI 54481
715.344.9999 (PH) 715.344.9922 (FX)

POB
23-027
494
Point of Beginning

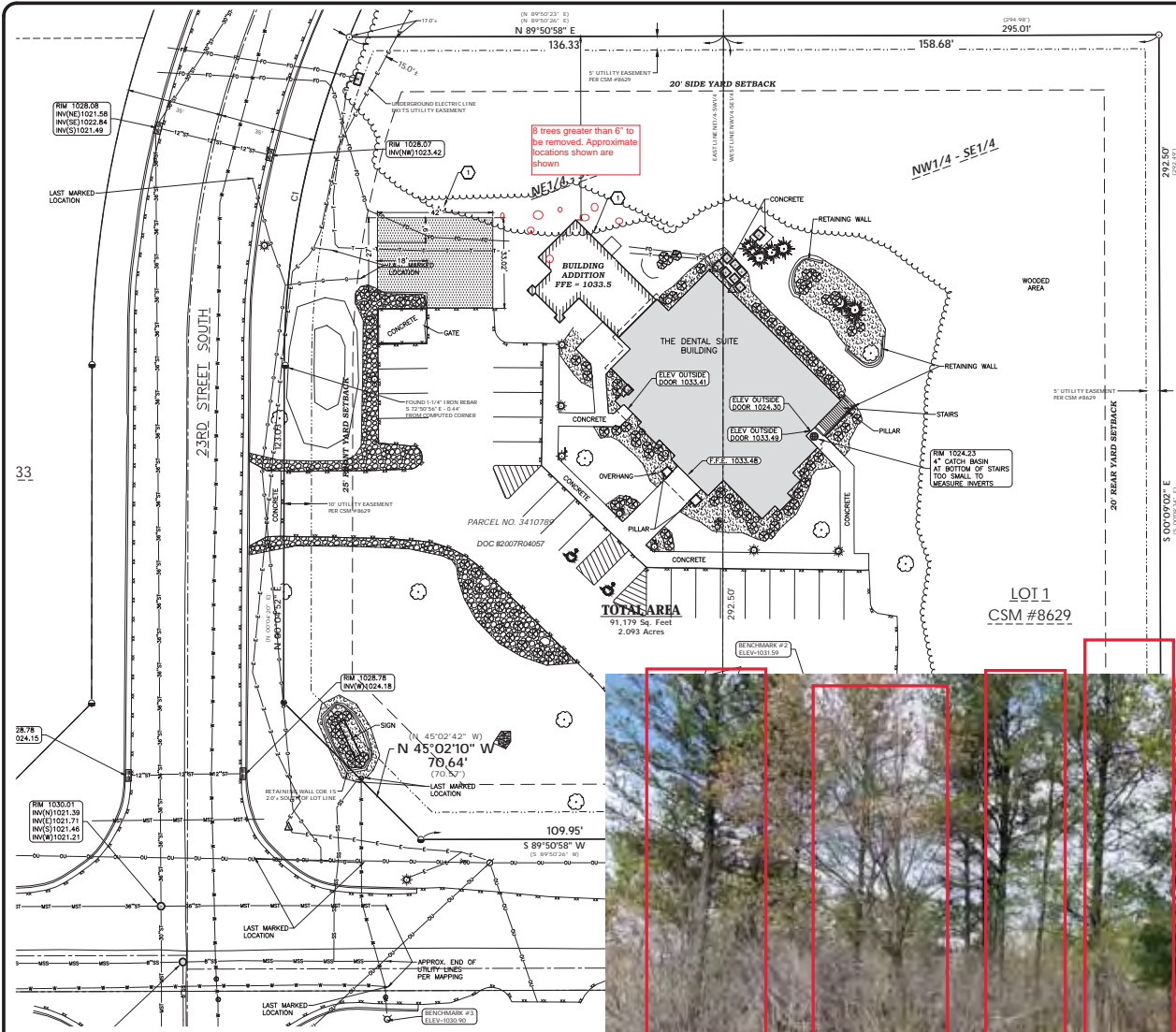
SHEET C3.0



1 BUILDING SECTION
A3.0 / 3/8" = 1'-0"



2 BUILDING SECTION
A3.0 / 3/8" = 1'-0"



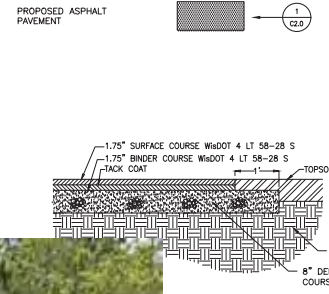
GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- ALL REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL, MUNICIPAL, AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- SEE SHEET C3.0 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
- PRIOR TO STARTING WORK, VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
- COORDINATE CONSTRUCTION IN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES.
- ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED, FERTILIZED, AND CRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

KEYNOTES:

- DEMO EXISTING TREE LINE AS NEEDED FOR CONSTRUCTION

PAVEMENT HATCH PATTERNS:



UTILITY DISCLAIMER:
 THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOWN HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED OR MARKED DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONSTRUCTION USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY COVARIATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MAPS, BUT OTHERS AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON, AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.

