



PLANNING COMMISSION MEETING

August 7, 2023
4:00 PM

PUBLIC MEETING NOTICE

PLANNING COMMISSION

Mayor Blaser, Chairperson
Ryan Austin, Alderperson
Lee Thao
Eric Daven
Ben Goodreau
Thaddeus Kubisiak
Jeff Marutz

AGENDA ITEM RECIPIENTS

Sue Schill, City Attorney
Erika Esser, Secretary
Jennifer Gossick, City Clerk

Notice is hereby given of a meeting of the Wisconsin Rapids Planning Commission to be held in the Council Chambers at City Hall, 444 West Grand Avenue, Wisconsin Rapids, on **Monday, August 7, 2023, at 4:00 PM**. The meeting will be streamed live on the City of Wisconsin Rapids Facebook page and will also be broadcast live on Charter Cable Channel 985 and Solarus HD Cable Channel 3. If a member of the public wishes to access this meeting live via Zoom audio conferencing, you must contact the City Clerk at least 24 hours prior to the start of the meeting to coordinate your access. This meeting is also available after its conclusion on the City's Facebook page and Community Media's YouTube page, which can be accessed at www.wr-cm.org. It is possible that members of the Planning Commission may appear remotely via video or audioconferencing for this meeting.

AGENDA

1. Approval of the report from July 6 & July 20, 2023, Planning Commission meetings.
2. **23-000524; Badger Land Survey, LLC.** – request for a Certified Survey Map to create two lots from three at 1431 Second Street North (Parcel ID 3405492) and dedicate right-of-way on First Street North.
3. **23-000535; WISC RAPIDS 4540 8th South WI LLC** - request for a Certified Survey Map to create three lots from two at 4540 Eighth Street South and 710 Ruby Avenue (Parcel ID 3414195 and 3414178) and dedicate right-of-way on Eighth Street South.
4. **23-000679; TAM Acquisitions** – request for a Certified Survey Map to create two lots from one at 2730 Eighth Street South (Parcel ID 3412599) and dedicate right-of-way on Eighth Street South and Grove Avenue.
5. **23-000516; Ron and Diane Polum** – request for a Special Exception to exceed the floor area of attached garage maximum in the Mixed Residential (R-2) district at 4410 Ridgeview Lane (Parcel ID 3414540).

6. **23-000658; Marshfield Clinic** – request for an amendment to a previous Site Plan Review to modify the site configuration at 220 & 440 24th Street South (Parcel ID 3410784).
7. **23-000677; Alternative Edge** - request for a Site Plan and Architectural Review to construct an accessory structure at 711 Peach Street (Parcel ID 3407884)
8. **23-000682; Tim Randall** – request for a Site Plan Review to construct a restaurant and drive-up service window and associated site improvements at 2730 8th Street South (Parcel ID 3412599).
9. **23-000621; City of Wisconsin Rapids** – public hearing and action on a request to amend Chapter 11 – Zoning Ordinance, specifically Article 6 Division 3 Sections numbering and 11.06.65 - Driveways, including modifications to dimensional standards.
10. **23-000657; City of Wisconsin Rapids** – action on a request for an amendment to the City's Municipal Code, Chapter 46 – Sign Code, to clarify language for civic event banner requirements.
11. **Conceptual Project Review** – 38 acre site north of County Highway Z, between 12th Street South and 16th Street South (Town Parcel ID 0700910 and 0700910A).
12. Adjourn

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at this meeting is not possible due to a disability or other reasons, notification to the city clerk's office at least 24 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the clerk at (715) 421-8200 to request accommodations.

PUBLISH: July 21st and 28th, 2023

NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE that the City of Wisconsin Rapids Planning Commission will hold a **Public Hearing on Monday, August 7, 2023, at 4:00 PM** within the Council Chambers at City Hall, 444 West Grand Avenue, Wisconsin Rapids. Participation at the public hearing is encouraged. The public can also submit comments prior to the hearing by contacting the Community Development Department at 715-421-8228 or CommunityDevelopment@wirapids.org. The following items will be heard and possibly acted on:

1. Public hearing and action on a request from the City of Wisconsin Rapids to amend Chapter 11 - Zoning Ordinance, specifically Article 6 Division 3 Sections numbering and 11.06.65 - Driveways, including modifications to dimensional standards.

Further details regarding the specific requests can be obtained within the Community Development Department at City Hall, or by calling the department at 715-421-8228.

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk's office at least 48 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the Clerk at (715) 421-8200 to request accommodations.

Jennifer Gossick,
Wisconsin Rapids City Clerk



REPORT OF THE PLANNING COMMISSION

Date of Meeting: July 6, 2023

Report #1

The Planning Commission met at 4:00 p.m. on July 6, 2023, in the Council Chambers at City Hall. It was also streamed live on the City of Wisconsin Rapids Facebook page and broadcast live on Charter Cable Channel 985 and Solarus HD Cable Channel 3. Members present included Chairperson Shane Blaser, Lee Thao, Eric Daven, Jeff Marutz; and Thad Kubisiak; Ryan Austin attended via Zoom. Ben Goodreau was absent. Also present were Community Development Director Kyle Kearns, Alderpersons Tom Rayome, Dean Veneman and Dennis Polach. Jake Klingforth attended via Zoom.

The meeting was called to order at 4:00 p.m.

1. Approval of the report from the June 5, 2023, Plan Commission meeting.

Motion by Thao to approve the report from the June 5, 2023, Plan Commission meeting; second by Kubisiak.

Motion carried (6 – 0)

2. **23-000484; Badger Land Survey, LLC.** – request for a Certified Survey Map to combine two lots at 1811 25th Ave. S. (Parcel ID 3404630 & 3404625) and dedicate right-of-way on 25th Avenue.

Kyle Kearns summarized the request, recommending approval.

Motion by Daven to approve the request for a Certified Survey Map to combine two lots at 1811 25th Ave. S. (Parcel ID 3404630 & 3404625) and dedicate right-of-way on 25th Avenue; second by Kubisiak.

Motion carried (6 – 0)

3. **23-000500; Keller, Inc.** – request for architectural review for a commercial façade improvement to a principal structure and accessory structure at 4200 8th Street South (Parcel ID 3414135).

Mr. Kearns provided a review of the architectural review request. Approval was recommended with the conditions outlined in the staff report.

Motion by Kubisiak to approve the request for architectural review for a commercial façade improvement to a principal structure and accessory structure at 4200 8th Street South (Parcel ID 3414135), subject to the following conditions:

1. Cut-off lighting fixtures shall be used for the west and south elevation façades.
2. Light from the business shall not exceed 0.2 foot-candles at a neighboring commercial property lines.
3. Any landscaping destroyed as a result of project construction shall be replaced with comparable materials.
4. Applicable permits through the City shall be obtained.
5. Community development staff shall have the authority to approve minor modifications to the plans.

Second by Blaser

Motion carried (6 – 0)

4. **23-000465; City of Wisconsin Rapids** – request for a planned development district amendment for a



City of Wisconsin Rapids
444 West Grand Avenue
Wisconsin Rapids, WI 54495
Ph: (715) 421-8228

minor alteration to expand a patio area, add a walkway extension, and install a shade sail structure at 220 Third Avenue South (Parcel ID 3402596).

Mr. Kearns provided a summary of the request, recommending approval.

Motion by Austin to approve the request for a planned development district amendment for a minor alteration to expand a patio area, add a walkway extension, and install a shade sail structure at 220 Third Avenue South (Parcel ID 3402596), subject to the following conditions:

1. Minor or major alterations to the Planned Development District shall be pursuant to Section 11.05.36 of the Zoning Ordinance.
2. This proposal has been determined to be a minor alteration and can be approved by the Common Council at a regular meeting.

Second by Thao.

Motion carried (6 – 0)

23-000463; City of Wisconsin Rapids – public hearing and action on a request to amend Chapter 11 – Zoning Ordinance, specifically Article 15 - Fencing, including modifications to various sections including general requirements, dimensional requirements, and fence materials.

Kyle Kearns provided reasonings for the suggested modifications to the fencing section in Chapter 11 – Zoning Ordinance.

Public hearing opened at 4:16 p.m.

Speaking against: none

Speaking in favor: none

Public hearing closed at 4:17 p.m.

Mr. Kubisiak asked for clarification regarding the placement of fences in side yards. Kyle Kearns replied, expanding on how the proposed changes would affect future fence installations. Mr. Kearns also responded to Eric Daven's questions about fence height, Jeff Marutz' inquiry about through-lots and Tom Rayome's concerns regarding barbed/chicken wire and enforcement of the code.

Motion by Blaser to approve the request to amend Chapter 11 – Zoning Ordinance, specifically Article 15 - Fencing, including modifications to various sections including general requirements, dimensional requirements, and fence materials; second by Daven.

Motion carried (6 – 0)

5. Adjourn

Motion by Kubisiak to adjourn the meeting; second by Thao.

Motion carried (6 – 0)

Meeting adjourned at 4:31 p.m.

Respectfully Submitted by Erika Esser, Secretary



Community Development
Page 8 of 112
Department
City of Wisconsin Rapids
444 West Grand Avenue
Wisconsin Rapids, WI 54495
Ph: (715) 421-8228

REPORT OF THE PLANNING COMMISSION

Date of Meeting: July 20, 2023

Report #1

The Planning Commission met at 6:00 p.m. on July 20, 2023, in the Council Chambers at City Hall. It was also streamed live on the City of Wisconsin Rapids Facebook page and broadcast live on Charter Cable Channel 985 and Solarus HD Cable Channel 3. Members present included Chairperson Shane Blaser, and Commissioners Ryan Austin, Jeff Marutz and Thad Kubisiak (via Zoom). Ben Goodreau, Eric Daven, and Lee Thao were absent. Also present were Alderpersons Tom Rayome, Dean Veneman, Matt Zacher, Dennis Polach, Jake Cattanach, Jay Bemke, and Patrick Delaney; Members of the public in attendance included Dominique O'Neill, Tom Mews, Jerry Bach, Brad Nurmela, and Caitlin Shuda; Scott Harrington and Sonja Kruesel of Vandewalle and Associates attended via Zoom.

The meeting was called to order at 6:00 p.m.

1. Presentation and possible action regarding the Papermill Recovery and Redevelopment Plan by the Community Development Department.

Community Development Director Kyle Kearns provided a history and summary of the project. He then summarized the three main sections of the plan including the economic opportunities report, site reuse report, and three-phased implementation plan. He emphasized that the City has limited control over any potential projects and timeline due to the fact that the site is under private ownership, but that this plan enables the City to be proactive with any potential opportunities as they arise. He then provided an opportunity for questions and answers.

Motion by Commissioner Austin to approve the Papermill Recovery and Redevelopment Plan; second by Commissioner Marutz.

Motion carried (4 – 0)

2. Adjourn

Motion by Mayor Blaser to adjourn the meeting; second by Commissioner Austin.

Motion carried (4 – 0)

Meeting adjourned at 7:04 p.m.

Respectfully Submitted by Carrie Edmondson, Associate Planner




Memo

To: Plan Commission
From: Kyle Kearns, Community Development Director
Carrie Edmondson, Associate Planner
Date: 7/31/2023
Subject: **23-000484; Badger Land Survey, LLC.** – request for a Certified Survey Map to create two lots from three at 1431 Second Street North (Parcel ID 3405492) and dedicate right-of-way on First Street North.

The request from Badger Land Survey, LLC. is to create two lots from three under the same ownership at the request of the owner. The lot reconfiguration is reviewed and approved administratively, however there is a public land dedication required. The City's Official Street Map identifies First Street North as a Minor Collector and requires a 66-foot right-of-way. Therefore, the Engineering Department has required three feet of public land dedication along First Street North to bring the parcel to consistency with the Official Street Map. A vicinity map has been provided below showing the location of the existing lots. Staff would recommend approval of the requested CSM, including public land dedication to meet the 66-foot right-of-way distance.

Vicinity Map



 BADGER - LAND SURVEY, LLC 2610 WEST GRAND AVE. WISCONSIN RAPIDS, WI. 54485	PHONE: (715) 424 - 5900 FAX: (715) 424 - 5901 E-MAIL: blsurvey@wcte.net www.badgerlandsurvey.com	PREPARED FOR: RCH ENTERPRISES INC 5401 COUNTY RD D VESPER, WI 54489
© 2022, BADGER-LAND SURVEY, LLC	IF THE SURVEYOR'S SEAL IS NOT RED IN COLOR, THIS MAP IS A COPY AND SHOULD BE ASSUMED TO CONTAIN UNAUTHORIZED ALTERATIONS, THE CERTIFICATION DOES NOT APPLY TO COPIES.	DRAWN BY: TS JOB# 60223

WOOD COUNTY CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOTS 24, 25 AND 26 OF EAST SIDE ASSESSOR'S PLAT NO. 40, LOCATED IN PART OF THE NW1/4 SE1/4 OF SECTION 8, TOWNSHIP 22 NORTH, RANGE 6 EAST, CITY OF WISCONSIN RAPIDS, WOOD COUNTY, WISCONSIN.

OWNERS CERTIFICATE:

RCH ENTERPRISES, INC, as owner, hereby certify that I caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on this CERTIFIED SURVEY MAP. I also certify that this plat is required by s. 236.10 or s.236.12 to be submitted to the following for approval or objection.

City of Wisconsin Rapids, Common Council

Witness the hand and seal of said owner's this _____ day of _____, 20__.

(REPRESENTATIVE)

STATE OF WISCONSIN)
WOOD COUNTY)

Personally came before me this _____ day of _____, 20__, the above named owners, to me known to be the persons who executed the forgoing instrument and acknowledge the same.

NOTARY PUBLIC
My commission expires _____

RESOLUTION

Resolved that this CERTIFIED SURVEY MAP, located in the City of Wisconsin Rapids, is hereby approved by the COMMON COUNCIL of the City of Wisconsin Rapids, Wood County, Wisconsin, and is hereby approved.

DATED _____ SIGNED _____
MAYOR

I, hereby certify that the above resolution was adopted by the City of Wisconsin Rapids Common Council at a regular meeting on the _____ day of _____, 20__.

DATED _____ SIGNED _____
CITY CLERK

SHEET 1 OF 2

RESTRICTION - Soil evaluations have not been submitted, therefore, it is unknown if these lots created by this map meet the requirements of Wood County Private Sewage Systems Ordinance for private on-site waste treatment system.

This map DOES NOT transfer property ownership. Sale or transfer of property requires a recorded deed.

VOL. _____ PAGE _____

WOOD COUNTY CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOTS 24, 25 AND 26 OF EAST SIDE ASSESSOR'S PLAT NO. 40, LOCATED IN PART OF THE NW1/4 SE1/4 OF SECTION 8, TOWNSHIP 22 NORTH, RANGE 6 EAST, CITY OF WISCONSIN RAPIDS, WOOD COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, KEVIN M. WHIPPLE, PROFESSIONAL LAND SURVEYOR, hereby certify;

That I have surveyed, divided and mapped this Certified Survey map being all of Lots 24, 25, and 26 of East Side Assessor's Plat No. 40, located in part of the NW1/4 SE1/4 of Section 8, Township 22 North, Range 6 East, City of Wisconsin Rapids, Wood County, Wisconsin, subject to right of ways, easements, restrictions and reservation of record, IF ANY.

That I have made such survey at the direction of

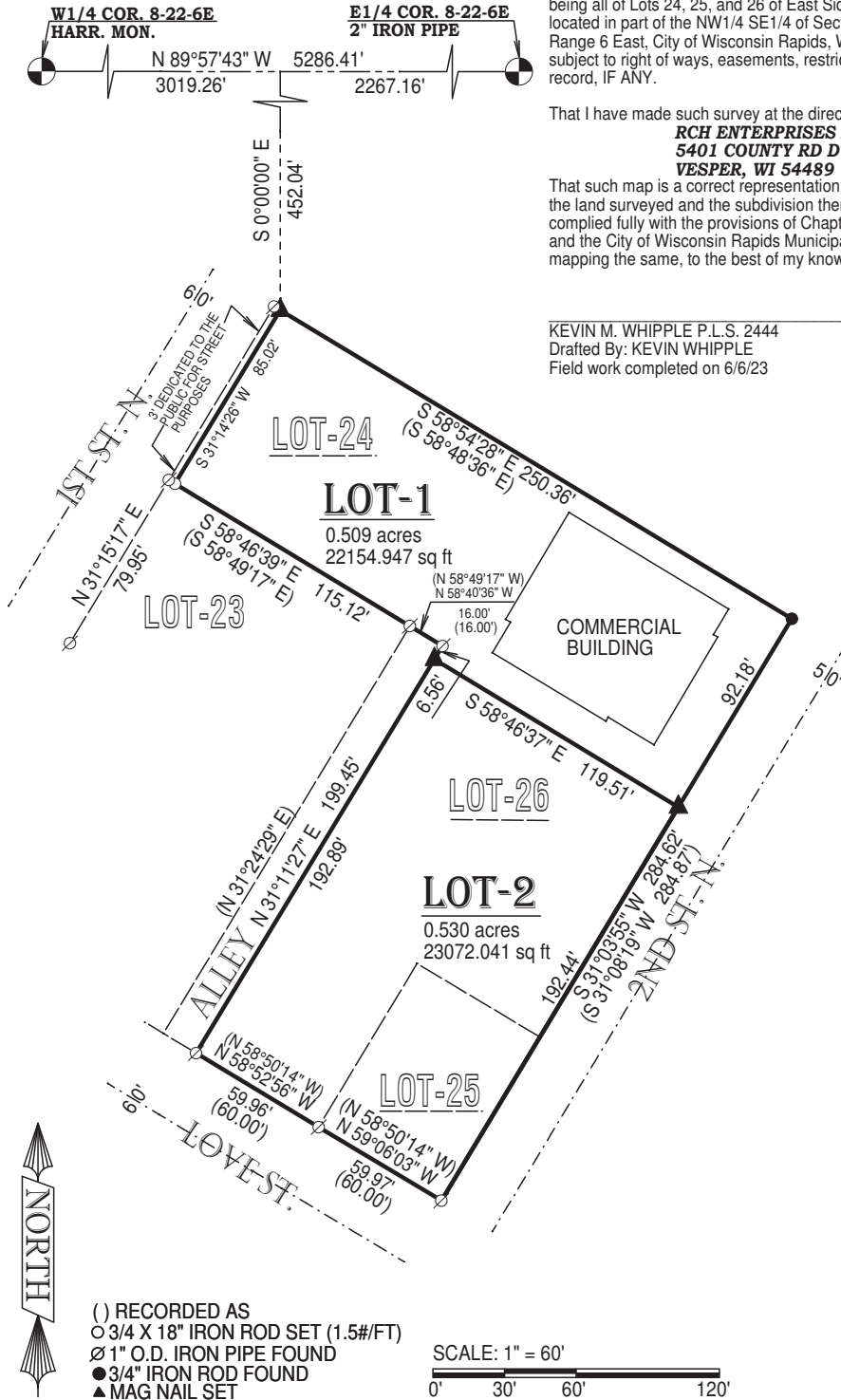
**RCH ENTERPRISES INC
5401 COUNTY RD D
VESPER, WI 54489**

That such map is a correct representation of the exterior boundaries of the land surveyed and the subdivision thereof made; That I have complied fully with the provisions of Chapter 236.34 Wisconsin Statutes and the City of Wisconsin Rapids Municipal code in surveying and mapping the same, to the best of my knowledge and belief.

KEVIN M. WHIPPLE P.L.S. 2444

Drafted By: KEVIN WHIPPLE

Field work completed on 6/6/23



SHEET 2 OF 2



CSM Review Application City of Wisconsin Rapids, Wisconsin

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
Ph: (715) 421-8228

Overview: All certified survey maps shall be prepared in accordance with Sections 236.34 and 236.20(5)(a) of the Wisconsin Statutes, and Chapter 12 of the Revised Municipal Code of the City of Wisconsin Rapids. Certified survey maps shall be reviewed by the City Plan Commission within 40 days as described below.

(2) Any division of land other than a subdivision within the city or its extraterritorial plat approval jurisdiction, or which a plat has not been approved and recorded, shall be surveyed and a certified survey map of such division approved and recorded as required by Section 12.09 of this Municipal Code and the Wood County Land Subdivision Ordinance and Chapter 236, Wisconsin Statutes. (MC#1000)

The provisions of this section shall not apply to:

- (a) Transfers of interests in land by will or pursuant to court order.
- (b) Leases for a term not to exceed 10 years, mortgages or easements.
- (c) Combining of two or more adjacent, previously surveyed parcels of land, under the same ownership, placed under one parcel number, for tax assessment purposes only. (MC#1000)

When it is proposed to divide land into two or more parcels, lots, outlots or building sites, or any combination thereof (not requiring a subdivision plat) any of which is five acres or less in size, or when it is proposed to divide a block, lot or outlot into more than two parcels or building sites within a recorded plat, or when it is proposed to combine previously surveyed and recorded parcels with other surveyed or unsurveyed parcels, the subdivider shall utilize a Certified Survey Map prepared in accordance with Section 236.34, Wisconsin Statutes, and this ordinance. In cases where lots are being created from a large tract of land, tracts over twenty acres in size need not be mapped. However, tracts of lands of five acres or less in size shall not be left as unplatted lands. Creation of land-locked parcels shall not be allowed.

General instructions: Complete this application and submit one copy along with the proposed Certified Survey Map to the Zoning Administrator for review. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>.

Application fee: \$50.00 plus \$10.00 per PC number of lots

Application submittal deadline: Applications may be submitted at any time, but are recommended to be submitted two weeks prior to a Plan Commission Meeting. The City Plan Commission meets regularly the first Monday of the month.

OFFICE USE ONLY

Application Number: _____ Fee Paid: \$ _____ Fee Received By: _____ Date Received: _____

Parcel Number: 3405492 Property Address: 1431 2ND ST N

Property Owner / Applicant (circle)		Agent, if any
Name	BADGER LAND SURVEY, LLC	
Street address	2610 WEST GRAND AVE	
City, state, zip code	WISCONSIN RAPIDS, WI 54494	
Daytime telephone	715-424-5900	
E-mail address	kevin@badgerlandsurvey.com	

CSM Number (if any): _____

Description and reason for the proposed Certified Survey Map:

split building off

Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

<input type="checkbox"/> RR Rural Residential	<input type="checkbox"/> R-8 Manufactured Home Park	<input type="checkbox"/> M-1 General Industrial
<input type="checkbox"/> R-1 Single family Residential	<input type="checkbox"/> B-1 Downtown Commercial	<input checked="" type="checkbox"/> M-2 Heavy Industrial
<input type="checkbox"/> R-2 Mixed Residential	<input type="checkbox"/> B-2 General Commercial	<input type="checkbox"/> I-1 Institutional
<input type="checkbox"/> R-3 Multi-family Medium Density Residential	<input type="checkbox"/> B-3 Neighborhood Commercial	<input type="checkbox"/> P-1 Park and Recreation
<input type="checkbox"/> R-4 Multi-family High Density Residential	<input type="checkbox"/> B-5 Mixed Use Commercial	<input type="checkbox"/> C-1 Conservancy

Applicant certification

- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner and/or Applicant:

Erin Whipple
Name – print

Erin Whipple
Name – Signature

6/16/23
Date

Name – print

Name – Signature

Date



Memo

To: Plan Commission
From: Kyle Kearns, Community Development Director
Carrie Edmondson, Associate Planner
Date: 7/31/2023
Subject: **23-000535; WISC RAPIDS 4540 8th South WI LLC** – request for a Certified Survey Map to create three lots from two at 4540 Eighth Street South and 710 Ruby Avenue (Parcel ID's 3414195 and 3414178) and dedicate right-of-way on Eighth Street South.

The request from WISC RAPIDS 4540 8th South WI LLC is to create three lots from two. The lot reconfiguration is reviewed and approved administratively, however there is a public land dedication required. The City's Official Street Map identifies this section of Eighth Street South as a Primary Arterial and requires a 125-foot right-of-way width. Therefore, the Engineering Department has required a public land dedication along Eight Street South to meet the overall 125-foot right-of-way width. A vicinity map has been provided below showing the location of the existing lots. Staff would recommend approval of the requested CSM, including public land dedication to meet the 125-foot right-of-way distance.