BENCHMARK:
 ELEVATIONS ARE REFERRED TO AS FOLLOWS:
 BENCHMARK #1: BERRY BOLT ON HYDRANT LOCATED ON THE EAST SIDE SOUTH LOCATED APPROXIMATELY OF THE NORTHWEST CORNER OF THE PROPERTY. ELEVATION = 1030.66
 BENCHMARK #2: NORTHWEST BOLT ON LIGHT LOCATED WITHIN THE SURVEY APPROXIMATELY 65 FEET SOUTHEASTERN CORNER OF DENTAL SUITE BUILDING. ELEVATION = 1031.59
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REVISIONS

30

DESIGNED: JL
 DRAWING: AS
 DATE: 04/30/2023
 PROJECT NO.: 23-027

LAYOUT PLAN

**ALTMANN CONSTRUCTION
 DOOLITTLE OFFICE ADDITION
 CITY OF WISCONSIN RAPIDS
 WOOD CO, WISCONSIN**

Civil Engineering
 Land Surveying
 Architecture
5698
 Stevens Point, WI 54481
 715.344.9999 (PH) 715.344.9922 (FX)

POB
 Point of Beginning

SHEET C2.0



Community Development

Department

City of Wisconsin Rapids
 444 West Grand Avenue
 Wisconsin Rapids, WI 54495
 Ph: (715) 421-8228

MEMO

To: Plan Commission

From: Kyle Kearns, Director of Community Development

Carrie Edmondson, Associate Planner

Date: May 4, 2023

RE: Conceptual Comprehensive Plan Future Land Use Map Amendment review and Zoning Map Amendment review for the properties located between Clyde Avenue and Grove Avenue and between 12th Street South and 14th Street South

The block bound by Clyde Avenue, Grove Avenue, 12th Street South and 14th Street South, is uniquely developed and zoned. It exists within a key transitional area, separating the Commercial 8th Street Corridor to the west from single-family residential to the east (below).

AERIAL MAP

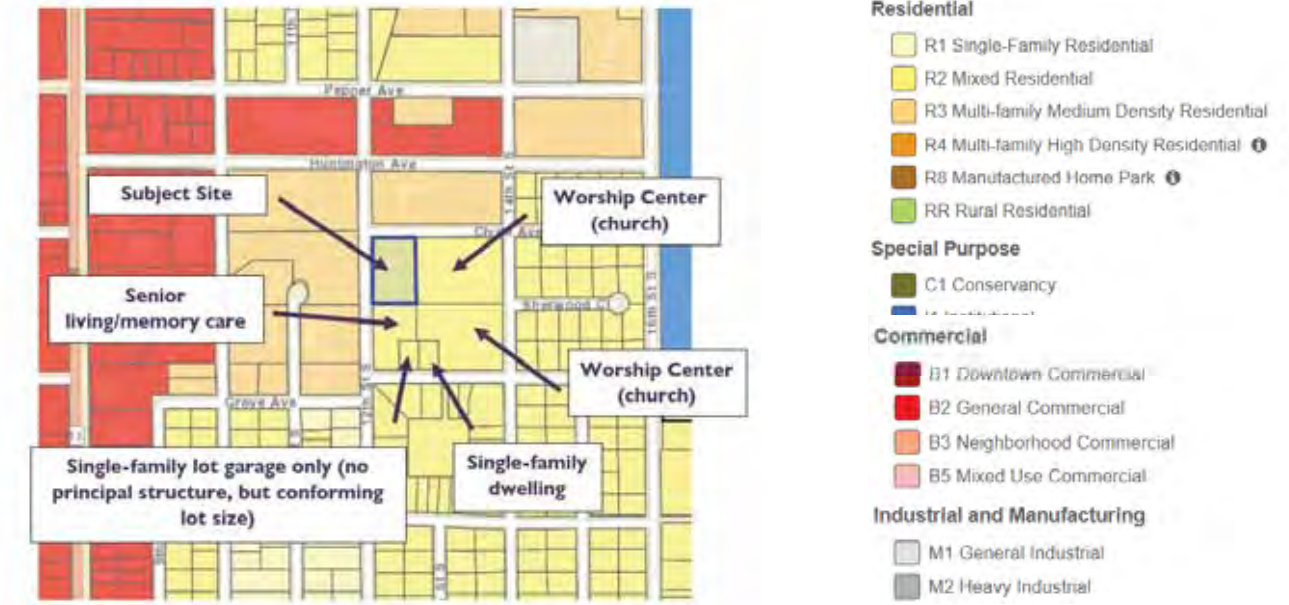




Zoning throughout the block is Mixed Residential "R-2" District described here:

Mixed residential (R-2) district. This district is intended to accommodate single-family dwellings and duplex units along with compatible community and civic uses.