Vicinity Map





CSM Review Application
City of Wisconsin Rapids, Wisconsin

Page 13 of 112
Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
Ph: (715) 421-8228

Overview: All certified survey maps shall be prepared in accordance with Sections 236.34 and 236.20(5)(a) of the Wisconsin Statutes, and Chapter 12 of the Municipal Code of the City of Wisconsin Rapids. Certified survey maps shall be reviewed by the Zoning Administrator within 40 days as described below. Certified survey maps that contain dedications to the public shall be reviewed by Common Council after recommendation by the Plan Commission.

(2) Any division of land other than a subdivision within the city or its extraterritorial plat approval jurisdiction, or which a plat has not been approved and recorded, shall be surveyed and a certified survey map of such division approved and recorded as required by Section 12.09 of this Municipal Code and the Wood County Land Subdivision Ordinance and Chapter 236, Wisconsin Statutes. (MC#1000)

The provisions of this section shall not apply to:

- (a) Transfers of interests in land by will or pursuant to court order.
- (b) Leases for a term not to exceed 10 years, mortgages or easements.
- (c) The sale or exchange of parcels of land between owners of adjoining property if additional lots are not thereby created and the lots resulting are not reduced below the minimum sizes required by the Zoning Ordinance or other applicable laws or ordinances. (MC1330)

When it is proposed to divide land into two or more parcels, lots, outlots or building sites, or any combination thereof (not requiring a subdivision plat) any of which is five acres or less in size, or when it is proposed to divide a block, lot or outlot into more than two parcels or building sites within a recorded plat, or when it is proposed to combine previously surveyed and recorded parcels with other surveyed or unsurveyed parcels, the subdivider shall utilize a Certified Survey Map prepared in accordance with Section 236.34, Wisconsin Statutes, and this ordinance. In cases where lots are being created from a large tract of land, tracts over twenty acres in size need not be mapped. However, tracts of lands of five acres or less in size shall not be left as unplatted lands. Creation of land-locked parcels shall not be allowed.

General instructions: Complete this application and submit one copy along with the proposed Certified Survey Map to the Zoning Administrator for review. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>.

Application fee: \$50.00 plus \$10.00 per PC number of lots

Application submittal deadline: Applications may be submitted at any time. Lots requiring dedication to the public are recommended to be submitted two weeks prior to a Plan Commission Meeting. The City Plan Commission meets regularly the first Monday of the month.

OFFICE USE ONLY

Application Number: _____ Fee Paid: \$ _____ Fee Received By: _____ Date Received: _____

Parcel Number: 3414195 Property Address: _____

Property Owner / Applicant (circle)		Agent, if any
Name		
WISC RAPIDS 4540 8th South WI LLC		Jordan G. Brost (Surveyor)
Street address	2201 MADISON STREET	4941 Kirschling Court
City, state, zip code	STEVENS POINT, WI 54481	Stevens Point, WI 54481
Daytime telephone	715-345-5060, EXT. 340 - Fritz Schierl	715-340-1269
E-mail address	fritzs@teamschierl.com	jordanb@pobinc.com

CSM Number (if any): _____

Description and reason for the proposed Certified Survey Map:

The purpose of this CSM is to take two(2) existing parcels and reconfigure to make a three(3) Lot
Certified Survey Map with a dedication of Street (STH 13) to comply with City of Wisconsin Rapids
"official map", which requires a width of 125' total of R/W. An access easement will be illustrated
as shown on Survey, which is to be created / recorded by other instrument or conveyance deed.

Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

<input type="checkbox"/> RR Rural Residential	<input type="checkbox"/> R-8 Manufactured Home Park	<input type="checkbox"/> M-1 General Industrial
<input type="checkbox"/> R-1 Single family Residential	<input type="checkbox"/> B-1 Downtown Commercial	<input type="checkbox"/> M-2 Heavy Industrial
<input type="checkbox"/> R-2 Mixed Residential	<input checked="" type="checkbox"/> B-2 General Commercial	<input type="checkbox"/> I-1 Institutional
<input type="checkbox"/> R-3 Multi-family Medium Density Residential	<input type="checkbox"/> B-3 Neighborhood Commercial	<input type="checkbox"/> P-1 Park and Recreation
<input type="checkbox"/> R-4 Multi-family High Density Residential	<input type="checkbox"/> B-5 Mixed Use Commercial	<input type="checkbox"/> C-1 Conservancy

Applicant certification

- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner and/or Applicant:

Jordan G. Brost

Name – print

Fritz Schierl

Name – print

Jordan Brost

Name – Signature

Fritz Schierl

Name – Signature

7-24-2023

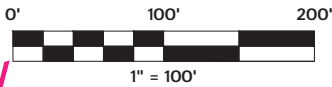
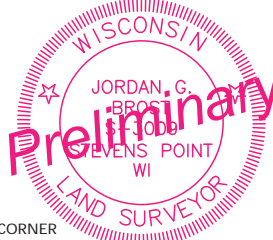
Date

7/25/23

Date

certified survey map

being all of lot 4 of certified survey map no. 2190 and a part of the southeast 1/4 of the southwest 1/4 of section 29, township 22 north, range 6 east, city of wisconsin rapids, wood county, wisconsin.



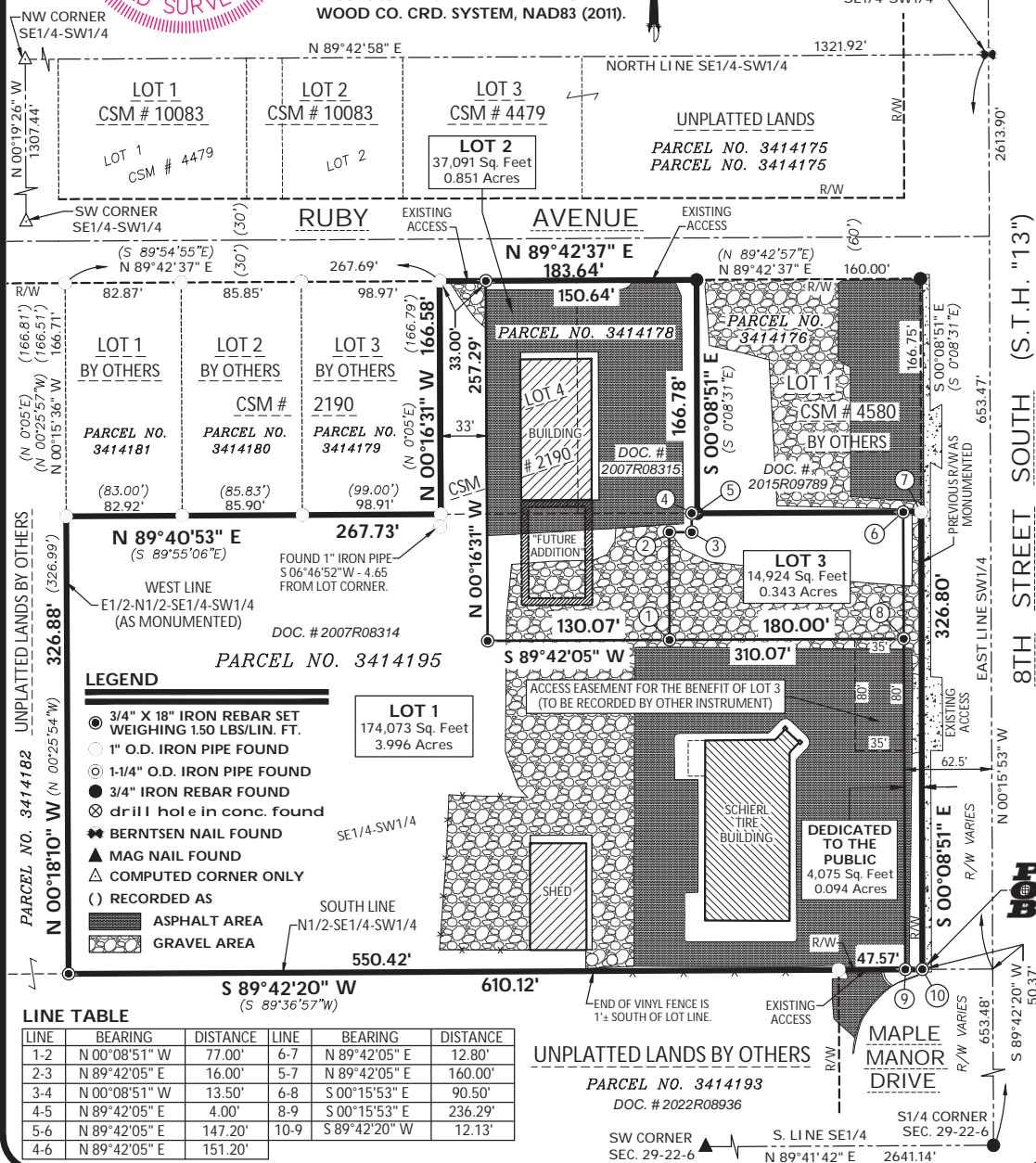
BASIS OF BEARINGS

THE EAST LINE OF THE SW1/4, SEC. 29, T.22N, R.6E, WHICH BEARS N 00°15'53"W AS REFERENCED TO THE WOOD CO. CRD. SYSTEM, NAD83 (2011).

NOTE

this map does not transfer property ownership. sale or transfer of property requires a recorded deed, excepting public dedications.

C1/4 CORNER SEC. 29-22-6



Point of Beginning

Land Surveying
Civil Engineering
Landscape Architecture
Jordan G. Brost, PLS #3009

4941 Kirschling Court
Stevens Point, WI 54481
715.344.9999 (PH) 715.344.9922 (FX)

Fieldwork completed: 04-26-2023

drawn: JGB checked: JGB

Field book: 45 PAGE: 24

JOB No: 23.751

CLIENT
WISCONSIN RAPIDS 4540
8TH SOUTH WI, LLC
c/o Fritz Schierl
2201 MADISON ST
STEVENS POINT WI 54481

SHEET 1 OF 3

certified survey map

being all of Lot 4 of certified survey map no. 2190 and a part of the southeast 1/4 of the southwest 1/4 of section 29, township 22 north, range 6 east, city of wisconsin rapids, wood county, wisconsin.

Surveyor's Certificate:

I, Jordan G. Brost, Professional Land Surveyor, hereby certify:

That I have surveyed, divided and mapped all of Lot 4 of Certified Survey Map No. 2190 and a part of the Southeast 1/4 of the Southwest 1/4 of Section 29, Township 22 North, Range 6 East, City of Wisconsin Rapids, Wood County, Wisconsin, described as follows:

Commencing at the South 1/4 corner of Section 29, Township 22 North, Range 6 East;

Thence N 00°15'53"W along the East line of the Southwest 1/4 of said Section 29, 653.48 feet to the Southeast corner of the North 1/2 of the Southeast 1/4 of the Southwest 1/4 of said Section 29;

Thence S 89°42'20"W along the South line of said North 1/2 of the Southeast 1/4 of the Southwest 1/4, 50.37 feet to the intersection of said South line and the West right-of-way line of 8th Street South (S.T.H. "13"), said point also being the point of beginning (POB) of the parcel to be described;

Thence continuing S 89°42'20"W along the South line of said North 1/2 of the Southeast 1/4 of the Southwest 1/4, 610.12 feet;

Thence N 00°18'10"W, 326.88 feet to the Southwest corner of Certified Survey Map No. 2190;

Thence N 89°40'53"E along the South line of Certified Survey Map No. 2190, 267.73 feet to the Southwest corner of Lot 4 of said Certified Survey Map;

Thence N 00°16'31"W along the West line of said Lot 4 of Certified Survey Map No. 2190, 166.58 feet to the Northwest corner thereof, said point being on the South right-of-way line of Ruby Avenue;

Thence N 89°42'37"E along the North line said Lot 4 and the easterly extension thereof and the South right-of-way line of Ruby Avenue, 183.64 feet to the Northwest corner of Lot 1 of Certified Survey Map No. 4580;

Thence S 00°08'51"E along the West line of said Lot 1, 166.78 feet to the Southwest corner thereof;

Thence N 89°42'05"E along the South line of said Lot 1, 160.00 feet to the Southeast corner thereof, said point being on the West right-of-way line of 8th Street South (S.T.H. "13");

Thence S 00°08'51"E along said West right-of-way line, 326.80 feet to the point of beginning.

Containing: 230,163 Square Feet - 5.284 Acres.

Subject to (if any) covenants, conditions, restrictions, right-of-ways and easements of record.

That I have made such survey, land division and plat by the direction of Fritz Schierl of Wisconsin Rapids 4540 8th South WI, LLC. That such plat is a correct representation of all exterior boundaries of the land surveyed and the subdivision thereof made. That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin State Statutes, Chapter A-E 7 of the Wisconsin Administrative Code, minimum standards for property surveys and the Subdivision Ordinance of the City of Wisconsin Rapids in surveying, dividing and mapping the same.

Dated this _____ day of _____, 2023.

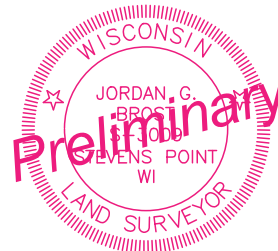
Jordan G. Brost
PLS No. S-3009

OWNER
PARCEL NO. 3414195

WISCONSIN RAPIDS 4540
8TH SOUTH WI, LLC
2201 MADISON ST
STEVENS POINT WI 54481

OWNER
PARCEL NO. 3414178

WISCONSIN RAPIDS
710 RUDY WI, LLC
2201 MADISON ST
STEVENS POINT WI 54481



Land Surveying
Civil Engineering
Landscape Architecture
Jordan G. Brost, PLS #3009

4941 Kirschling Court
Stevens Point, WI 54481
715.344.9999 (PH) 715.344.9922 (FX)

Fieldwork completed: 04-26-2023

drawn: JGB checked: JGB

Field book: 45 PAGE: 24

JOB No: 23.751

CLIENT
WISCONSIN RAPIDS 4540
8TH SOUTH WI, LLC
c/o Fritz Schierl
2201 MADISON ST
STEVENS POINT WI 54481

SHEET 2 OF 3

certified survey map

being all of lot 4 of certified survey map no. 2190
and a part of the southeast 1/4 of the southwest 1/4
of section 29, township 22 north, range 6 east,
city of wisconsin rapids, wood county, wisconsin.

Corportate Owner's Certificate of Dedication

As owner representative, I hereby certify that I caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on the map. I also certify that this Certified Survey Map is required by s236.34 to be submitted to the following for approval or objections:

- 1) City of Wisconsin Rapids, Wood County

Witness the hand and seal of said owner this _____ day of _____, 2023.

Fritz Schierl, representative of Wisconsin Rapids 4540 8th South WI, LLC

STATE OF _____)

COUNTY OF _____)

Personally came before me this _____ day of _____, 2023, the above
named Fritz Schierl of Wisconsin Rapids 4540 8th South WI LLC, to me known to be the persons who
executed the foregoing instrument and hereby acknowledge the same.

_____, Notary Public, _____,

_____.

My commission expires _____.

Common Council Resolution

Be it resolved by the Common Council of the City of
Wisconsin Rapids, Wisconsin, that this Certified Survey Map is hereby approved.

Shane E. Blaser, Mayor Date

I, **Jennifer Gossick**, City Clerk, do hereby certify that the above Resolution was passed by the

Common Council at its regular meeting held on the _____ day of _____, 2023.

Jennifer Gossick, City Clerk Date

City of Wisconsin Rapids Planning Commission Approval

There are no objections to this plat with respect to Chapter 12, Municipal Code, and amendments thereto.

Certified this _____ day of _____, 2023.

City Engineer (Signature) Print Name Date



OWNER
PARCEL NO. 3414178

WISCONSIN RAPIDS
710 RUDY WI, LLC
2201 MADISON ST
STEVENS POINT WI 54481

OWNER
PARCEL NO. 3414195

WISCONSIN RAPIDS 4540
8TH SOUTH WI, LLC
2201 MADISON ST
STEVENS POINT WI 54481



Point of Beginning

Land Surveying
Civil Engineering
Landscape Architecture
Jordan G. Brost, PLS #3009

4941 Kirschling Court
Stevens Point, WI 54481
715.344.9999 (PH) 715.344.9922 (FX)

Fieldwork completed: 04-26-2023

drawn: JGB checked: JGB

Field book: 45 PAGE: 24

JOB No: 23.751

CLIENT
WISCONSIN RAPIDS 4540
8TH SOUTH WI, LLC
c/o Fritz Schierl
2201 MADISON ST
STEVENS POINT WI 54481

SHEET 3 OF 3



Memo

To: Plan Commission
From: Kyle Kearns, Community Development Director
Carrie Edmondson, Associate Planner
Date: 7/31/2023
Subject: **23-000679; TAM Acquisitions** – request for a Certified Survey Map to create two lots from one at 2730 Eighth Street South (Parcel ID 3412599) and dedicate right-of-way on Eighth Street South and Grove Avenue.

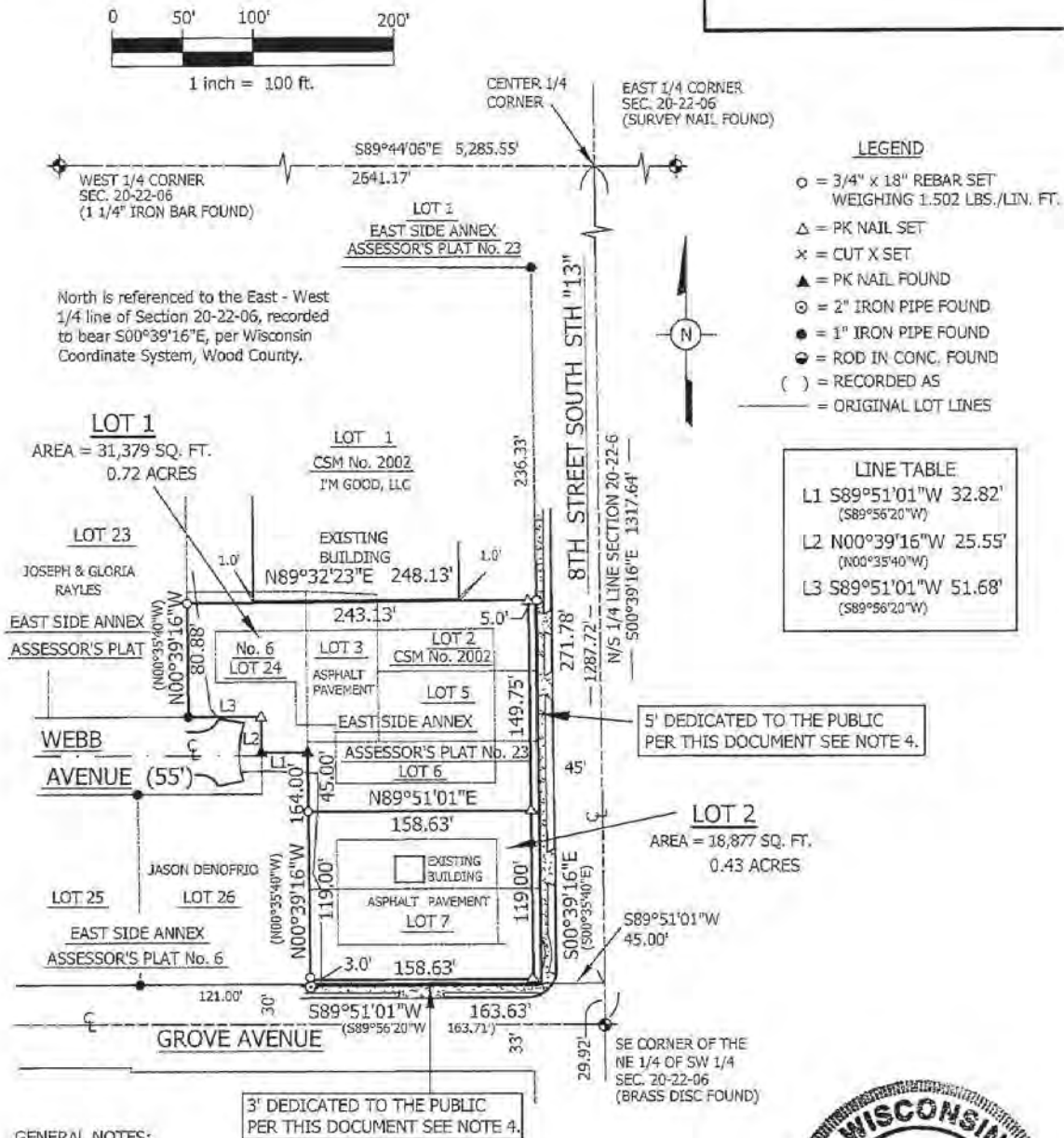
The request from TAM Acquisitions is to create two lots from one lot. The lot reconfiguration is reviewed and approved administratively, however there is a public land dedication required. The City's Official Street Map identifies this section of Eighth Street South as a Primary Arterial and requires a 100-foot right-of-way. Grove Avenue is identified as a Minor Collector and requires a 66-foot right-of-way. Therefore, the Engineering Department has required five feet of public land dedication along Eighth Street South and three feet of public land dedication along Grove Avenue to bring the parcels to consistency with the Official Street Map. A vicinity map has been provided below showing the location of the existing lots. Staff would recommend approval of the requested CSM, including public land dedication to meet the detailed right-of-way distances.

Vicinity Map



WOOD COUNTY CERTIFIED SURVEY MAP

Lot 2, Certified Survey Map No. 2002, recorded in Vol. 7 Page 202 as Document No. 581641, part of Lot 24 EAST SIDE ANNEX ASSESSOR'S PLAT No. 6, recorded in Vol. 11 Page 24 as Document No. 484143 and part of Lot 3, all of 5, 6 and 7 EAST SIDE ANNEX ASSESSOR'S PLAT No. 23, recorded in Vol. 11 Page 82 as Document No. 507948, City of Wisconsin Rapids, Wood County, Wisconsin.



Keith W. Walenski 7-20-23
KEITH W. WALENSKI P.L.S.-2292 Date



WOOD COUNTY CERTIFIED SURVEY MAP

Lot 2, Certified Survey Map No. 2002, recorded in Vol. 7 Page 202 as Document No. 581641, part of Lot 24 EAST SIDE ANNEX ASSESSOR'S PLAT No. 6, recorded in Vol. 11 Page 24 as Document No. 484143 and part of Lot 3, all of 5, 6 and 7 EAST SIDE ANNEX ASSESSOR'S PLAT No. 23, recorded in Vol. 11 Page 82 as Document No. 507948, City of Wisconsin Rapids, Wood County, Wisconsin.

SURVEYOR'S CERTIFICATE

I, Keith W. Walenski, Professional Wisconsin Land Surveyor, certify that I have surveyed divided and mapped Lot 2 of Certified Survey Map No. 2002, recorded as Document No. 581641, Volume 7 page 202, part of Lot 24, EAST SIDE ANNEX ASSESSOR'S PLAT No. 6 and part of Lot 3 all of 5 and 7, EAST SIDE ANNEX ASSESSOR'S PLAT No. 23, City of Wisconsin Rapids, Wood County, Wisconsin, described as follows: Commencing at the West 1/4 corner of said Section 20; thence S89°44'06"E along the East West 1/4 line, 2641.17 feet to the center of said section 20; thence S00°39'16"E along the North South 1/4 line, 1287.72 feet; thence S89°51'01"W, 45.00 feet to the West right-of-way line of 8th Street South and the North right-of-way line of Grove Avenue; thence S89°51'01"W along said North right-of-way line, 163.63 feet to the Southwest corner of Lot 7, EAST SIDE ANNEX ASSESSOR'S PLAT No. 23; thence N00°39'16"W, 164.00 feet; thence S89°51'01"W, 32.82 feet; thence N00°39'16"W, 25.55 feet; thence S89°51'01"W, 51.68 feet; thence N00°39'16"W, 80.88 feet; thence S89°32'23"E 248.13 feet to the West right-of-way line of 8th Street South; thence S00°39'16"E along said right-of-way line, 271.78 feet to the point of beginning.

That I have made such survey, map and land division as shown hereon, under the direction of I'm Good, LLC a Wisconsin limited liability company.

That this map is a correct representation of the exterior boundary lines of the land surveyed and the division of that land.

That I have fully complied with the provisions of Chapter 236, Section 236.34 of the Wisconsin Statutes and the Subdivision Ordinances of the City of Wisconsin Rapids in surveying, dividing and mapping of that land.

Keith W. Walenski 7-20-23
 Keith W. Walenski PLS - 2292 Date



CITY OF WISCONSIN RAPIDS PLANNING COMMISSION APPROVAL

This Certified Survey Map as surveyed and mapped has been reviewed with respect to Chapter 12, Municipal code and amendments thereto, and approved by the Planning Commission.

Certified this _____ day of _____ 2023.

 Representative

TREASURER'S CERTIFICATE

I do hereby certify that there are no unpaid taxes or unpaid special assessments on any of the lands included in this Certified Survey Map.

 City of Wisconsin Rapids Treasurer Date

WOOD COUNTY CERTIFIED SURVEY MAP

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LIMITED LIABILITY COMPANY OWNER'S CERTIFICATE

I'M GOOD, LLC, a limited liability company duly organized and existing under and by the virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described to be surveyed, divided, dedicated and mapped as shown and represented hereon. I'M GOOD, LLC, does further certify that this Certified Survey Map is required by S.236.10 or S.236.12 of the Wisconsin Statutes be submitted to the City of Wisconsin Rapids for approval or objection.

Dated this _____ day of _____, 2023.

Representative _____ Date _____

State of Wisconsin)
Outagamie County) ss

Personally came before me this _____ day of _____, 2023, the above named person to me known to be a I'M GOOD, LLC, representative who executed the foregoing instrument and acknowledged the same.

Notary Public _____

My commission expires _____



Keith W. Walenski 7-20-23
KEITH W. WALENSKI P.L.S.-2292 Date



CSM Review Application City of Wisconsin Rapids, Wisconsin

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
Ph: (715) 421-8228

Overview: All certified survey maps shall be prepared in accordance with Sections 236.34 and 236.20(5)(a) of the Wisconsin Statutes, and Chapter 12 of the Municipal Code of the City of Wisconsin Rapids. Certified survey maps shall be reviewed by the Zoning Administrator within 40 days as described below. Certified survey maps that contain dedications to the public shall be reviewed by Common Council after recommendation by the Plan Commission.

(2) Any division of land other than a subdivision within the city or its extraterritorial plat approval jurisdiction, or which a plat has not been approved and recorded, shall be surveyed and a certified survey map of such division approved and recorded as required by Section 12.09 of this Municipal Code and the Wood County Land Subdivision Ordinance and Chapter 236, Wisconsin Statutes. (MC#1000)

The provisions of this section shall not apply to:

- (a) Transfers of interests in land by will or pursuant to court order.
- (b) Leases for a term not to exceed 10 years, mortgages or easements.
- (c) The sale or exchange of parcels of land between owners of adjoining property if additional lots are not thereby created and the lots resulting are not reduced below the minimum sizes required by the Zoning Ordinance or other applicable laws or ordinances. (MC1330)

When it is proposed to divide land into two or more parcels, lots, outlots or building sites, or any combination thereof (not requiring a subdivision plat) any of which is five acres or less in size, or when it is proposed to divide a block, lot or outlot into more than two parcels or building sites within a recorded plat, or when it is proposed to combine previously surveyed and recorded parcels with other surveyed or unsurveyed parcels, the subdivider shall utilize a Certified Survey Map prepared in accordance with Section 236.34, Wisconsin Statutes, and this ordinance. In cases where lots are being created from a large tract of land, tracts over twenty acres in size need not be mapped. However, tracts of lands of five acres or less in size shall not be left as unplatted lands. Creation of land-locked parcels shall not be allowed.

General instructions: Complete this application and submit one copy along with the proposed Certified Survey Map to the Zoning Administrator for review. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>.

Application fee: \$50.00 plus \$10.00 per PC number of lots

Application submittal deadline: Applications may be submitted at any time. Lots requiring dedication to the public are recommended to be submitted two weeks prior to a Plan Commission Meeting. The City Plan Commission meets regularly the first Monday of the month.

OFFICE USE ONLY

Application Number: _____ Fee Paid: \$ _____ Fee Received By: _____ Date Received: _____

Parcel Number: 34-12598; 34-12599 Property Address: 2730 8th Street South, Wisconsin Rapids

Property Owner Applicant (circle)	Agent, if any
Name <u>TAM Acquisitions, LLC</u>	<u>Keith W. Walenski - Harris & Associates</u>
Street address <u>c/o Tim Randall, 2060 N. Humboldt Blvd, Ste. 225</u>	<u>2718 N. Meade Street</u>
City, state, zip code <u>Milwaukee, WI 53212</u>	<u>Appleton, WI 54911</u>
Daytime telephone <u>414.837.3619</u>	<u>920.733.8377</u>
E-mail address <u>tim.randall@whgroup.com</u>	<u>kwalenski@harrisinc.net</u>

CSM Number (if any): _____

Description and reason for the proposed Certified Survey Map:

(i) Elimination of an existing building encroachment - currently the southern facade of the building located on Parcel 34-12598 encroaches into Parcel 34-12599; the CSM will relocate their shared lot line to the south to eliminate the encroachment.

(ii) Subdivide Parcel 34-12599 into Lot 1 and Lot 2; Lot 1 will continue its current commercial uses; Lot 2 will be developed as a Pizza Hut restaurant.

Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)


- | | | |
|--|--|--|
| <input type="checkbox"/> RR Rural Residential | <input type="checkbox"/> R-8 Manufactured Home Park | <input type="checkbox"/> M-1 General Industrial |
| <input type="checkbox"/> R-1 Single family Residential | <input type="checkbox"/> B-1 Downtown Commercial | <input type="checkbox"/> M-2 Heavy Industrial |
| <input type="checkbox"/> R-2 Mixed Residential | <input checked="" type="checkbox"/> B-2 General Commercial | <input type="checkbox"/> I-1 Institutional |
| <input type="checkbox"/> R-3 Multi-family Medium Density Residential | <input type="checkbox"/> B-3 Neighborhood Commercial | <input type="checkbox"/> P-1 Park and Recreation |
| <input type="checkbox"/> R-4 Multi-family High Density Residential | <input type="checkbox"/> B-5 Mixed Use Commercial | <input type="checkbox"/> C-1 Conservancy |

Applicant certification

- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

~~Property Owner~~ Applicant:

TAM Acquisitions, LLC, Tim Randall, Manager
Name – print


Name – Signature

07/27/2023
Date

Name – print

Name – Signature

Date

WOOD COUNTY CERTIFIED SURVEY MAP

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SURVEYOR'S CERTIFICATE

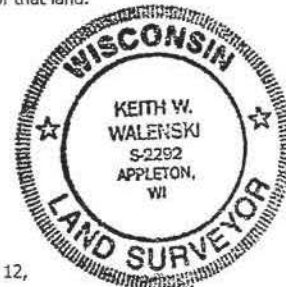
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That I have made such survey, map and land division as shown hereon, under the direction of I'm Good, LLC a Wisconsin limited liability company.

That this map is a correct representation of the exterior boundary lines of the land surveyed and the division of that land.

That I have fully complied with the provisions of Chapter 236, Section 236.34 of the Wisconsin Statutes and the Subdivision Ordinances of the City of Wisconsin Rapids in surveying, dividing and mapping of that land.

Keith W. Walenski 7-20-23
Keith W. Walenski PLS - 2292 Date



CITY OF WISCONSIN RAPIDS PLANNING COMMISSION APPROVAL

This Certified Survey Map as surveyed and mapped has been reviewed with respect to Chapter 12, Municipal code and amendments thereto, and approved by the Planning Commission.

Certified this _____ day of _____ 2023.

Representative

TREASURER'S CERTIFICATE

I do hereby certify that there are no unpaid taxes or unpaid special assessments on any of the lands included in this Certified Survey Map.

City of Wisconsin Rapids Treasurer Date

WOOD COUNTY CERTIFIED SURVEY MAP

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I'M GOOD, LLC, a limited liability company duly organized and existing under and by the virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described to be surveyed, divided, dedicated and mapped as shown and represented hereon. I'M GOOD, LLC, does further certify that this Certified Survey Map is required by S.236.10 or S.236.12 of the Wisconsin Statutes be submitted to the City of Wisconsin Rapids for approval or objection.

Dated this _____ day of _____, 2023.

Representative Date

State of Wisconsin) ss
Outagamie County)

Personally came before me this _____ day of _____, 2023, the above named person to me known to be a I'M GOOD, LLC, representative who executed the foregoing instrument and acknowledged the same.

Notary Public My commission expires _____



Keith W. Walenski 7-20-23

KEITH W. WALENSKI P.L.S.-2292 Date

Administrative Staff Report

Ron and Diane Polum
Special Exception - Garage
4410 Ridgeview Lane
July 31, 2023



<p>Applicant(s):</p> <ul style="list-style-type: none"> Ron and Diane Polum <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns, Director Carrie Edmondson, Associate Planner <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3414540 <p>Lot Information:</p> <ul style="list-style-type: none"> Effective Frontage: 115 feet Effective Depth: 180 feet Square Footage: 20,714 Acreage: 0.476 Acres <p>Zone(s):</p> <ul style="list-style-type: none"> Mixed Residential (R-2) <p>Council District:</p> <ul style="list-style-type: none"> District 8 - Bemke <p>Master Plan:</p> <ul style="list-style-type: none"> Residential <p>Current Use:</p> <ul style="list-style-type: none"> Vacant <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 – Zoning 	<p>Request</p> <p>23-000516; Ron and Diane Polum - request for a special exception to exceed the floor area of attached garage maximum in the Mixed Residential (R-2) District at 4410 Ridgeview Lane (Parcel ID 3414540).</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Special exception application Plans <p>Findings of Fact</p> <ol style="list-style-type: none"> The property is currently vacant. The property is located within the Mixed Residential (R-2) District. The site is being developed as a single-family dwelling which is a permitted use in the district. The request includes a special exception to construct a 1,786 square foot home and 1,268 square foot attached garage (71 percent of the ground floor living area) exceeding the 50 percent maximum square footage allowed for an attached garage in the Mixed Residential (R-2) District. Through private regulation, detached garages are not permitted within the existing development per the Declaration of Covenants and Restrictions for Ridges Estates. Plan Commission can approve an attached garage over the 50 percent maximum provided the percent is deducted from the allowable floor area of detached accessory buildings through the special exception process. <p>Staff Recommendation</p> <p>Approve the request for a special exception to exceed the floor area of attached garaged maximum in the Mixed Residential (R-2) District at 4410 Ridgeview Lane (Parcel ID 3414540).</p>
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Vicinity Map



Background

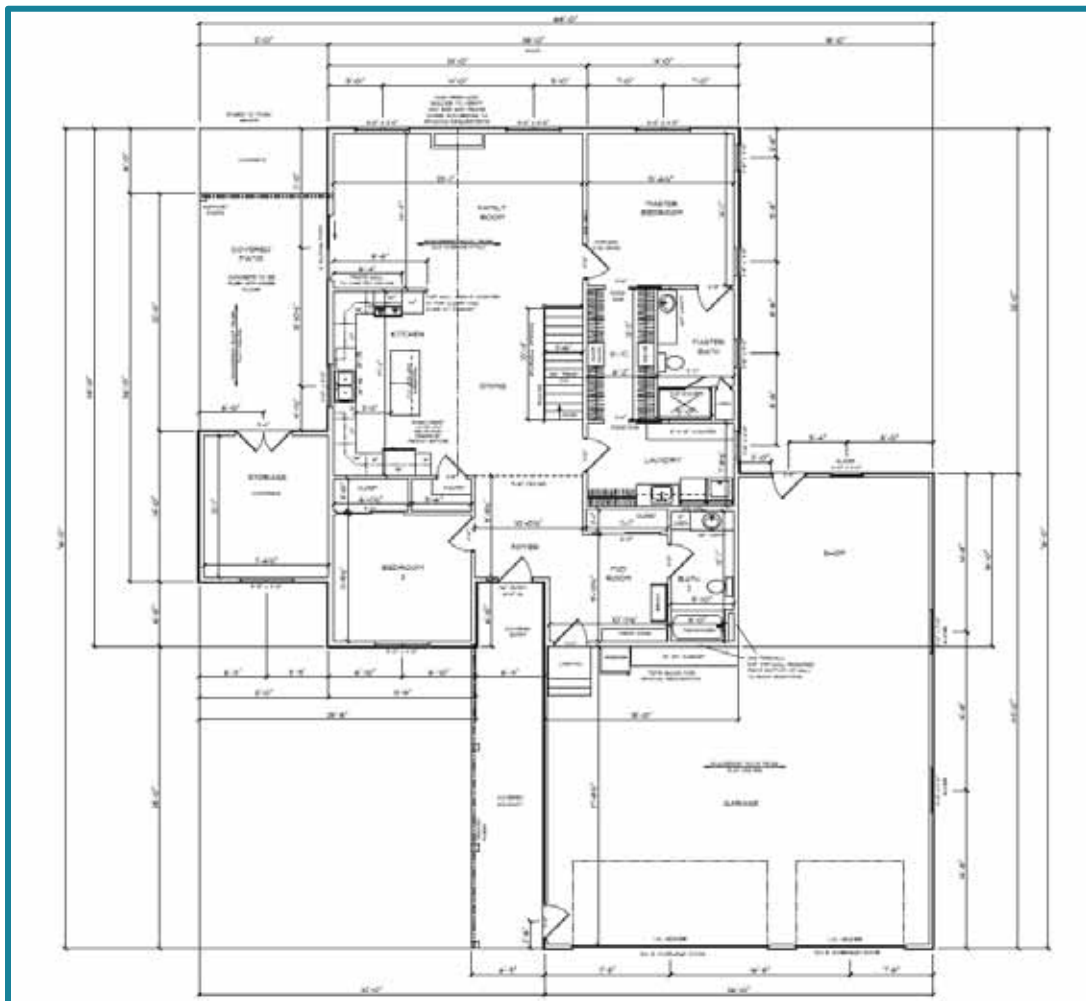
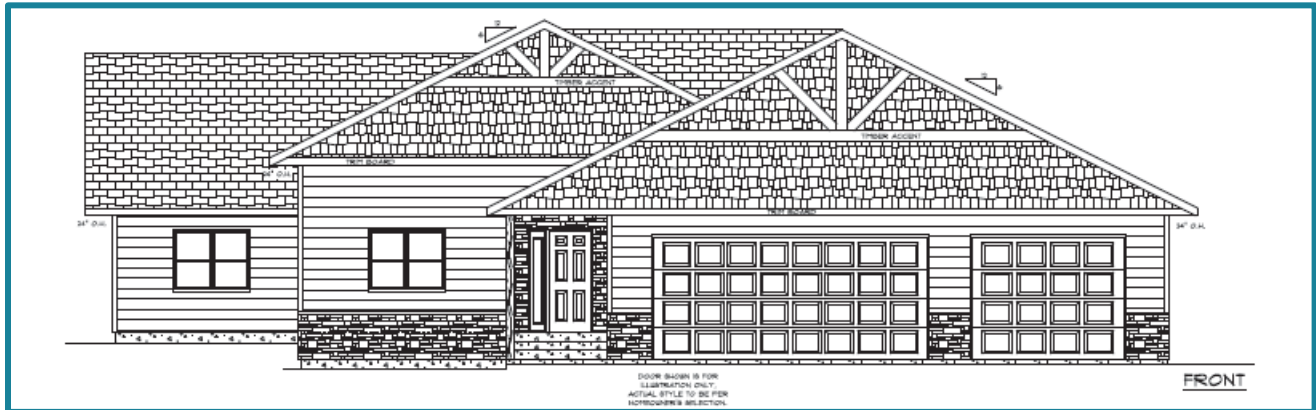
The applicant is requesting a special exception to exceed the floor area of attached garage maximum in the Mixed Residential (R-2) District. The applicant has completed building plans and is working to secure a building permit with the City. The desired plan for the single-family dwelling is to construct a 1,786 square foot home and a 1,268 square foot attached garage and workshop. When preliminary drawings were submitted for review, staff noted that the garage was in excess of the 50 percent maximum rule which in this case would limit that attached garage to no more than 893 square feet. The minimum required garage for a single-family home in the City is 400 square feet.

The allowance for special exception is outlined in Appendix C Zoning District and Dimensional Standards as follows:

Floor area of attached garage, maximum	s. 11.06.112	50 percent of ground floor living area; the Planning Commission may allow more than 50 percent as a special exception provided the floor area over 50 percent is deducted from the allowable floor area of detached accessory buildings
--	--------------	---

Several decades ago, front porches were the primary design elements of a home and contributed to more walkable, community centered neighborhoods. Over time, garages rather than porches have become the primary design element of homes as development has become more automobile centered. The 2018 Chapter 11 – Zoning revision likely included the maximum garage standard to ensure that attached garages were subsidiary to the home and not the

dominating feature of new single-family residences. The standard also helps to ensure that new home design contributes to more walkable, community-oriented neighborhoods.



Arguably in this case the garage does not dominate the front façade of the single-family residence. Since the garage has substantial depth, the overall aesthetic contains a desirable balance of a single-family residence with an inviting landing and design elements with a proportionate attached garage.

Standards of review and analyzed in greater detail below.

Standards of Review 11.05.134 Basis of decision

The review authority shall consider the following factors:

(1) the size of the property in comparison to other properties in the area;

The living area of the home and overall size of the project are consistent with other residences in the immediate block and neighborhood.

(2) the extent to which the issuance of the special exception would be in keeping with the overall intent of this chapter;

The dimensional standard creating a maximum attached garage size restriction was likely to counteract the growing predominance of garages within residential development. The home contains an inviting entrance and landing and decorative design elements that create a high exterior design aesthetic. Because the garage has greater depth than width the outward appearance maintains an appropriate scale where the garage is not the dominant feature of the residence.

(3) whether there are any unique circumstances and the nature of those circumstances that warrant the issuance of the special exception;

The proposed home is located within a development that is privately regulated by the Declaration of Covenants and Restrictions for Ridges Estates. These restrictions do not permit the construction of detached buildings including garages and storage sheds. Therefore, the applicant does not have the ability to construct two detached accessory buildings up to 900 square feet each that would typically be afforded in other areas of the City. It is the desire of the applicant to have additional garage and workshop space and therefore, attached space is the only option available.

(4) the nature and extent of anticipated impacts to the natural environment that could potentially occur if the special exception was granted;

There are no anticipated impacts to the natural environment. The overall amount of development is consistent with that which is permitted City-wide. This is only a question of the use allocation within that development.

(5) the nature and extent of anticipated positive and negative effects on properties in the area;

The net effect is largely neutral. There is some positive anticipated impact in that if the public wishes to construct garages over the minimum standard, the Plan Commission has the ability to make a determination on a case by case basis to ensure that neighborhood development continues to be constructed in such a way to foster a sense of community and also to meet the needs of each individual applicant.

(6) actions the applicant will undertake to mitigate the negative effects, if any, of the proposed special exception;

There are not anticipated negative effects.

(7) a factor specifically listed under a section of this chapter authorizing the issuance of a special exception; and

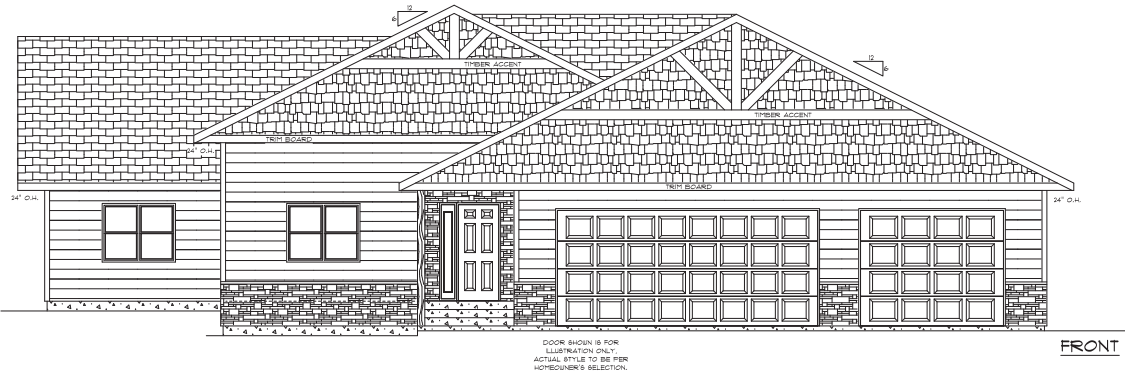
The special exception process is authorized under Appendix C Zoning Districts and Dimensional Standards in the Mixed Residential (R-2) district, Floor area of attached garage, maximum.

(8) any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.

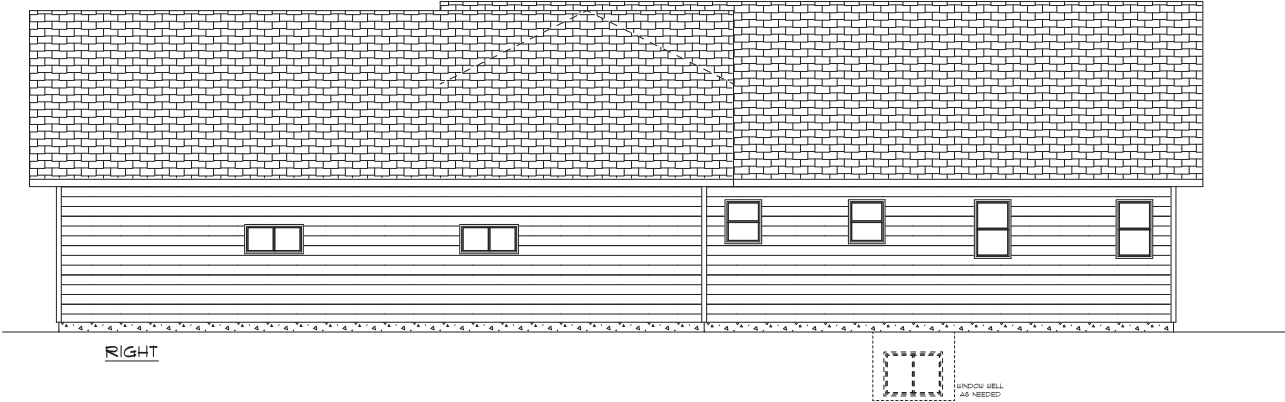
None

In summary, the proposal is consistent with the surrounding neighborhood and community. Additionally, it maintains an inviting community-oriented façade while meeting the garage needs of the applicant. Based on the above review and findings, staff is recommending approval of the special exception request to allow a 1,268 square foot garage or 71 percent of the ground floor living area exceeding the 50 percent maximum allowed.

ELEVATIONS SHOWN, ARE FOR ILLUSTRATION ONLY.
DOOR AND WINDOW STYLE WILL REFLECT HOMEOWNERS
SPECIFIC PRODUCT SELECTION.
FINISH GRADE TO BE DETERMINED ON SITE.
BUILDER'S INDIVIDUAL STYLE AND CREATIVITY
MAY ALTER VIEW OF THESE ELEVATIONS.