Zoning Map and Use



	B-2	B-3	I-1	R-2	R-3
General Services (Salon)	P	P	Prohibited	Prohibited	Prohibited
Senior Living/Memory Care	C	Prohibited	C	Prohibited	C
Single Family Dwelling	Prohibited	P	Prohibited	P	P
Worship Center (Church)	P	Prohibited	C	Prohibited	Prohibited

Furthermore, many of the existing uses are due to a special approval or conditional use and have since shifted to a legal nonconforming use when the Zoning Ordinance was rewritten in 2018.

Special Permits and Approvals

Address	Previous Approvals
2611 12 th St. S.	CUP allowing rezoning for a new Human Services Center August 1986
2711 12 th St. S.	CUP granted in 1993 to operate Community Based Residential Facility
1221 Grove Ave.	Variance request postponed for a storage building

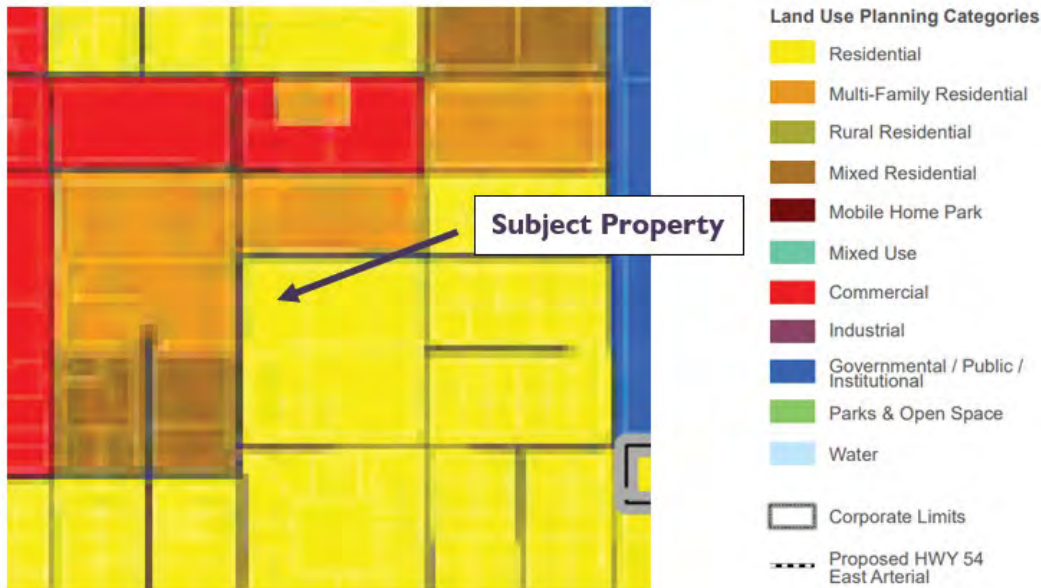


1231 Grove Ave.	Variance request for a garage that exceeded the maximum allowable size
2740 14 th St. S.	1982 Rezone to R-3 for Multi-Family to be reviewed every 5 years
2640 14 th St. S.	1982 CUP granted for rezoning for church, amended in 2007 for addition, to be reviewed every 5 years

The current uses and development have become significantly limited given the existing zoning limitations and previous approvals, making it difficult for owners to continue to develop, expand, or utilize the property. Therefore, staff have elected to bring this item before the Plan Commission for conceptual review before any formal action. A realistic option would be to rezone entire block, but a rezoning shall be consistent with the City's Comprehensive Plan. The Comprehensive Plan Future Land Use Map designates the entire block as:

Residential Areas for typical single-family residential development, consisting of smaller lot sizes served by municipal services. This area may also include lands designated for environmental protection and compatible civic uses.

Comprehensive Future Land Use Map



Staff are seeking guidance on the land use vision that the Plan Commission has for this area. As noted above, one option is to rezone property to Institutional "I-1" District, Neighborhood Commercial "B-3" District, and Multi-Family Medium Density Residential "R-3" District, with appropriate amendments to the Comprehensive Plan Future Land Use Map, such as the following:



Mixed Uses Areas for a complimentary mix of residential and commercial land uses. Over time, most of the land uses will be commercial in nature. This area may also include lands designated for environmental protection and compatible civic uses.

However, it is unique to have three zoning designations (I-1, B-3, R-3) on one City Block, surrounded by two other zoning classifications (B-2, R-2). Another option may be to rezoning the entire block singly to a B-3 which is more transitional in nature, in hopes the uses would evolve overtime, but it would result in continued nonconformity of several uses. Lastly, another approach may be to handle development individually and possibly seek use variances for each scenario, but that may set bad precedent for future requests.

Further details may be provided at the meeting along with a presentation of this unique area. Please be prepared to provide feedback on this item.