VERIFY GRADE ON SITE
ALL OVER HANGS TO BE 24"
UNLESS SPECIFIED AS OTHER
VINYL & CULTURED STONE
EXTERIOR WALL FINISH AS SHOWN



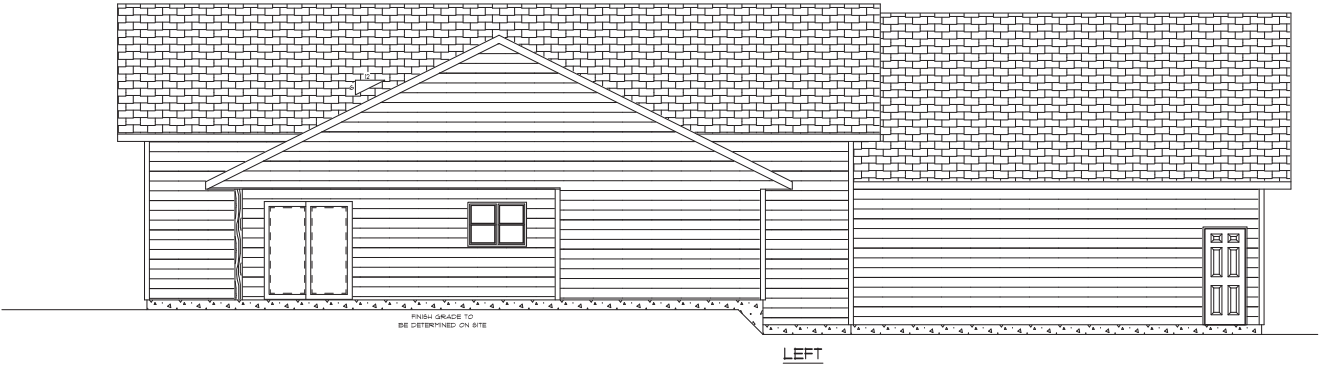
ATTENTION BUILDER
BUILDER IS TO VERIFY THAT ALL PROPOSED DESIGN CONDITIONS COMPLY WITH AREA CODES AND REGULATIONS PRIOR TO CONSTRUCTION.
FINAL ENGINEERING SPECIFICATIONS MUST BE APPROVED BY THE BUILDER.
ALL DIMENSIONS MUST BE CHECKED. ALL WINDOWS AND DOOR SIZES MUST BE CHECKED FOR SPECIFIC WINDOW COMPANIES ROUGH OPENING SIZES.
ALL BEAMS, CONCRETE SPECS, FOOTINGS, AND FLOOR SYSTEM SIZES MUST BE VERIFIED PRIOR TO CONSTRUCTION.
ANY CHANGES MADE AFTER THE REVISION DATE OR MADE ON SITE, IS THE BUILDERS/HOMEOWNERS RESPONSIBILITY.

SHEET TITLE ELEVATIONS	PROJECT POLUM RON & DIANE	SCALE 1/4" = 1'-0"	DESIGN BY K. BOTTENBEEK	REVISION 02/02/23	CUSTOM HOME DESIGNS 715-570-8210 SUBSIDIARY OF PNC, INC.
		PAGE # 1 OF 5	DATE 12/06/21		

ELEVATIONS SHOWN, ARE FOR ILLUSTRATION ONLY.
DOOR AND WINDOW STYLE WILL REFLECT HOMEOWNERS
SPECIFIC PRODUCT SELECTION.
FINISH GRADE TO BE DETERMINED ON SITE.
BUILDER'S INDIVIDUAL STYLE AND CREATIVITY
MAY ALTER VIEW OF THESE ELEVATIONS.



VERIFY GRADE ON SITE
ALL OVER HANGS TO BE 24"
UNLESS SPECIFIED AS OTHER
VINYL & CULTURED STONE
EXTERIOR WALL FINISH AS SHOWN

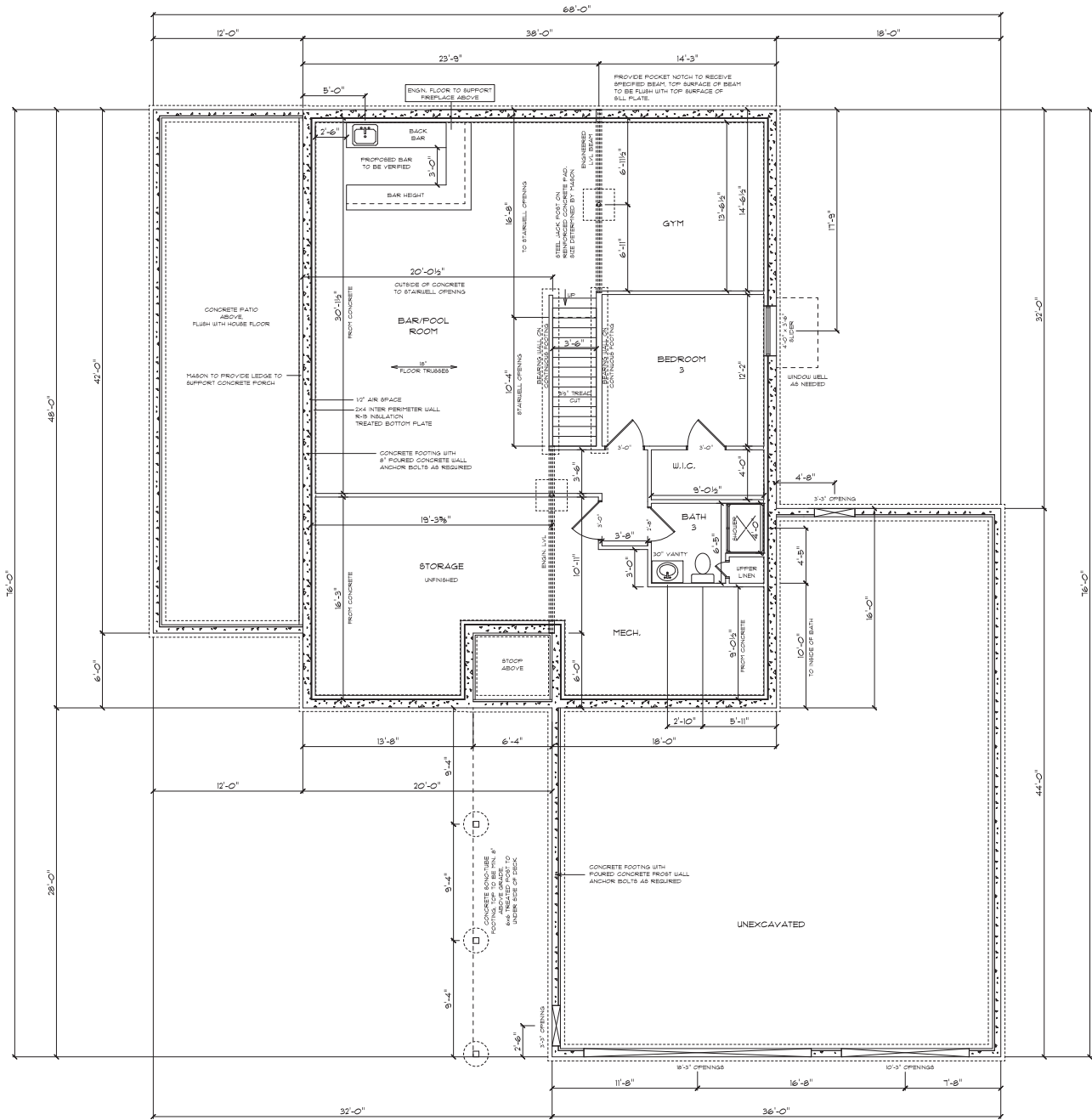


FINISH GRADE TO
BE DETERMINED ON SITE

ATTENTION BUILDER

BUILDER IS TO VERIFY THAT ALL PROPOSED DESIGN
CONDITIONS COMPLY WITH AREA CODES AND REGULATIONS
PRIOR TO CONSTRUCTION.
FINAL ENGINEERING SPECIFICATIONS MUST BE APPROVED BY
THE BUILDER.
ALL DIMENSIONS MUST BE CHECKED, ALL WINDOWS AND DOOR
SIZES MUST BE CHECKED FOR SPECIFIC WINDOW COMPANIES
ROUGH OPENING SIZES.
ALL BEAMS, CONCRETE SPECS, FOOTINGS, AND FLOOR SYSTEM
SIZES MUST BE VERIFIED PRIOR TO CONSTRUCTION.
ANY CHANGES MADE AFTER THE REVISION DATE OR MADE
ON SITE, IS THE BUILDER'S/HOMEOWNERS RESPONSIBILITY.

SHEET TITLE	PROJECT	CUSTOM HOME DESIGNS SUBSIDIARY OF H&C, INC. 715-570-8210
ELEVATIONS	POLUM RON & DIANE	REVISION DATE
SCALE: 1/4" = 1'-0"	PAGE # 2 OF 5	DRAWN BY K. BOTTENK DATE 12/06/21



STRUCTURE - FLOOR SYSTEM

THE ENGINEERED PRODUCT SUPPLIER SHALL BE RESPONSIBLE FOR VERIFYING THE PROPOSED FLOOR SYSTEM LAYOUT INCLUDING REQUIRED TRIM OR JOIST SIZE SUPPORTING BEAM SIZE SUPPORTING WALL LOCATION, AND POST SIZE AND LOCATIONS.

ENGINEERS TO SPEC. ALL HEADER SIZES AS NEEDED

STRUCTURE - ROOF SYSTEM
THE TRUSS SUPPLIER SHALL BE RESPONSIBLE FOR DESIGNING AND PROVIDING THE ROOF SYSTEM LAYOUT. ENGINEERING IS TO VERIFY PLAN SPECIFICATIONS AND NOTIFY DESIGNER/CONTRACTOR OF NECESSARY ALTERATIONS.

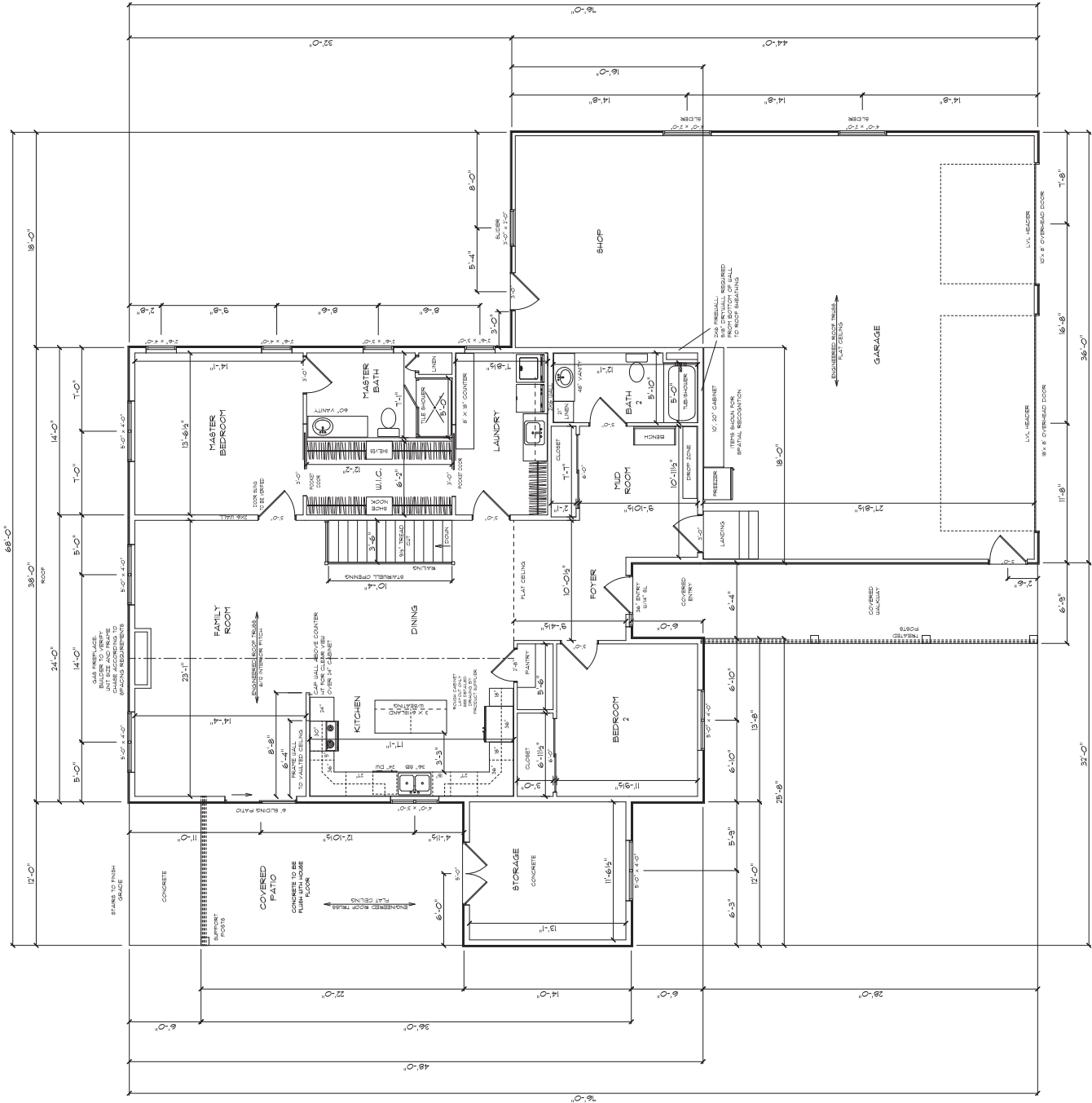
ATTENTION:

WINDOW BRAND HAS NOT BEEN DETERMINED.
SIZES SHOWN ARE APPROXIMATE ONLY.
BEFORE CONSTRUCTION BEGINS, BUILDER/HOMEOWNER
SHALL SELECT A SUPPLIER AND
ORDER APPROPRIATE SIZES PER BRAND AVAILABILITY.

SQUARE FOOTAGE

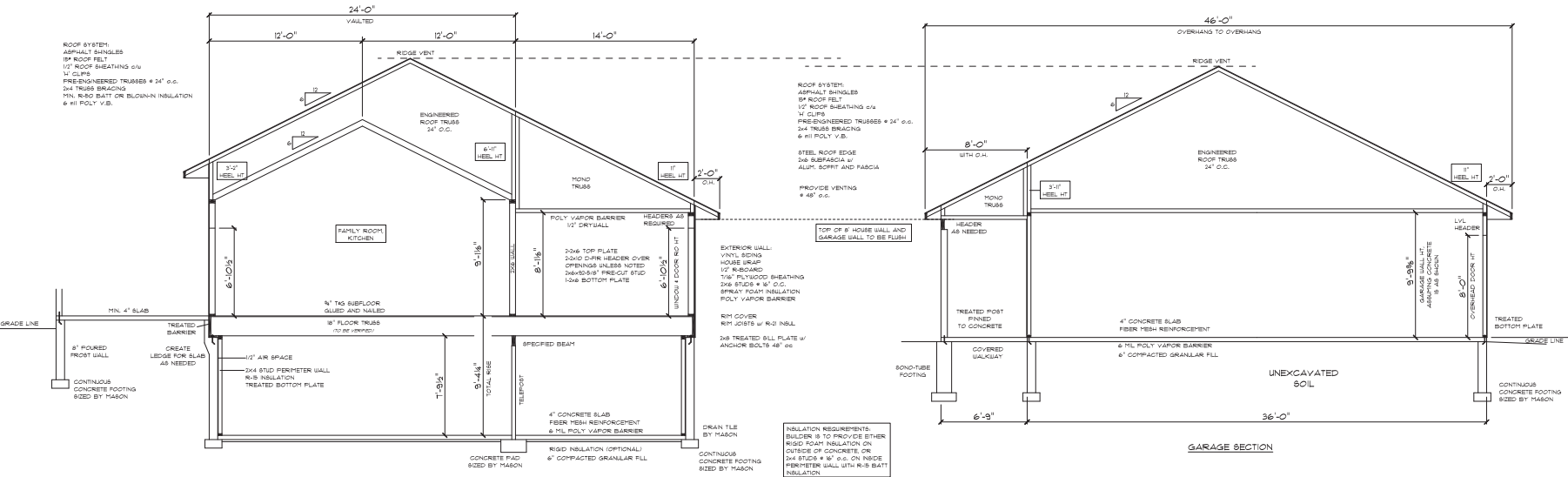
TOTAL.....1,786 SQ. FT.

ATTENTION BUILDER



TRUSS COMPANY SPEC'S TAKE PRECEDENTS OVER THIS DRAWING. THE BUILDER IS TO FOLLOW ALL SPECIFICATIONS SUPPLIED BY THE TRUSS COMPANY AND IS TO VERIFY RECOMMENDED POST SPACING, TRUSS SPACING AND BEAM SIZING; DETERMINED DURING FINAL ENGINEERING.

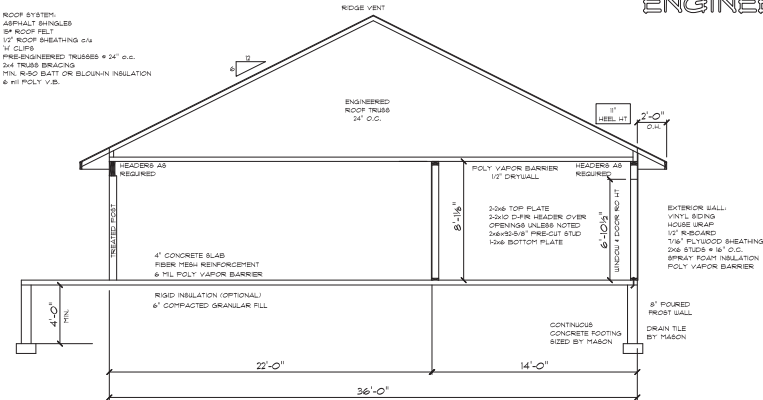
ENGINEERED TRUSS SPECIFICATIONS AND ROOF LAYOUT PAGE PER PRODUCT MANUFACTURER (SUPPLIED BY OTHER)



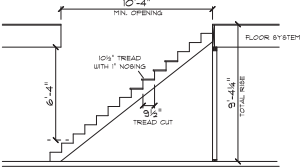
VAULTED SECTION

GARAGE SECTION

PRELIMINARY,
BUILDER IS TO VERIFY
ENGINEERED COMPONENTS.



STORAGE ROOM
& COVERED PORCH SECTION

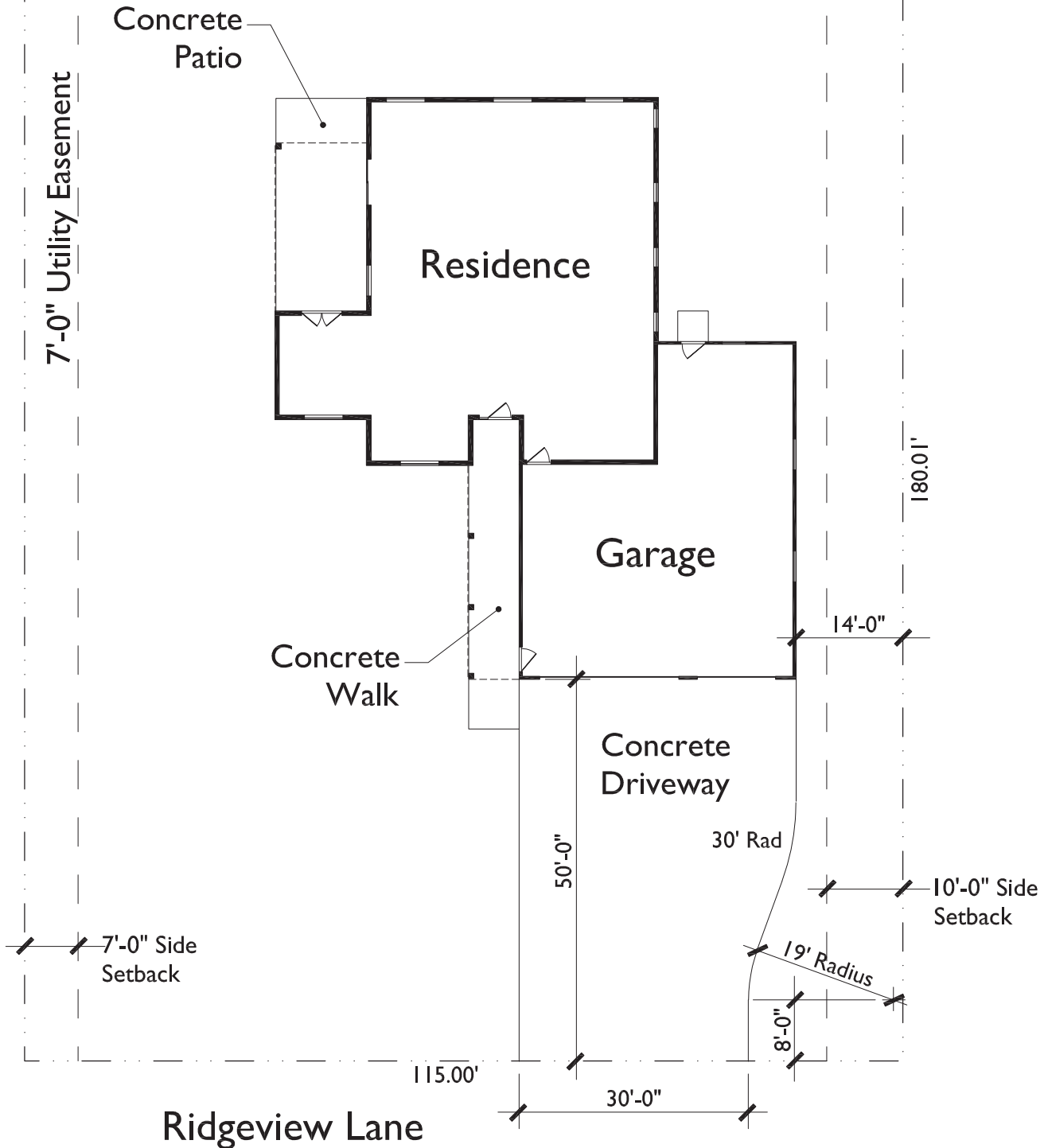
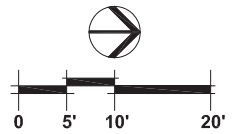


STRUCTURE - FLOOR SYSTEM
THE ENGINEERED PRODUCT SUPPLIER SHALL BE RESPONSIBLE FOR VERIFYING THE PROPOSED FLOOR SYSTEM LAYOUT, INCLUDING REQUIRED TRUSS OR JOIST SIZE, SUPPORTING BEAM SIZE, SUPPORTING WALL LOCATION, AND POST SIZE AND LOCATIONS.
ENGINEERING TO SPEC. ALL HEADER SIZES AS REQUIRED

STRUCTURE - ROOF SYSTEM
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PROJECT POLUM RON & DIANE	SCALE: 1/4" = 1'-0"		CUSTOM HOME DESIGNS MEMORIAL OF WYOMING	
	PAGE # 5 OF 5		715-570-8210	
	DRAWN BY: K. BOTTENBERG		REVISIONS	
	DATE: 12/26/21		7/25/21 08/2/23	



SHEET TITLE	PROJECT	SCALE: 1" = 20'	DRAWN: RLS	REVISION
Site Plan	Polum Residence	SHEET 1 OF 1	DATE: 06/05/23	



Special Exception

City of Wisconsin Rapids, Wisconsin

Version: January 3, 2019

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: Upon written petition, the Planning Commission may, on a case-by-case basis, grant a special exception for those development standards specifically noted as special exceptions in the zoning code. (See section 3 of this application for a listing). In making its decision, the Planning Commission must consider a variety of factors. General evaluation criteria apply to all special exceptions and special evaluation criteria may also apply.

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

Application fee: \$75.00

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Office Use Only

Date Received 6/19/23
Received By CE
Fee \$75.00
Case # 23-000516
Aldermanic District 8 Bernice
Plan Commission Date 6/17/23

1. Applicant information

Applicant name Ben & Diane Polum
Street address 3450 3rd St SE
City, state, zip code Wis Rapids, WI 54494
Daytime telephone number 715-423-4477
Email rdpolum@wetc.net

2. Agent contact information

Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

Agent 1	Agent 2
Name	
Company	
Street address	
City, state, zip code	
Daytime telephone number	
Email	

3. Type of special exception. Select the special exception you are requesting.

- ☐ s. 11.06.35 Allow removal of a principal building, while retaining the accessory building
- ☐ s. 11.06.108 Allow spires, steeples, copulas, and chimneys on institutional, commercial, and industrial buildings
- ☐ s. 11.06.108 Allow roof-mounted solar systems that exceed building height limitations
- ☐ s. 11.06.117 Allow accessory building in front of principal building
- ☐ s. 11.06.118 Allow a greater amount of parking in front of a building in the B-2 and B-3 districts
- ☐ s. 11.06.203 Allow overhead doors to face a public street (Architectural Review)
- ☐ s. 11.17.03 Allow a lesser standard for parking requirements
- ☐ s. 11.17.03 Allow more parking than what is required
- ☐ s. 11.18.43 Allow more outdoor lighting when needed to ensure public safety
- ☐ Appendix B (3.07) Allow the use of other exterior building materials on a single-family residence

- ☐ Appendix B (17.14) Allow a deviation from standards for a home occupation when operator has a temporary or permanent disability
- ☐ Appendix B (17.27) Allow a free-standing solar energy system to extend into a setback when no other location on the parcel is acceptable
- ☐ Appendix B (17.27) Allow a free-standing solar energy system to be located in the front yard when no other location on the parcel is acceptable
- ☐ Appendix C (M-1 & M-2 Districts) Allow an increase in building height

4. Subject property information

Physical address

4410 Ridgeview Lane, Wis Rapids

Parcel number(s)

3414540

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

- ☒ No
☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

- ☒ No
☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Evaluation criteria The factors listed below will be used in evaluating this application. Your responses are important.

1. The size of the property in comparison to other properties in the area.

Properties in the area range from .475 acre to .76 acre with the average .55 acre. With ours just below average, it is still of sufficient size to support an attractive, compatible structure to the neighborhood.

2. The extent to which the issuance of the special exception would be in keeping with the overall intent of the zoning code.

It will make for an attractive building and driveway that conforms to the appearance of other properties in the area.

3. Whether there are any unique circumstances and the nature of those circumstances that warrant the issuance of the special exception.

The covenant & restrictions does not allow for any detached buildings; such as a storage shed or workshop area.

4. The nature and extent of anticipated impacts to the natural environment that could potentially occur if the special exception was granted.

None

5. The nature and extent of anticipated positive and negative effects on properties in the area.

The proposed building will conform to the looks of the properties, whereas a detached building and an additional driveway would be an eyesore.

6. Actions the applicant will undertake to mitigate the negative effects, if any, of the proposed special exception.

It will be roofed and sided to blend inconspicuously with the rest of the building and other properties within the area.

7. A factor specifically listed under a section of this chapter authorizing the issuance of a special exception.

The use of part of the 900 ft detached Building allowance to apply to the attached garage/workshop as per code S.11.06.112.

8. Any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.

6. Attachments List any attachments included with your application.

1. Front and Right Side of Building
2. Rear of Building

7. Other information You may provide any other information you feel is relevant to the review of your application.

We have lived in our current house for 35 years and the new house will be our forever home. We would like our structure to conform positively with the rest of the community.

8. Mandatory meeting with staff

When did you meet with the Community Development Director?

June 2023

Month/year

9. Applicant certification

- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Ronald L Polun
Name - print

Ronald L Polun
Name - Signature

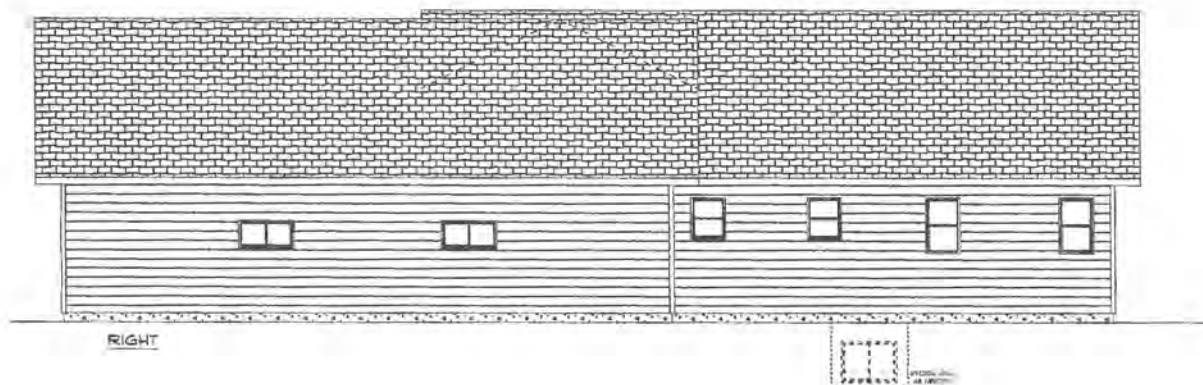
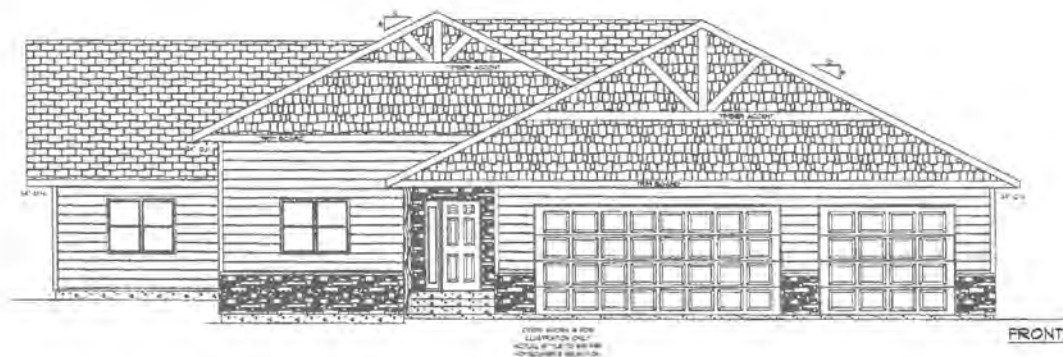
06-18-2023
Date

Diane Y Polun
Name - print

Diane Y Polun
Name - Signature

06-18-2023
Date

ELEVATIONS SHOWN ARE FOR ILLUSTRATION ONLY.
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ATTENTION BUILDER

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COORDINATES COMPLY WITH AREA CODES AND REGULATIONS
APPLICABLE TO CONSTRUCTION.
FINAL DIMENSIONS SPECIFICATIONS MUST BE APPROVED BY
THE BUILDER.
ALL DIMENSIONS MUST BE CHECKED. ALL WINDOWS AND DOORS
MUST BE CHECKED FOR PROPER PRODUCT SELECTION
BEFORE ORDERING.
ALL FINISHES (CONCRETE, STONE, POOLING, AND FLOORING) MUST
BE VERIFIED PRIOR TO CONSTRUCTION.
ANY CHANGES MADE AFTER THE REVISION DATE ON THIS
ON SITE IS THE BUILDER'S RESPONSIBILITY.

CUSTOM HOME DESIGNS 715-571-8210	OWNER'S DATE DESIGNER'S DATE	SCALE: 1/4" = 1'-0"	PAGE: 1 OF 4	PROJECT POLYMER RICH & DIANE	ELEVATIONS

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UNLESS SPECIFIED AS OTHER
VINYL 4 CULTURED STONE
EXTERIOR WALL FINISH AS SHOWN



FINISH GRADE TO
BE DETERMINED ON SITE

LEFT

ATTENTION BUILDER

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CONDITIONS COMPLY WITH AREA CODES AND REGULATIONS
PRIOR TO CONSTRUCTION.
PAUL, END, REMAIN SPECIFICATIONS MUST BE APPROVED BY
THE BUILDER.
ALL DIMENSIONS MUST BE CHECKED. ALL WINDOWS AND DOORS
MUST BE CHECKED FOR PROPER FIT AND OPERATION.
BEFORE INSTALLING.
ALL FRAMES, CONCRETE, BRICK, ROOFING, AND FLOOR FINISHES
MUST BE VERIFIED PRIOR TO CONSTRUCTION.
ANY CHANGES MADE AFTER THE REVIEW DATE OR PLACE
ON SITE IS THE BUILDER'S RESPONSIBILITY.

SHEET 001	ELEVATIONS	PROJECT COLLUM RON & DIANE	SCALE: 1/4" = 1'-0" PAGE 2 OF 5	OWNER: RYAN L. BORTONDAK JAN 2023	DESIGNED DATE 09-05-23	CUSTOM HOME DESIGNS 715-579-0211	
						ADDRESS: 1414 E. 14TH ST. N. W.	

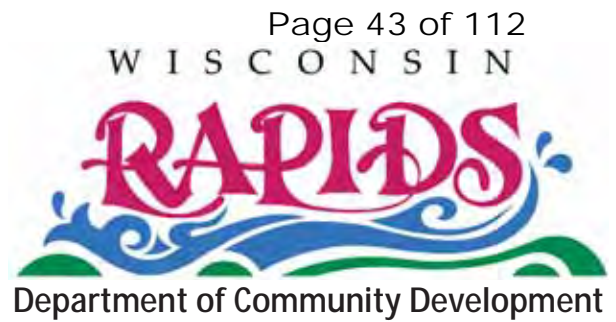
Administrative Staff Report

Marshfield Clinic

Site Plan Review Amendment

220 & 440 24th Street South

August 1, 2023



<p>Applicant(s):</p> <ul style="list-style-type: none"> Marshfield Clinic Health System <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns, Director Carrie Edmondson, Associate Planner <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3410784 <p>Lot Information:</p> <ul style="list-style-type: none"> Effective Frontage: 170 feet Effective Depth: 520 feet Square Footage: 439,085 Acreage: 10.080 Acres <p>Zone(s):</p> <ul style="list-style-type: none"> "B-5" Mixed-Use Commercial District <p>Council District:</p> <ul style="list-style-type: none"> District 6 <p>Master Plan:</p> <ul style="list-style-type: none"> Commercial <p>Current Use:</p> <ul style="list-style-type: none"> Health Care Center and Clinic <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 – Zoning Woodlands Business Center Protective Covenants 	<p>Request</p> <p>23-000658; Marshfield Clinic – request for an amendment to a previous Site Plan Review to modify the site configuration at 220 & 440 24th Street South (Parcel ID 3410784).</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Application Site Plan <p>Findings of Fact</p> <ol style="list-style-type: none"> The Site Plan and Architectural Review for the new Marshfield Clinic Health System hospital facility (health care center) was approved in February 2022. The project is nearly completed, although a Certificate of Occupancy has not yet been issued. The property is zoned "B-5" General Commercial District and health care center is a permitted use in the district. There is a proposed amendment to site configuration to add a 625 square foot helicopter emergency landing spot and enlarge the MRI pad. An amendment to the plan of operation (PO) and site plan (SP) are required. <p>Staff Recommendation</p> <p>Approve the request for an amendment to a previous Site Plan Review to modify the site configuration at 220 & 440 24th Street South (Parcel ID 3410784), subject to the following condition(s):</p> <ol style="list-style-type: none"> Applicable permits through the City shall be obtained. Community development staff shall have the authority to approve minor modifications to the plans.
---	---

Vicinity Map



Background

Marshfield Clinic Health System (MCHS) was granted a Conditional Use Permit to construct a medical clinic on this parcel within the Woodlands Business Park in 2002. The 2002 conditional use permit was for a 32,000 square foot two-story medical clinic, research, and education facility. The clinic has been operating successfully since that time. A Site Plan and Architectural review was approved in February of 2022, to construct a second principal structure on the property for an 18,000 square foot hospital facility to include an emergency department, inpatient services, and small laboratory and diagnostics. The hospital project is near completion. Due to operational considerations, MCHS has decided to include capability for helicopter services, and adjust the MRI parking pad. Furthermore, proposed changes to the main drive aisle from 2022 will not be pursued and will remain in its existing form. The emergency helicopter landing area is 25' x 25' and the MRI pad changes are very minor. Therefore, a site plan review amendment has been submitted to account for these changes.

Standards of review for the Site Plan Amendment are described in greater detail below.

4) Parking

Analysis: The original design included a total number of 209 proposed parking stalls. This included 109 stalls in addition to those outlined in the original conditional use permit approval in 2002.

Findings: The required amount of parking is based upon the number of patient beds, the number of employees, and the number of doctors. The proposed site modifications do not create any change in parking requirements.

5) Landscaping

Analysis: With the construction of a principal structure, the zoning code outlines requirements for street frontage landscaping, building foundation landscaping, and parking lot landscaping. In addition, the Woodland Business Center Protective Covenants require that all setback areas be considered tree preservation zones. Much of the increased impervious surface from the previous approval is due to maintaining the exists access drive aisle, which would not trigger additional landscaping. However, the MRI parking pad expansion and helicopter pad may trigger additional landscaping.

- **Parking lot landscaping:** With the expanded areas, approximately 585 landscape points are required. The original landscaping plan identifies 741 landscape points, meeting this requirement.

Findings: The applicant submitted an updated landscaping plan prior, which exceeded the new required parking lot landscaping amount. This standard is met.

6) Architectural Review

Analysis: No changes to the building are proposed.

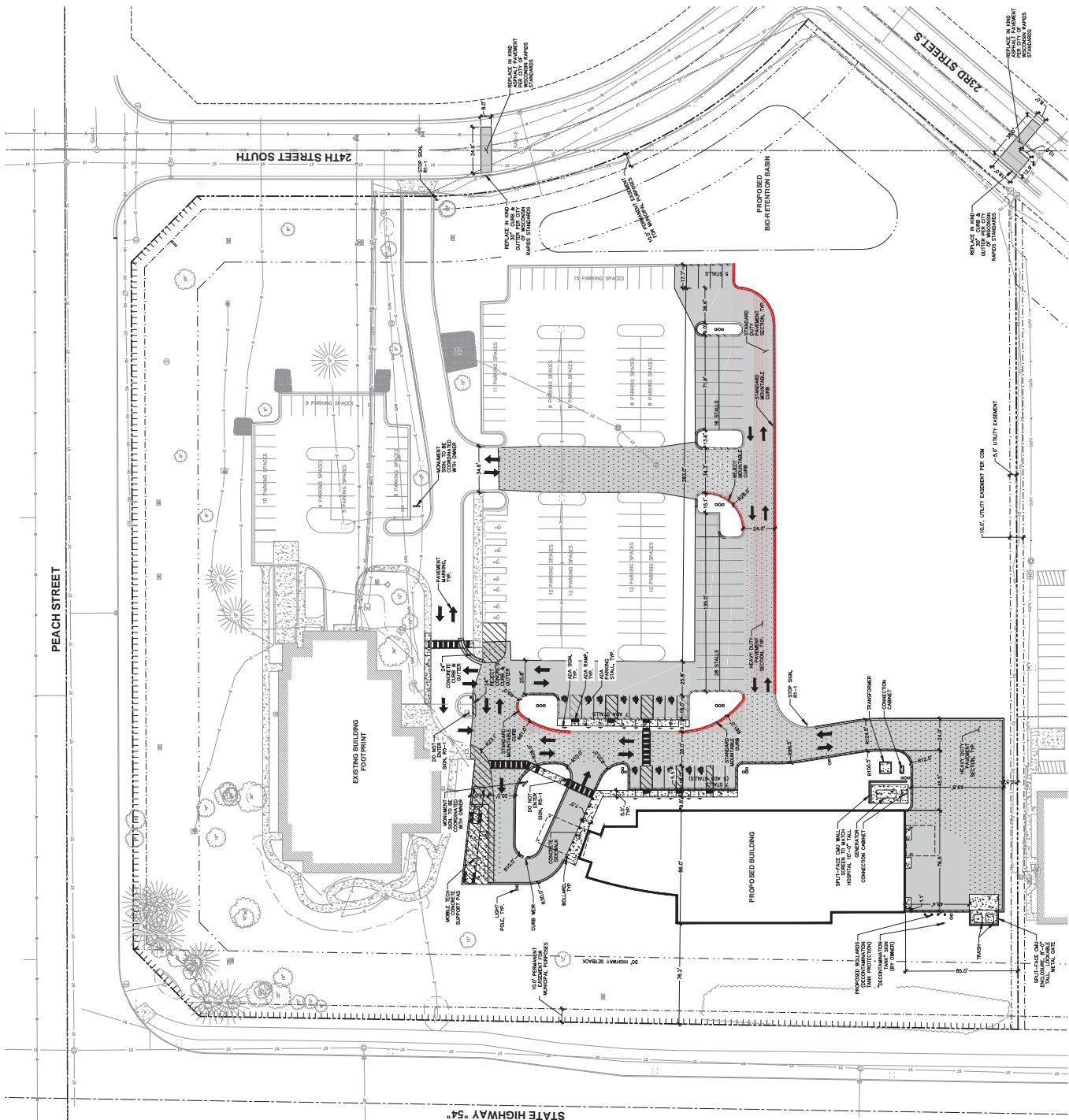
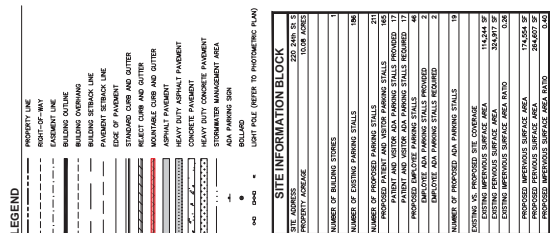
Findings: No architectural review is required.

7) Lighting & Photometric Plan

Analysis: No changes to lighting are proposed.

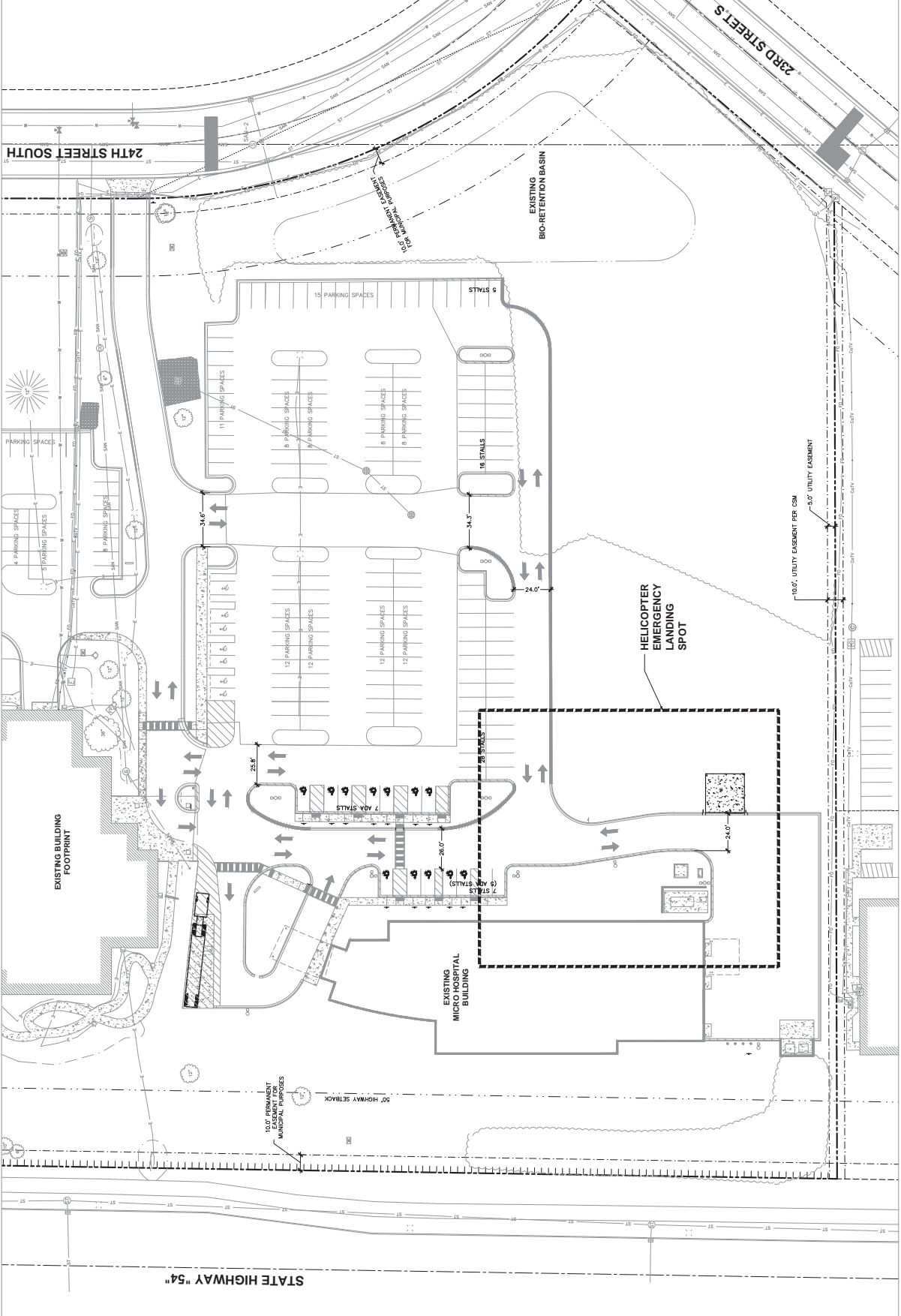
Findings: N/A

In summary, the proposed site modifications meet development standards as well as a greater community need. The proposal creates a marginal increase in impervious area but is still well under the required maximum. The appropriate City departments have had the opportunity to review the proposal and have found no concerns. Know that some building code requirements exist regarding helipads, primarily related to those on buildings, which shall be met. Additionally, the Wisconsin Department of Health Services has review jurisdiction over hospitals and may have review authority for an accessory helipad as well. Therefore, staff would recommend approval of the amendment to the original Site Plan Review, subject to the items mentioned above and summarized on page one of the staff report.



SITE INFORMATION BLOCK	
SITE ADDRESS	440 24th St
PROPERTY ACREAGE	10.08 ACRES
NUMBER OF BUILDING STORIES	
NUMBER OF EXISTING PARKING STALLS	166
NUMBER OF PROPOSED PARKING STALLS	211
PROPOSED PATIENT AND VISITOR PARKING STALLS	165
PATIENT AND VISITOR ADA PARKING STALLS PROVIDED	17
PATIENT AND VISITOR ADA PARKING STALLS REQUIRED	17
PROPOSED EMPLOYEE AND SERVICE STALLS	44
PROPOSED EMPLOYEE AND SERVICE ADA PARKING STALLS PROVIDED	2
PROPOSED EMPLOYEE AND SERVICE ADA PARKING STALLS REQUIRED	2
NUMBER OF PROPOSED ADA PARKING STALLS	19
EXISTING 15' PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	114,241 SF
EXISTING PERVIOUS SURFACE AREA	25,871 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.81
PROPOSED IMPERVIOUS SURFACE AREA	174,554 SF
PROPOSED PERVIOUS SURFACE AREA	26,602 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.86

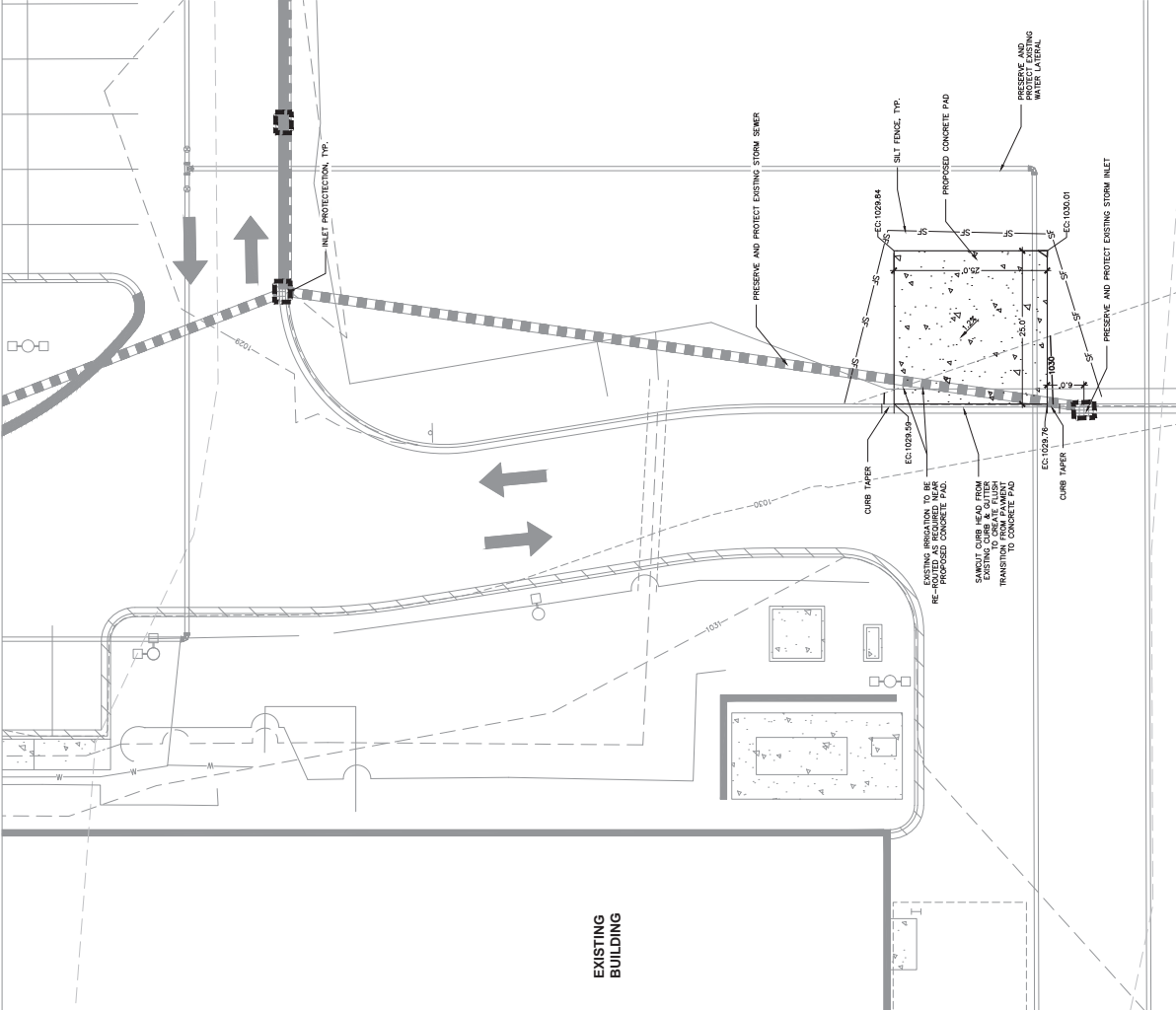
- LEGEND**
- PROPERTY LINE
 - RIGHT-OF-WAY
 - EASEMENT LINE
 - BUILDING OUTLINE
 - BUILDING OVERHANG
 - PARKING SETBACK LINE
 - EDGE OF PAVEMENT
 - STANDARD CURB AND GUTTER
 - REJECT CURB AND GUTTER
 - MOUNTABLE CURB AND GUTTER
 - CONCRETE PAVEMENT
 - STORMWATER MANAGEMENT AREA
 - ADA PARKING SIGN
 - BOLLARD
 - LIGHT POLE (REFER TO PHOTOGRAPHIC PLAN)



PROJECT DIAMOND
WISCONSIN RAPIDS, WI
OVERALL SITE PLAN

DATE: 07.24.2023





6" PORTLAND CEMENT CONCRETE
DEATH AIR ENTANGLEMENT
STRENGTH: 4,000 PSI
WEIGHT: 142.9 PCF

6" FENCE AGGREGATE
BASE AND SUB PAD 30S
- 1 1/2"

CONCRETE PAD SECTION

N.T.S.

PAVEMENT SECTIONS

N.T.S.

GENERAL NOTES:

1. MAJOR STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, SECTION 301.3.4.2, STANDARD COMPACTION.

EXISTING CURB & GUTTER
SAW CUT & REMOVE
CURB FILL

SAW CUT

PLAN

SECTION

CURB SAWCUT

N.T.S.

REV. 1-10-2022

- GENERAL NOTES**

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.

2. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- PAVING NOTES**

1. **GENERAL**

1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF WISCONSIN ORDINANCES.

1.2. ALL PAVING DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.

1.3. SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT REPAIR SURFACING UNTIL DEFECT SURFACE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.

2. **CONCRETE PAVING SPECIFICATIONS**

2.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.

2.2. CURING COMPOUND SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.

2.3. CONCRETE SHALL BE PLACED AND FINISHED TO THE CORRECT THICKNESS AND JOINTS SHALL BE PLACED AT MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.

2.4. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.

2.5. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TH-28UV CONCRETE SEALANT PER MANUFACTURER'S INSTRUCTIONS.

DESIGN PROPOSES THE ADDITION OF A CONCRETE HELICOPTER LANDING SPOT AND STORM SEWER AT THE INTERSECTION OF WISCONSIN HIGHWAY 103 AND WISCONSIN HIGHWAY 103. THE DESIGN WAS PREPARED FOR THE CITY OF WISCONSIN AND APPROVED BY THE CITY OF WISCONSIN. THE DESIGN IS NOT DESIGNED FOR CONSTRUCTION UNTIL APPROVED BY THE CITY OF WISCONSIN. THE DESIGN IS NOT DESIGNED FOR CONSTRUCTION UNTIL APPROVED BY THE CITY OF WISCONSIN.

LEGEND

PROPERTY LINE

RIGHT-OF-WAY

EASEMENT LINE

EDGE OF PAVEMENT

CONCRETE PAVEMENT

PROPOSED 1 FOOT CONTOUR

PROPOSED 5 FOOT CONTOUR

EXISTING 1 FOOT CONTOUR

EXISTING 5 FOOT CONTOUR

DRAINAGE DIRECTION

SILT FENCE

SPOT ELEVATION

EC - EDGE OF CONCRETE

DITCH CHECK

INLET PROTECTION



Site Plan & Plan of Operation Application

City of Wisconsin Rapids, Wisconsin

Version: January 3, 2019

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The Planning Commission reviews site plans and plans of operation for those land uses specifically requiring such review as listed in the land-use matrix (Appendix A of the zoning code).

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

Application fee: \$175.00 for new; \$125.00 for amendment of prior approval

Note: Site plan/plan of operation review and architectural review can be combined into one application fee.

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Office Use Only

Date Received 7/24/23
Received By CE
Fee \$125.00
Case # 23-000658
Aldermanic District 6-Polach
Plan Commission Date 8/1/23

1. Applicant information

Applicant name James Lynn
Street address 1000 N. Oak Avenue
City, state, zip code Marshfield, Wisconsin 54449
Daytime telephone number _____
Email lynn.james@marshfieldclinic.org

2. Agent contact information

Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	<u>Agent 1</u>	<u>Agent 2</u>
Name	<u>Justin Frahm</u>	_____
Company	<u>JSD Professional Services</u>	_____
Street address	<u>7402 Stone Ridge Drive, Suite 4</u>	_____
City, state, zip code	<u>Weston, Wisconsin 54476</u>	_____
Daytime telephone number	<u>(715) 298 - 6330</u>	_____
Email	<u>justin.frahm@jsdinc.com</u>	_____

3. Type of application (check all that apply)

- ☒ Site plan Complete Part A, B and D
- ☐ Plan of operation Complete Part A, C and D
- ☒ New project
- ☐ Amendment of prior approval (if any)

If an amendment, the date of last approval (if any): _____

Part A. About the Property

4. Subject property information

Physical address 220 & 440 24th Street South , Wisconsin Rapids, WI

Parcel number(s) 3410784

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

☒ No

☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

☒ No

☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> RR Rural Residential | <input type="checkbox"/> R-8 Manufactured Home Park | <input type="checkbox"/> M-1 General Industrial |
| <input type="checkbox"/> R-1 Single-family Residential | <input type="checkbox"/> B-1 Downtown Commercial | <input type="checkbox"/> M-2 Heavy Industrial |
| <input type="checkbox"/> R-2 Mixed Residential | <input type="checkbox"/> B-2 General Commercial | <input type="checkbox"/> I-1 Institutional |
| <input type="checkbox"/> R-3 Multi-family Medium Density Residential | <input type="checkbox"/> B-3 Neighborhood Commercial | <input type="checkbox"/> P-1 Park and Recreation |
| <input type="checkbox"/> R-4 Multi-family High Density Residential | <input checked="" type="checkbox"/> B-5 Mixed Use Commercial | <input type="checkbox"/> C-1 Conservancy |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Planned Development (PDD) | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Floodplain |
| <input type="checkbox"/> Downtown Design | <input type="checkbox"/> Shoreland-Wetland | <input type="checkbox"/> Wellhead Protection |

Part B. Site Plan (See the standards and requirements in Division 6 of Article 6.)

6. Building type. Which of the following building types best describes the building?

- | | | |
|---|-------------------------------------|--|
| <input type="checkbox"/> Townhouse | <input type="checkbox"/> Commercial | <input type="checkbox"/> Industrial |
| <input type="checkbox"/> Multi-family | <input type="checkbox"/> Work/live | <input type="checkbox"/> Parking structure |
| <input checked="" type="checkbox"/> Institutional | | |

Please refer to Appendix D for any design requirements that may apply.

7. Encroachments.

Aside from driveways connecting to the street, will any part of the proposed project encroach into a public right-of-way?

- ☒ No
☐ Yes

If yes, please explain.

8. Site parameters (area in square feet or acres)

Subject property	439,161
Building coverage	36,256
Outdoor storage	0
Stormwater facilities	17,910
Impervious surfaces	175179
Landscaping and other undeveloped areas	263982
Wetlands	0
100-year floodplain	0

Impervious surfaces include buildings, parking areas and driveways, sidewalks, decks, patios, and other types of 'hard' surfaces.

Attach appropriate documentation if there are any wetlands.

9. Street access

Name	New Access	Change to Existing Access	No Change to Existing Access
24th Street South	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

10. Traffic generation

Will the proposed project create 500 trips per day or more?

- ☐ No
☐ Yes Attach a traffic impact report to this application. See s. 11.06.151 of the zoning code for additional details.

Will the proposed project create 300 trips per day or more, but less than 500?

- ☐ No
☐ Yes The city may require a traffic impact report as described in s. 11.06.151 of the zoning code. Please contact the Community Development Department for further guidance.

11. Parking (See the standards and requirements in Article 17 of the zoning code.)

Minimum number of required spaces	21
186 Existing Stalls	
Proposed number of spaces	209
ADA van accessible spaces	18

See Appendix B of the zoning code for parking requirements for the proposed land use(s).

If the number of proposed spaces exceeds what is required by more than 15 percent, the Planning Commission may grant a special exception to allow oversized parking areas. (See s. 11.17.03(r) of the zoning code.)

For hospital

Other ADA accessible spaces	<u>0</u>	
Number of electric charging stations (if any)	<u>0</u>	Charging stations are not required, but are recommended.
Bicycle parking spaces	<u>0</u>	Bike parking is not required, but is recommended. (See s. 11.17.06 of the zoning code.)
Number of spaces in front of the building	<u>6</u>	The number of spaces in front of the building may be limited depending on the zoning district. (See Appendix C of the zoning code.)
Number of spaces on the side(s) of the building	<u>0</u>	
Number of spaces to the rear of the building	<u>0</u>	

12. Outdoor lighting (See the standards and requirements in Article 18 of the zoning code.)

	<u>Number of Fixtures</u>	<u>Lumens</u>
Building 1	<u> </u>	<u> </u>
Building 2	<u> </u>	<u> </u>
Building 3	<u> </u>	<u> </u>
Parking lot 1	<u> </u>	<u> </u>
Parking lot 2	<u> </u>	<u> </u>
Parking lot 3	<u> </u>	<u> </u>
Other	<u> </u>	<u> </u>
Other	<u> </u>	<u> </u>
Total	<u> </u>	<u> </u>

Maximum lighting levels at each property boundary line (in footcandles):

Attach a photometric plan to this application along with manufacturer's cut sheets for the different kinds of light fixtures.

Height of parking lot lights above grade (if any):

13. Fencing. Will the proposed project include fencing?

☒ No

☐ Yes (See Article 15 of the zoning code for the standards and requirements that apply.)

If yes, please describe and/or attach a fencing plan.

14. Stormwater. Describe how stormwater generated on the site will be handled.

See previous SWMP report.

15. Site plan. Attach a site plan drawn to scale with the following information to the extent it applies to the proposed project. The items with an asterisk are required. Check those elements that are included.

Background Project Information	Buildings and Outdoor Storage/Activity Areas	Transportation Facilities (existing and proposed)
<input checked="" type="checkbox"/> Project name*	<input checked="" type="checkbox"/> Existing and proposed	<input checked="" type="checkbox"/> Streets
<input checked="" type="checkbox"/> Applicant name*	<input type="checkbox"/> Existing within 50 feet of subject property	<input checked="" type="checkbox"/> Driveways and road access onto public and private roads
<input checked="" type="checkbox"/> Preparation date/revision*	Required Setbacks	<input checked="" type="checkbox"/> Sidewalks and trails
<input checked="" type="checkbox"/> Name of preparer*	<input checked="" type="checkbox"/> Yard setbacks (front, side, rear and shore)	<input type="checkbox"/> Fire lanes (i.e., fire apparatus access)
	<input type="checkbox"/> On-site septic systems	<input type="checkbox"/> Clear visibility triangles (location and dimensions)
Survey Information	<input type="checkbox"/> On-site wells and off-site wells within 10 feet of the perimeter of the subject property	
<input checked="" type="checkbox"/> North arrow and graphic scale*		On-Site Parking (existing and proposed)
<input checked="" type="checkbox"/> Address of subject property or legal description*	Landscaping Features (existing and proposed)	<input checked="" type="checkbox"/> Access aisles and parking spaces by size
<input checked="" type="checkbox"/> Property boundaries*	<input type="checkbox"/> Fences, buffers, and berms	<input checked="" type="checkbox"/> Location of accessible parking spaces
<input checked="" type="checkbox"/> Acreage of subject property*	<input checked="" type="checkbox"/> Pervious and impervious surfaces by type	<input checked="" type="checkbox"/> Location and specifications/dimensions for accessibility ramps
	<input type="checkbox"/> Site amenities (benches, fountains, etc.)	<input checked="" type="checkbox"/> Type and location of on-site parking signs and traffic control signs
Project Development Information	<input checked="" type="checkbox"/> Existing trees and other prominent vegetation	<input checked="" type="checkbox"/> Surface materials for parking lot (e.g., concrete, bituminous concrete, pavers)
<input checked="" type="checkbox"/> Land use summary table by density/intensity and acreage*	<input checked="" type="checkbox"/> Trees / shrubs to be planted, including a plant list and specs.	<input type="checkbox"/> Snow storage areas
<input checked="" type="checkbox"/> Easements/rights-of-ways (location, width, purpose, ownership)	Trees / shrubs to be retained	<input type="checkbox"/> Areas designated for queuing of vehicles for drive-through facilities (e.g., car washes, drive-up service windows, etc.)
<input type="checkbox"/> Common areas/conservancy areas (location, purpose, ownership)		<input checked="" type="checkbox"/> Pedestrian walks between the parking lot and the building
<input type="checkbox"/> Land to be dedicated to the public (boundaries, area, purpose)	Outdoor Lighting (existing and proposed)	<input checked="" type="checkbox"/> Designated areas of a parking area for pedestrian walks
	<input type="checkbox"/> Location	<input checked="" type="checkbox"/> Loading lanes and loading docks
Setting	<input type="checkbox"/> Fixture specifications	<input checked="" type="checkbox"/> Stormwater drainage
<input type="checkbox"/> Property boundaries within 50 feet of the subject property	Stormwater Facilities (existing and proposed)	<input checked="" type="checkbox"/> Distance between parking areas and adjoining properties if less than 20 feet
<input type="checkbox"/> Land uses within 50 feet of the subject property	<input checked="" type="checkbox"/> Location	<input type="checkbox"/> Areas designated for bicycle parking
<input type="checkbox"/> Zoning district boundaries within 50 feet of the subject property	<input checked="" type="checkbox"/> Specifications for each facility	
<input type="checkbox"/> Municipal boundaries within 50 feet of the subject property		
Site Features (existing and proposed)	Utilities (existing and proposed)	Signs (existing and proposed)
<input checked="" type="checkbox"/> Ground contours when slopes exceed 8 percent	<input checked="" type="checkbox"/> Location	<input checked="" type="checkbox"/> Location
<input type="checkbox"/> Wetlands	<input checked="" type="checkbox"/> Type (sewer, telephone, etc.) (buried or overhead, if applicable)	<input type="checkbox"/> Specifications for each sign including type, height, dimensions, lighting, and other factors considered during the review process
<input checked="" type="checkbox"/> Woodlands	<input checked="" type="checkbox"/> Size/capacity, if applicable	
<input type="checkbox"/> Wildlife habitat, including critical wildlife habitat		
<input type="checkbox"/> Environmentally sensitive features		
<input type="checkbox"/> Water resources (rivers, ponds, etc.) and ordinary high-water mark for navigable waters		
<input type="checkbox"/> Floodplain boundaries and elevations of the same		

Part C. Plan of Operation

16. Operating conditions

Hours of operation: _____

Estimated number of full-time employees

9

Estimated number of part-time employees

0

Maximum number of employees onsite at peak hours

9

Will the proposed business operation create any noise outside of the building?

No

Refer to s. 11.06.147 of the zoning code.

Will the proposed business operation create any emissions (e.g., fumes, smoke, steam, vapor, dust,) to the atmosphere?

No

Refer to s. 11.06.148 of the zoning code.

Will the proposed business operation create any vibrations outside of the building?

No

Refer to s. 11.06.149 of the zoning code.

Will the proposed business operation involve any explosives or other flammable materials?

Refer to s. 11.06.150 of the zoning code.

Will the proposed business operation involve any radioactive materials?

No

Will the proposed business operation create special needs for wastewater disposal?

Yes

Will the proposed business operation require unusually high levels of public water?

No

17. Licensing. What kind of federal, state, county or city licensees will be required to operate the proposed business?

Part D. Other

18. Attachments List any attachments included with your application.

Existing Conditions Survey

Approved Site Plan from previous CUP

Utility Plan Amendment

19. Other information You may provide any other information you feel is relevant to the review of your application.

20. Mandatory meeting with staff

When did you meet with the Community Development Director?

_____/_____/_____
Month/year

21. Applicant certification

- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

James Lynn

Name – print


James Lynn (7/24/2023 11:51 CDT)

Name – Signature

7/24/2023

Date

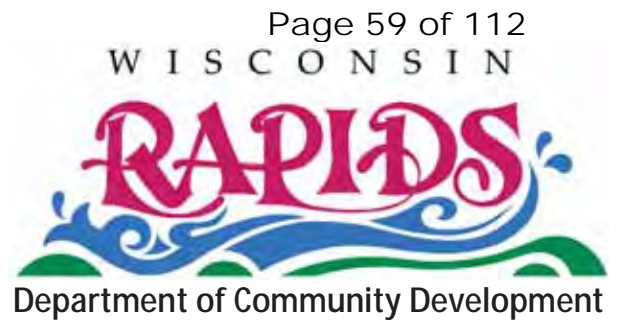
Name – print

Name – Signature

Date

Administrative Staff Report

Alternative Edge
Site Plan & Architectural Review
711 Peach Street
July 31, 2023



<p>Applicant(s):</p> <ul style="list-style-type: none"> Alternative Edge <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns, Community Development Director Carrie Edmondson, Associate Planner <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3407884 <p>Lot Information:</p> <ul style="list-style-type: none"> Effective Frontage: 59 feet Effective Depth: 120 feet Square Footage: 7,080 Acreage: 0.163 Acres <p>Zone(s):</p> <ul style="list-style-type: none"> General Commercial "B-2" District <p>Council District:</p> <ul style="list-style-type: none"> District 5 - Cattanach <p>Master Plan:</p> <ul style="list-style-type: none"> Commercial <p>Current Use:</p> <ul style="list-style-type: none"> Retail <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 - Zoning 	<p>Request</p> <p>23-000677; Alternative Edge - request for a Site Plan and Architectural Review to construct an accessory structure at 711 Peach Street (Parcel ID 3407884)</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Application Plans <p>Findings of Fact</p> <ol style="list-style-type: none"> The request is to construct an accessory building east of the principal building. The new structure is approximately 48 square feet (6 feet by 8 feet). The property is zoned General Commercial "B-2" District. Retail is permitted in the General Commercial "B-2" District. A nonresidential accessory building is permitted in the General Commercial "B-2" District. A building plan – architectural review (AR), site plan (SP), and zoning permit (ZP) are required. <p>Staff Recommendation</p> <p>Approve the request from to construct an accessory structure at 711 Peach Street (Parcel ID 3407884), subject to the following condition(s):</p> <ol style="list-style-type: none"> The accessory building shall be placed on a stable foundation and anchored appropriately, to be approved by the Community Development Department. Applicable permits through the City shall be obtained. Community Development Department staff shall have the authority to approve minor modifications to the plans.
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Vicinity Map



Site Photos



Background

The existing structure contains two commercial suites. The applicant operates a retail business from the first-floor suite. This request is for site plan and architectural review to construct a detached accessory structure to the east of the existing building, in the side yard. The existing business falls within the Retail sales, 10,000 square feet which is described in Chapter 11 – Zoning below:

8.02 Retail sales, 10,000 square feet or less

Description: *One or more establishments providing retail services in a single building with a floor area of 10,000 square feet or less.*

Vehicle Parking: *1 space for each 300 square feet of retail floor area*

Supplemental Standards:

(a) Negative use agreements. *All retail operations must comply with the prohibition of negative use agreements as set forth in s. 11.06.69.*

(b) Licensing. *Pawnbrokers, secondhand article dealers, and secondhand jewelry dealers must obtain a license from the city as set forth in Chapter 20 of the municipal code.*

Nonresidential accessory buildings are permitted in the General Commercial “B-2” District with a Site Plan Review and Architectural Review. In addition, the following supplemental standards apply:

17.01 Accessory building, nonresidential Description: *A building intended to house motor vehicles, yard equipment, and/or items related to the principal use of the premises. A detached building customarily found with a non-residential use as an accessory use. The term includes detached garages, storage sheds, and the like.*

Parking Requirements: *On-site parking is not required*

Supplemental Standards:

(a) Number and floor area. *The number of nonresidential accessory buildings and the floor area must comply with standards set forth in Appendix C.*

(b) Exterior materials. *Exterior materials for a nonresidential accessory building with a floor area of more than 192 square feet shall be the same as, substantially the same as, or complement those materials used on the principal building.*

(c) Prohibition on specific materials. *Soft-sided structures and canopies are specifically prohibited.*

(d) Rooflines. *The roof lines of a nonresidential accessory building with a floor area of more than 192 square feet shall match the roof lines of the principal building to the greatest practical extent.*

Additionally, accessory buildings must be located at least five feet behind the front face of a principal building. The accessory structure is proposed to be approximately 6 feet by 8 feet. The shed is prefabricated and is composed of outdoor resin (weather-resistant plastic). The purpose of the shed is to store materials needed for business operations.

Standards of review are analyzed in greater detail below.

Standards of Review

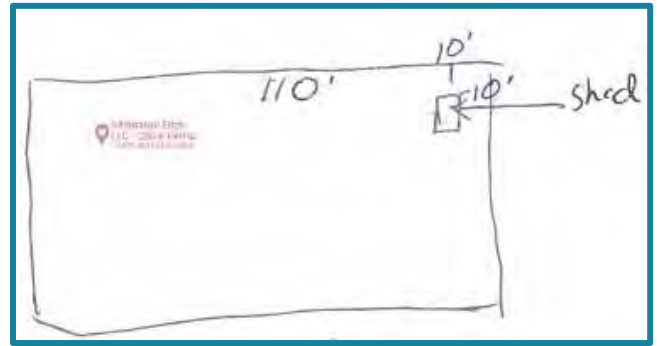
1) Use

Analysis: A retail business of 10,000 square feet or less is permitted within the General Commercial “B-2” Zoning District. The use is existing, and an accessory structure is proposed onsite.

Findings: Note that a building plan – architectural review (AR), site plan review (SP), and zoning permit (ZP) are required.

2) Dimensional Standards

Analysis: The proposed accessory building is proposed within a permeable area east of the existing building and meets setbacks. The building coverage ratio is 19 percent (60 percent maximum allowed), and the existing impervious surface ratio is approximately 37 percent (80 percent maximum allowed). The proposed accessory structure will bring the building coverage ratio to 20 percent and the impervious surface ratio will remain under 37 percent. The height is 7 feet 2 inches.



Findings: All dimensional requirements are well met with the addition of the accessory structure. In addition, there is ample green space on the lot.

3) Ingress/Egress

Analysis: The site is accessed by one point of ingress and egress from Peach Street. The accessory structure would have no impact on site access.

Findings: The proposed accessory structure would have minimal impact to site access.

4) Parking

Not applicable

5) Landscaping

Not applicable.

6) Architectural Review

Analysis: Elevations have not been submitted. The building will be prefabricated and consist of outdoor resin (weather-resistant plastic).



Findings: The accessory building is very small and has the appearance of a typical storage shed. Chapter 11 – Zoning requires that accessory buildings with a floor area of more than 192 square feet contain exterior materials that are the same as, substantially the same as, or complementary to those materials used on the principal building. Because this building is well below that, these standards do not apply.

7) Lighting & Photometric Plan

Not applicable, as not lighting is proposed.

In summary, the proposed accessory building is suitable for the proposed business both in terms of use and appearance. Furthermore, the structure is proposed in the side yard, well beyond the front face of the principal building. However, it is required to be on a permanent foundation and anchored appropriately. Therefore, staff would recommend approval of the site plan and architectural review, subject to conditions below.

1. The accessory building shall be placed on a stable foundation and anchored appropriately, to be approved by the Community Development Department.
2. Applicable permits through the City shall be obtained.
3. Community Development Department staff shall have the authority to approve minor modifications to the plans.



Site Plan & Plan of Operation Application

City of Wisconsin Rapids, Wisconsin

Version: January 3, 2019

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The Planning Commission reviews site plans and plans of operation for those land uses specifically requiring such review as listed in the land-use matrix (Appendix A of the zoning code).

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

Application fee: \$175.00 for new; \$125.00 for amendment of prior approval

Note: Site plan/plan of operation review and architectural review can be combined into one application fee.

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Office Use Only

Date Received 7/27/23Received By CEFee \$175.00Case # 23-000677Aldermanic District 5-Cattanach

Plan Commission Date _____

1. Applicant information

Applicant name Alternative EdgeStreet address 711 Peach StreetCity, state, zip code Wis Rapids, WI 54494Daytime telephone number 715-459-7389Email alternativeedgellc@gmail.com

2. **Agent contact information** Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

Agent 1

Agent 2

Name _____

Company _____

Street address _____

City, state, zip code _____

Daytime telephone number _____

Email _____

3. Type of application (check all that apply)

☒ Site plan Complete Part A, B and D
☐ Plan of operation Complete Part A, C and D
☐ New project

☐ Amendment of prior approval (if any)

If an amendment, the date of last approval (if any): _____

Part A. About the Property

4. Subject property information

Physical address 711 peach street

Parcel number(s) _____

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

☒ No

☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

☒ No

☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> RR Rural Residential | <input type="checkbox"/> R-8 Manufactured Home Park | <input type="checkbox"/> M-1 General Industrial |
| <input type="checkbox"/> R-1 Single-family Residential | <input type="checkbox"/> B-1 Downtown Commercial | <input type="checkbox"/> M-2 Heavy Industrial |
| <input type="checkbox"/> R-2 Mixed Residential | <input checked="" type="checkbox"/> B-2 General Commercial | <input type="checkbox"/> I-1 Institutional |
| <input type="checkbox"/> R-3 Multi-family Medium Density Residential | <input type="checkbox"/> B-3 Neighborhood Commercial | <input type="checkbox"/> P-1 Park and Recreation |
| <input type="checkbox"/> R-4 Multi-family High Density Residential | <input type="checkbox"/> B-5 Mixed Use Commercial | <input type="checkbox"/> C-1 Conservancy |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> Planned Development (PDD) | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Floodplain |
| <input type="checkbox"/> Downtown Design | <input type="checkbox"/> Shoreland-Wetland | <input type="checkbox"/> Wellhead Protection |

Part B. Site Plan (See the standards and requirements in Division 6 of Article 6.)

6. Building type. Which of the following building types best describes the building?

- | | | |
|--|-------------------------------------|--|
| <input type="checkbox"/> Townhouse | <input type="checkbox"/> Commercial | <input type="checkbox"/> Industrial |
| <input type="checkbox"/> Multi-family | <input type="checkbox"/> Work/live | <input type="checkbox"/> Parking structure |
| <input type="checkbox"/> Institutional | | |

Please refer to Appendix D for any design requirements that may apply.

7. Encroachments.

Aside from driveways connecting to the street, will any part of the proposed project encroach into a public right-of-way?

- ☒ No
☐ Yes

If yes, please explain.

8. Site parameters (area in square feet or acres)

Subject property

Building coverage

48 sq ft

Outdoor storage

6x8 shed

Stormwater facilities

Impervious surfaces

Impervious surfaces include buildings, parking areas and driveways, sidewalks, decks, patios, and other types of 'hard' surfaces.

Landscaping and other undeveloped areas

Wetlands

Attach appropriate documentation if there are any wetlands.

100-year floodplain

9. Street access

Name	New Access	Change to Existing Access	No Change to Existing Access
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

10. Traffic generation

Will the proposed project create 500 trips per day or more?

- ☒ No
☐ Yes Attach a traffic impact report to this application. See s. 11.06.151 of the zoning code for additional details.

Will the proposed project create 300 trips per day or more, but less than 500?

- ☒ No
☐ Yes The city may require a traffic impact report as described in s. 11.06.151 of the zoning code. Please contact the Community Development Department for further guidance.

11. Parking (See the standards and requirements in Article 17 of the zoning code.)

Minimum number of required spaces

n/a

See Appendix B of the zoning code for parking requirements for the proposed land use(s).

Proposed number of spaces

n/a

If the number of proposed spaces exceeds what is required by more than 15 percent, the Planning Commission may grant a special exception to allow oversized parking areas. (See s. 11.17.03(r) of the zoning code.)

ADA van accessible spaces

n/a

Other ADA accessible spaces	<u>n/a</u>	
Number of electric charging stations (if any)	<u>n/a</u>	Charging stations are not required, but are recommended.
Bicycle parking spaces	<u>n/a</u>	Bike parking is not required, but is recommended. (See s. 11.17.06 of the zoning code.)
Number of spaces in front of the building	<u>n/a</u>	The number of spaces in front of the building may be limited depending on the zoning district. (See Appendix C of the zoning code.)
Number of spaces on the side(s) of the building	<u>n/a</u>	
Number of spaces to the rear of the building	<u>n/a</u>	

12. Outdoor lighting (See the standards and requirements in Article 18 of the zoning code.)

	<u>Number of Fixtures</u>	<u>Lumens</u>
Building 1	<u> </u>	<u> </u>
Building 2	<u> </u>	<u> </u>
Building 3	<u> </u>	<u> </u>
Parking lot 1	<u> </u>	<u> </u>
Parking lot 2	<u> </u>	<u> </u>
Parking lot 3	<u> </u>	<u> </u>
Other	<u> </u>	<u> </u>
Other	<u> </u>	<u> </u>
Total	<u> </u>	<u> </u>

Maximum lighting levels at each property boundary line (in footcandles):

Attach a photometric plan to this application along with manufacturer's cut sheets for the different kinds of light fixtures.

Height of parking lot lights above grade (if any):

13. Fencing. Will the proposed project include fencing?

☒ No

☐ Yes (See Article 15 of the zoning code for the standards and requirements that apply.)

If yes, please describe and/or attach a fencing plan.

14. Stormwater. Describe how stormwater generated on the site will be handled.

15. Site plan. Attach a site plan drawn to scale with the following information to the extent it applies to the proposed project. The items with an asterisk are required. Check those elements that are included.

Background Project Information	Buildings and Outdoor Storage/Activity Areas	Transportation Facilities (existing and proposed)
<input type="checkbox"/> Project name*	<input type="checkbox"/> Existing and proposed	<input type="checkbox"/> Streets
<input type="checkbox"/> Applicant name*	<input type="checkbox"/> Existing within 50 feet of subject property	<input type="checkbox"/> Driveways and road access onto public and private roads
<input type="checkbox"/> Preparation date/revision*	Required Setbacks	<input type="checkbox"/> Sidewalks and trails
<input type="checkbox"/> Name of preparer*	<input type="checkbox"/> Yard setbacks (front, side, rear and shore)	<input type="checkbox"/> Fire lanes (i.e., fire apparatus access)
	<input type="checkbox"/> On-site septic systems	<input type="checkbox"/> Clear visibility triangles (location and dimensions)
Survey Information	<input type="checkbox"/> On-site wells and off-site wells within 10 feet of the perimeter of the subject property	On-Site Parking (existing and proposed)
<input type="checkbox"/> North arrow and graphic scale*	Landscaping Features (existing and proposed)	<input type="checkbox"/> Access aisles and parking spaces by size
<input type="checkbox"/> Address of subject property or legal description*	<input type="checkbox"/> Fences, buffers, and berms	<input type="checkbox"/> Location of accessible parking spaces
<input type="checkbox"/> Property boundaries *	<input type="checkbox"/> Pervious and impervious surfaces by type	<input type="checkbox"/> Location and specifications/dimensions for accessibility ramps
<input type="checkbox"/> Acreage of subject property*	<input type="checkbox"/> Site amenities (benches, fountains, etc.)	<input type="checkbox"/> Type and location of on-site parking signs and traffic control signs
Project Development Information	<input type="checkbox"/> Existing trees and other prominent vegetation	<input type="checkbox"/> Surface materials for parking lot (e.g., concrete, bituminous concrete, pavers)
<input type="checkbox"/> Land use summary table by density/intensity and acreage*	<input type="checkbox"/> Trees / shrubs to be planted, including a plant list and specs.	<input type="checkbox"/> Snow storage areas
<input type="checkbox"/> Easements/rights-of-ways (location, width, purpose, ownership)	Trees / shrubs to be retained	<input type="checkbox"/> Areas designated for queuing of vehicles for drive-through facilities (e.g., car washes, drive-up service windows, etc.)
<input type="checkbox"/> Common areas/conservancy areas (location, purpose, ownership)	Outdoor Lighting (existing and proposed)	<input type="checkbox"/> Pedestrian walks between the parking lot and the building
<input type="checkbox"/> Land to be dedicated to the public (boundaries, area, purpose)	<input type="checkbox"/> Location	<input type="checkbox"/> Designated areas of a parking area for pedestrian walks
Setting	<input type="checkbox"/> Fixture specifications	<input type="checkbox"/> Loading lanes and loading docks
<input type="checkbox"/> Property boundaries within 50 feet of the subject property	Stormwater Facilities (existing and proposed)	<input type="checkbox"/> Stormwater drainage
<input type="checkbox"/> Land uses within 50 feet of the subject property	<input type="checkbox"/> Location	<input type="checkbox"/> Distance between parking areas and adjoining properties if less than 20 feet
<input type="checkbox"/> Zoning district boundaries within 50 feet of the subject property	<input type="checkbox"/> Specifications for each facility	<input type="checkbox"/> Areas designated for bicycle parking
<input type="checkbox"/> Municipal boundaries within 50 feet of the subject property	Utilities (existing and proposed)	Signs (existing and proposed)
Site Features (existing and proposed)	<input type="checkbox"/> Location	<input type="checkbox"/> Location
<input type="checkbox"/> Ground contours when slopes exceed 8 percent	<input type="checkbox"/> Type (sewer, telephone, etc.) (buried or overhead, if applicable)	<input type="checkbox"/> Specifications for each sign including type, height, dimensions, lighting, and other factors considered during the review process
<input type="checkbox"/> Wetlands	<input type="checkbox"/> Size/capacity, if applicable	
<input type="checkbox"/> Woodlands		
<input type="checkbox"/> Wildlife habitat, including critical wildlife habitat		
<input type="checkbox"/> Environmentally sensitive features		
<input type="checkbox"/> Water resources (rivers, ponds, etc.) and ordinary high-water mark for navigable waters		
<input type="checkbox"/> Floodplain boundaries and elevations of the same		

Part C. Plan of Operation

16. Operating conditions

Hours of operation:	10-8	
Estimated number of full-time employees	N/A	
Estimated number of part-time employees	N/A	
Maximum number of employees onsite at peak hours	N/A	
Will the proposed business operation create any noise outside of the building?	NO	Refer to s. 11.06.147 of the zoning code.
Will the proposed business operation create any emissions (e.g., fumes, smoke, steam, vapor, dust,) to the atmosphere?	NO	Refer to s. 11.06.148 of the zoning code.
Will the proposed business operation create any vibrations outside of the building?	NO	Refer to s. 11.06.149 of the zoning code.
Will the proposed business operation involve any explosives or other flammable materials?	NO	Refer to s. 11.06.150 of the zoning code.
Will the proposed business operation involve any radioactive materials?	NO	
Will the proposed business operation create special needs for wastewater disposal?	NO	
Will the proposed business operation require unusually high levels of public water?	NO	

17. Licensing. What kind of federal, state, county or city licensees will be required to operate the proposed business?

NONE

Part D. Other

18. Attachments List any attachments included with your application.

19. Other Information You may provide any other information you feel is relevant to the review of your application.

Looking to add a 6' x 8' shed to North/East corner of property

20. Mandatory meeting with staff

When did you meet with the Community Development Director?

Month/year

21. Applicant certification

- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Eric Petzold

Name – print

Name – Signature

7/26/2023

Date

Name – print

Name – Signature

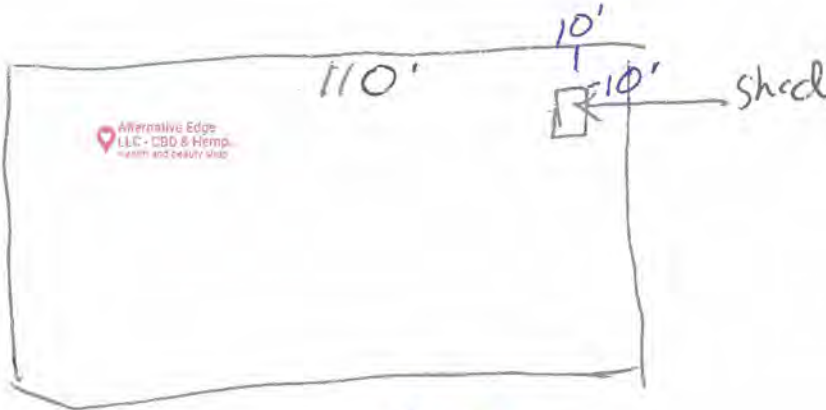
Date

Google Maps

7th St S

7th St S

7th St S



Google

Map data ©2023 Google 20 ft

Keter® Darwin 6 x 8 Outdoor Resin Storage Shed

Actual Size: 5' 10-7/32" x 7' 11-19/32 x 7' 1-19/32"

Model Number: 17197897 | Menards® SKU: 1932626

Page 71 of 112



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- Made from weather-resistant polypropylene resin plastic; it won't rust, peel, rot, or decay
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- Window and full-length skylight provide ambient light inside the shed

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Nominal Size: 6 Wide x 8 Deep

Ship To Store - Free!

130 Available for Special Order
and immediate shipment

Delivery

Available



$\square = 2'$

7th St.




100' \rightarrow

$\square = 2'$

6 x 8 shed

10' Right

10' Rear

 10' Front

Administrative Staff Report

Restaurant (Pizza Hut)

Site Plan

2730 8th Street South

August 1, 2023



<p>Applicant(s):</p> <ul style="list-style-type: none"> Tim Randall <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns, Director Carrie Edmondson, Associate Planner <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3412599 <p>Lot Information (Combined):</p> <ul style="list-style-type: none"> Effective Frontage: 390 feet Effective Depth: 247 feet Square Footage: 49,222 Acreage: 1.13 Acres <p>Zone(s):</p> <ul style="list-style-type: none"> General Commercial "B-2" District <p>Council District:</p> <ul style="list-style-type: none"> District 7 - Delaney <p>Master Plan:</p> <ul style="list-style-type: none"> Commercial <p>Current Use:</p> <ul style="list-style-type: none"> Vacant <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 - Zoning 	<p>Request</p> <p>23-000682; Tim Randall – request for Site Plan Review to construct a restaurant and associated site improvements at 2730 8th Street South (Parcel ID 3412599).</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Application Plans <p>Findings of Fact</p> <ol style="list-style-type: none"> The proposed restaurant (Pizza Hut) is approximately 1,014 square feet and approximately 13 parking stalls are proposed onsite. The property is zoned General Commercial "B-2" District. A restaurant use and drive-up service window use are permitted in the General Commercial "B-2" District A building plan – architectural review (AR), plan of operation (PO), site plan (SP), and zoning permit (ZP) are required. <p>Staff Recommendation</p> <p>Approve the request for Site Plan Review to construct a restaurant and associated site improvements at 2730 8th Street South (Parcel ID 3412599), subject to the following condition(s):</p> <ol style="list-style-type: none"> This approval is contingent upon the final approval of the Certified Survey Map dividing Parcel 3412599 into two parcels. Directional signage to indicate one-way flow shall be installed. Applicable permits for signage, subject to review and approval by the Community Development Department, shall be obtained. Applicable right-of-way permits shall be obtained, to be reviewed and approved by the Department of Public Works. All applicable building and stormwater permits through the City of Wisconsin Rapids shall be obtained. The Community development department shall have the authority to approve minor modifications to the plans.
--	---

Vicinity Map



Site Photos



Background

The applicant is undergoing a concurrent Certified Survey Map (CSM) application to divide Parcel No. 2312599 into two parcels. This development is proposed on the southernmost parcel. The proposed project includes a 1,014 square foot Pizza Hut restaurant. The restaurant business would be to fulfill take-out and delivery orders only with no inside dining. A restaurant and drive-up service window are permitted uses in the General Commercial "B-2" District and are further defined in Chapter 11 – Zoning below:

6.04 Restaurant

Description: *A place where food and beverages are offered for retail sale for on-site or off-site consumption, and where the on-site consumption of fermented malt beverages, wine, or liquor, if any, is clearly secondary and subordinate to the sale of food and nonalcoholic beverages. A restaurant may also prepare food as part of a catering business. The term does not include a grocery store with a food service section.*

Vehicle Parking: *1 space for each 3 patron seats or 1 space for each 300 square feet of gross floor area devoted to patron service, whichever is greater; plus 1 for each employee on the largest work shift*

Supplemental Standards:

(a) State permit. *Prior to the establishment of a restaurant, the operator shall obtain a restaurant permit from the Wisconsin Department of Health Services, or the department's authorized agent, and maintain such permit for the life of the use or until the department no longer requires such permit. [1]*

(b) Liquor license. *If the establishment serves liquor, the operator shall obtain a liquor license from the City and maintain such license for the life of the use or until the license is no longer required.*

(c) Location of entrance. *A customer entrance to a restaurant that is located on the side or rear of the building shall not be located within 100 feet of a parcel in a residential zoning district or a planned development district that allows residential uses.*

[1] Commentary: See ch. DHS 196, Wis. Admin. Code

17.24 Service window, driveup

Description: *An opening in a building through which patrons are served while remaining in a motor vehicle.*

Vehicle Parking: *On-site parking is not required*

Supplemental Standards:

(a) Crosswalks. *A pedestrian crosswalk shall be marked on the pavement when the lane for a drive-up service window is situated between on-site parking and a building entrance.*

(b) Length of queue lane. *The lane leading up to a drive-up service window shall be of sufficient length so that at the anticipated customer peak, all motor vehicles waiting in queue will be entirely on the premises.*

(c) Location. *A drive-up service window shall only be located to the side or rear of the building in which it is located and at least 60 feet from a property in a residential zoning district or a planned development district that allows residential uses.*

The proposal includes a vehicle drive-through lane and customer order pick-up window. The plans and submitted renderings are attached and standards of review are analyzed in greater detail below.

Standards of Review

1) Use

Analysis: A restaurant and drive-up service window use is permitted in the General Commercial “B-2” District.

Findings: Note that a building plan – architectural review (AR), plan of operation (PO), site plan review (SP), and zoning permit (ZP) are required.

2) Dimensional Standards

Analysis: The B-2 district requires 10,000 square feet, and the newly created lot will be 18,877 square feet. Building setbacks for the addition meet the minimums (25-foot street and 20-foot side and rear). The building coverage ratio is 7 percent meeting the 60 percent (maximum) requirement and impervious surface is approximately 73 percent meeting the 80 percent (maximum) requirement. The building is 16 feet in height, well under the 35 foot maximum allowed.

Findings: Dimensional standards are met, and the proposed development is well suited to the lot.

3) Ingress/Egress

Analysis: Ingress and egress is proposed from 8th Street South and Grove Avenue. The existing curb cut on 8th Street South will remain and the Grove Avenue curb cut will be relocated to the west. All circulation on site will be one way with traffic generally circulating counterclockwise.

Findings: The site will be accessed from either 8th Street South, Grove Avenue, or from the adjacent site to the north through shared access. Drive aisle width minimums are met, and the vehicle queue lane appears to be of sufficient length for adequate vehicle queueing. Applicable right-of-way permits are required to be obtained, to be reviewed and approved by the Department of Public Works.

4) Parking

Analysis: The restaurant use requires 1 parking space for each 3 patron seats, or 1 space for each 300 square feet of gross floor area devoted to patron service, whichever is greater; plus 1 for each employee on the largest work shift. Therefore, the 1,014 square foot building would require 4 stalls, plus 1 for each employee on the largest work shift. The applicant indicates the largest work shift is 8 employees. One ADA approve accessible space is also required.

Findings: The development meets the parking requirements with 12 parking stalls and 1 ADA approved accessible parking stall. All parking meets dimensional standards. A marked pedestrian crosswalk is proposed from the parking along the northern property line to the building entrance.

5) Landscaping

Analysis: The proposed project requires foundation plantings, street frontage plantings, parking lots plantings, and a bufferyard to the west. Required landscape points and proposed points are detailed in the table below.

	Required Points	Provided Points
Foundation Plantings	80	84
Street Frontage Plantings	167	170
Parking Lot Plantings	123/400 square feet parking lot interior	263
Bufferyard	120	140

Findings: The points requirements and percentage allocations are met in all categories. A variety of plantings are proposed throughout the site. The mix of Arborvitae, Honey Locust, and Dogwoods will provide a nice mix within the bufferyard. This variety combined with the proposed fencing will adequately buffer the residential properties to the west.

6) Architecture

Analysis: Renderings have been submitted, showing finishing materials primarily of metal panels, metal coping, lap and gap siding, and manufactured stone veneer.



Findings: From an architectural standpoint, the building is aesthetically appealing and incorporates a variety of finishing materials. The windows, door, canopy metal accents, and stone veneer make up 50 percent of the east (8th Street South) and south (Grove Avenue) facades. Accents are carried through to the other elevations as well. Additionally, the refuse enclosure will be constructed of wood and painted in an accent color to match the building. Overall – the building offers a pleasing aesthetic on this focal 8th Street South corridor corner.

7) Lighting & Photometric Plan

Analysis: Regulations for onsite lighting are related to light trespass (foot-candles) beyond the property line and total lighting levels (lumens). Lighting from the business use should not exceed 0.1 foot-candles at a neighboring residential property line or 0.2 foot-candles at a neighboring commercial property line.

Findings: A lighting plan has been submitted and light levels fall within the required standards.

In summary, the construction of a neighborhood restaurant at the proposed site will provide a suitable transition between the busy commercial 8th Street South corridor and the residential properties to the west. The proposal is consistent with the greater land use vision for this area. Additionally, the proposed architecture and landscaping will provide a substantial enhancement on this corner. Therefore, staff would recommend approval of the site plan, architectural review, and plan of operation, subject to the items mentioned above and summarized on page one of the staff report.

LANDSCAPE SCHEDULE

FOUNDATIONS

TYPE	QTY	PT VALUE	TOTAL	COMMON NAME
Low Deciduous Shrub	28	1	28	Snowmound Spruce (SN)
Int. Deciduous Shrub	5	5	25	Red Dogwood (DW)
Med. Deciduous Shrub	4	3	12	Lynwood Forsythia (FS)
Low Evergreen Shrub	3	3	9	Creeeping Juniper (CJ)
Low Deciduous Trees	1	10	10	Creechapple (CA)

PTS NEEDED: 80 PROVIDED: 84

BUFFER YARD

TYPE	QTY	PT VALUE	TOTAL	COMMON NAME
Med. Evergreen Tree	7	20	140	Amoxicpin Arborvitae (AA)

PTS NEEDED: 120 PROVIDED: 140

STREET FRONTAGE

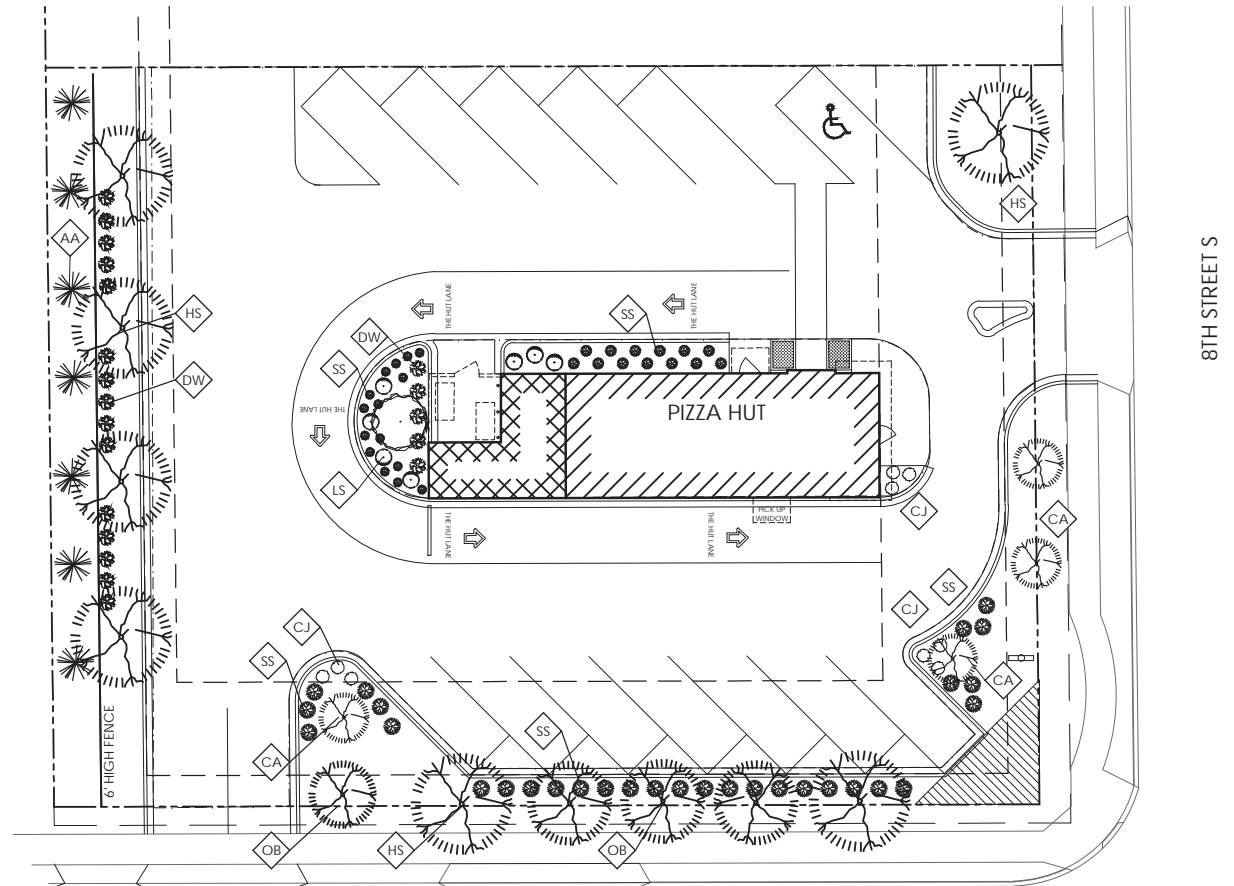
TYPE	QTY	PT VALUE	TOTAL	COMMON NAME
Int. Deciduous Trees	5	30	90	Honey Locust (HL)
Med. Deciduous Trees	4	15	60	China Birch (CB)
Low Deciduous Trees	2	10	20	Creechapple (CA)

PTS NEEDED: 167 PROVIDED: 170

PARKING LOT

TYPE	QTY	PT VALUE	TOTAL	COMMON NAME
Int. Deciduous Trees	4	30	120	Honey Locust (HL)
Low Deciduous Trees	7	10	70	Creechapple (CA)
Low Deciduous Shrub	30	1	30	Snowmound Spruce (SN)
Med. Deciduous Shrub	0	3	0	Lynwood Forsythia (FS)
Int. Deciduous Shrub	15	5	75	Red Dogwood (DW)
Evergreen Shrubs	6	3	18	Creeeping Juniper (CJ)

PTS NEEDED: 252 PROVIDED: 263



GROVE AVE

8TH STREET S

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
EXTENDED	1.97	5.0	0.0	N/A	N/A
PARKING LOT & DRIVE-THRU SURFACE	3.67	5.0	1.7	2.16	2.94

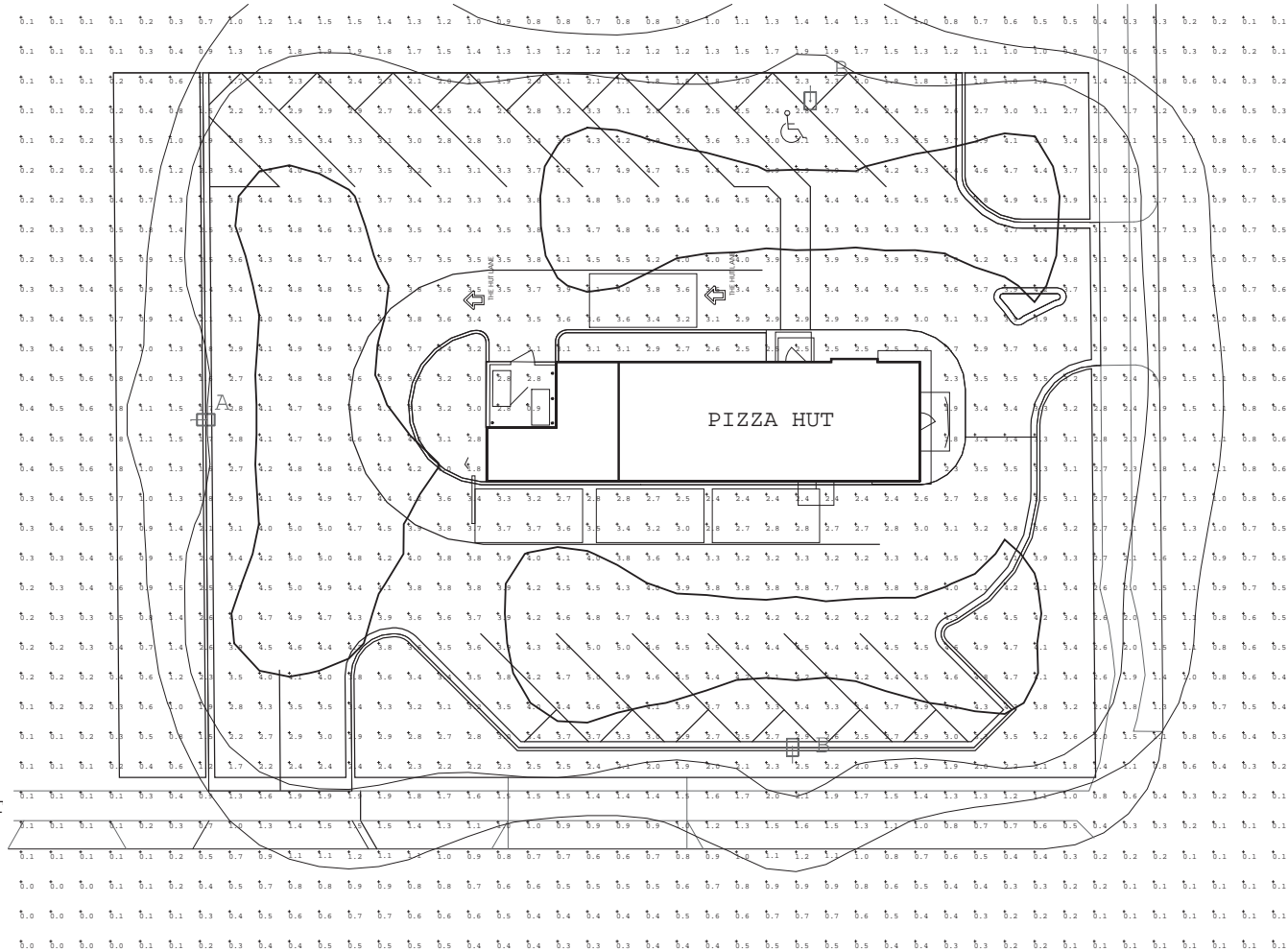
LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Luminaire Lumens	L/F Watts	Luminaire Description
1	1	A	SINGLE	29751	0.900	222 VP-2-320L-210-4K7-3-UNV-A-DBT / SES-25-40-01-F-B4-DBT
2	2	B	SINGLE	34181	0.900	269 VP-2-320L-255-4K7-4W-UNV-A-DBT / SES-25-40-01-F-B4-DBT

FIGURE A IS 222W 4000K LED

FIGURE B IS 269W 4000K LED

POLES ARE 25'-0" ON 2'-6" BASES FOR AN OVERALL FIXTURE HEIGHT OF 27'-6" A.F.G.



PIZZA HUT
WISCONSIN RAPIDS, WI
PREPARED BY: JOHN BUJAKE
ACCUSERV LIGHTING & EQUIPMENT
877-707-7378
jbujake@accu-serv.com
JUNE 27, 2023



July 27, 2023

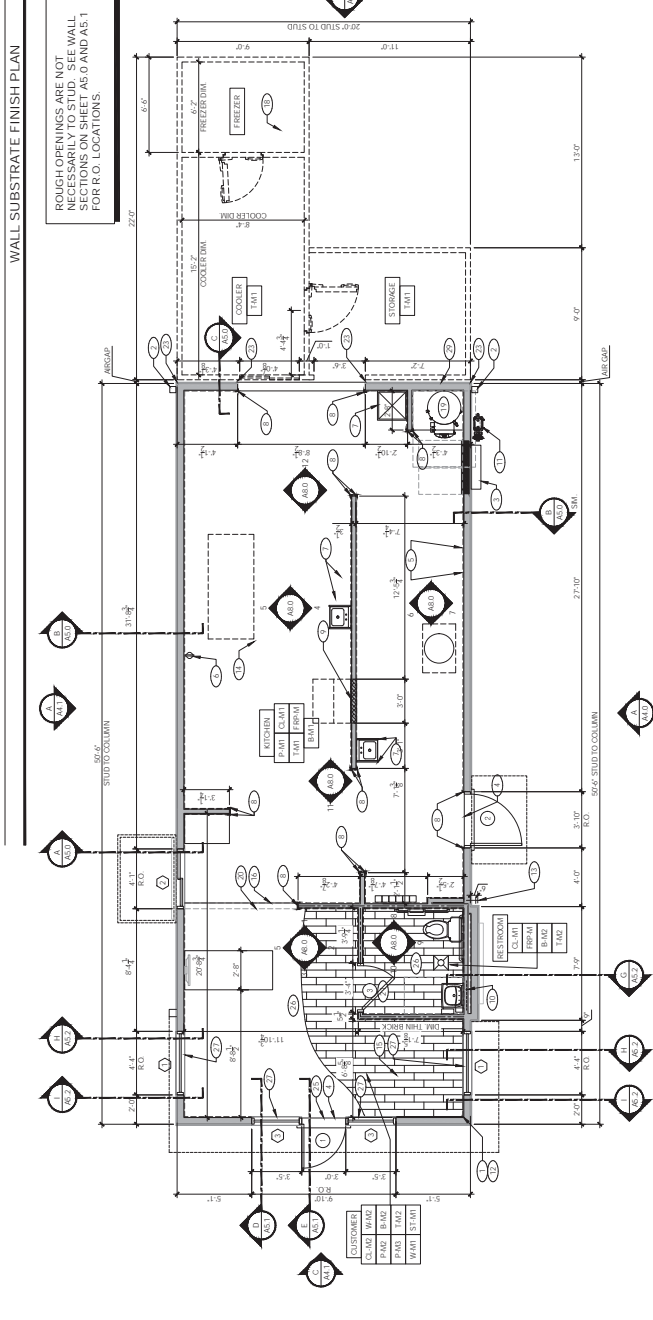
SCALE: 1" = 20'

PIZZA HUT - WISCONSIN RAPIDS - GROVE AVE & 8TH ST S

PHOTOMETRICS

[illegible]

PIZZA HUT
NOT SURE WHY
NO HIRE
Page 83 of 111
FS DECOR
FLOOR & FINISH
PLAN
A1.0
PLOT DATE: 01/19/2016

[illegible]



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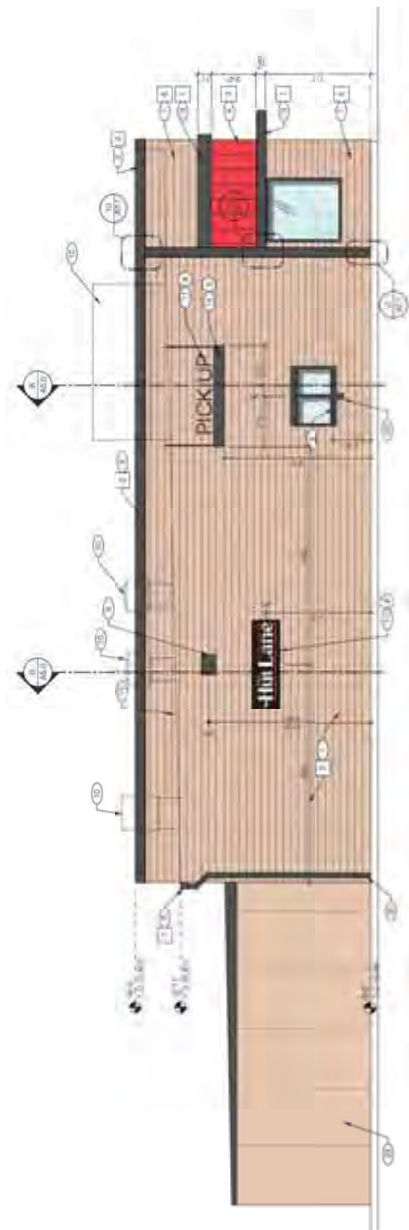
Journal of Management Education 36(8) 907-921

1

ENGINEERING SERVICES PROVIDED BY:

SEE SHEET A4.0 FOR
KEYNOTES.

SIDE ELEVATION (SOUTH -GROVE AVE)	1/4" = 1'-0"	A
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BACK ELEVATION (WEST)	$1/4" = 1':0"$	C
-----------------------	----------------	---



FRONT ELEVATION (EAST - 8TH STREET SOUTH)	1/4" = 1'-0"	B
---	--------------	---

[illegible]

CONTRACT DATE:	06.09.22
BUILDING TYPE:	FS DELCO
PLAN VERSION:	CUSTOM
DATE NUMBER:	
PORE NUMBER:	

PIZZA HUT
8th ST & Green Ave
WISCONSIN ESTATES, WI

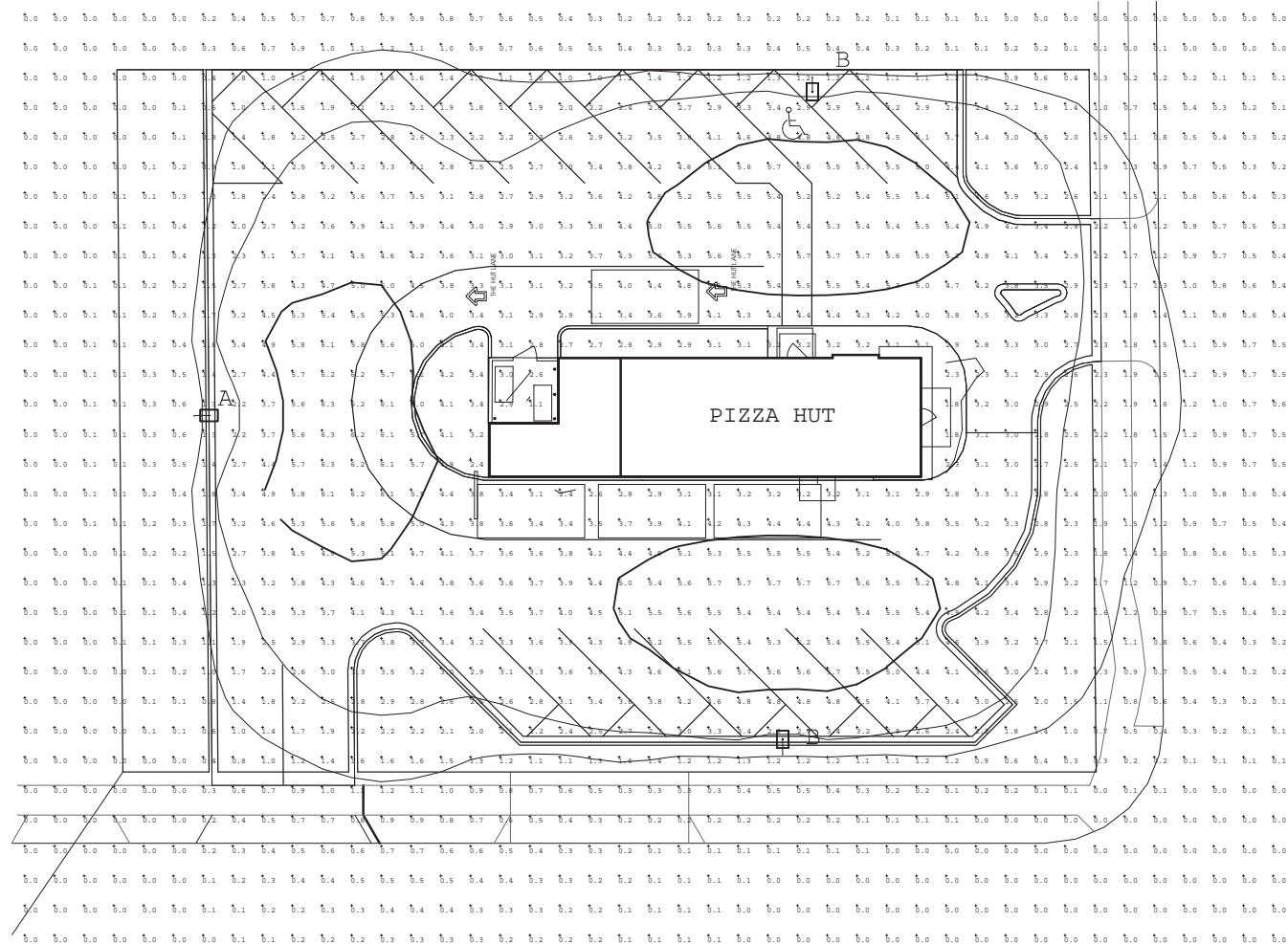
Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
EXTENDED	1.71	6.3	0.0	N.A.	N.A.
PARKING LOT & DRIVE-THRU SURFACE	3.80	6.3	0.8	4.75	7.88

LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Luminaire Lumens	LLF	Luminaire Watts
A	1	A	SINGLE	25155	0.900	288
B	2	B	SINGLE	27941	0.900	354

NOTE: LIGHT LEVEL AT THE WEST PROPERTY LINE NOT TO EXCEED 0.1 FOOT-CANDLE
 FIXTURE A IS 35W 4000K LED WITH AN INTEGRAL BACKLIGHT LOUVER
 FIXTURE B IS 35W 4000K LED WITH AN INTEGRAL BACKLIGHT LOUVER
 POLES ARE 25'-0" ON 2'-6" BASES FOR AN OVERALL FIXTURE HEIGHT OF 27'-6" A.F.G.

PIZZA HUT
 WISCONSIN RAPIDS, WI
 PREPARED BY: JOHN BUJAKE
 ACCUSERV LIGHTING & EQUIPMENT
 877-707-7378
 jbujake@accu-serv.com
 AUGUST 1, 2023



August 1, 2023

SCALE: 1" = 20'

PIZZA HUT - WISCONSIN RAPIDS - GROVE AVE & 8TH ST S
 LANDSCAPE PLAN



Site Plan & Plan of Operation Application
City of Wisconsin Rapids, Wisconsin
 Version: January 3, 2019

Community Development Department
 444 West Grand Avenue
 Wisconsin Rapids, WI 54495-2780
 P: (715) 421-8228 Fax: (715) 421-8291

Overview: The Planning Commission reviews site plans and plans of operation for those land uses specifically requiring such review as listed in the land-use matrix (Appendix A of the zoning code).

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

Application fee: \$175.00 for new; \$125.00 for amendment of prior approval

Note: Site plan/plan of operation review and architectural review can be combined into one application fee.

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Office Use Only

Date Received _____

Received By _____

Fee _____

Case # _____

Aldermanic District _____

Plan Commission Date _____

1. Applicant information

Applicant name Tim Randall

Street address 2060 N. Humboldt Blvd, Suite 225

City, state, zip code Milwaukee, WI 53212

Daytime telephone number 414.837.3619

Email tim.randall@whgroup.com

2. Agent contact information Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys

Agent 1

Name Richard Dolezal

Company Destree Architects

Street address 222 W Washington Ave #310

City, state, zip code Madison, WI 53703

Daytime telephone number 608.512.1884

Email richard@destreearchitect.com

Agent 2

3. Type of application (check all that apply)

☒ Site plan Complete Part A, B and D

☒ Plan of operation Complete Part A, C and D

☒ New project

☐ Amendment of prior approval (if any)

If an amendment, the date of last approval (if any): _____

Part A. About the Property

4. Subject property information

Physical address 2730 8th street south

Parcel number(s) 34-12599 34-12598

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

- ☒ No
☐ Yes

If yes, please explain:

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

- ☒ No
☐ Yes

If yes, please explain:

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to <https://www.wisconsinrapids.gov/ordinances.aspx>)

The subject property is located in the following base zoning district(s) (check all that apply):

- | | | |
|--|--|--|
| <input type="checkbox"/> RR Rural Residential | <input type="checkbox"/> R-8 Manufactured Home Park | <input type="checkbox"/> M-1 General Industrial |
| <input type="checkbox"/> R-1 Single-family Residential | <input type="checkbox"/> B-1 Downtown Commercial | <input type="checkbox"/> M-2 Heavy Industrial |
| <input type="checkbox"/> R-2 Mixed Residential | <input checked="" type="checkbox"/> B-2 General Commercial | <input type="checkbox"/> I-1 Institutional |
| <input type="checkbox"/> R-3 Multi-family Medium Density Residential | <input type="checkbox"/> B-3 Neighborhood Commercial | <input type="checkbox"/> P-1 Park and Recreation |
| <input type="checkbox"/> R-4 Multi-family High Density Residential | <input type="checkbox"/> B-6 Mixed Use Commercial | <input type="checkbox"/> C-1 Conservancy |

The subject property is also located in the following overlay zoning district(s) (check all that apply):

- | | | |
|--|--|---|
| <input type="checkbox"/> Planned Development (PDD) | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Floodplain |
| <input type="checkbox"/> Downtown Design | <input type="checkbox"/> Shoreland/Wetland | <input type="checkbox"/> Wetland Protection |

Part B. Site Plan (See the standards and requirements in Division 6 of Article 6.)

6. Building type. Which of the following building types best describes the building?

- | | | |
|--|--|--|
| <input type="checkbox"/> Townhouse | <input checked="" type="checkbox"/> Commercial | <input type="checkbox"/> Industrial |
| <input type="checkbox"/> Multi-family | <input type="checkbox"/> Warehouse | <input type="checkbox"/> Parking structure |
| <input type="checkbox"/> Institutional | | |

Please refer to Appendix D for any design requirements that may apply.

7. Encroachments

Aside from driveways connecting to the street, will any part of the proposed project encroach into a public right-of-way?

☐ No

☐ Yes

If yes, please explain

8. Site parameters (area in square feet or acres)

Subject property 18,877

Building coverage 7% (1,327 sf)

Outdoor storage _____

Stormwater facilities _____

Impervious surfaces 13,597

Impervious surfaces include buildings, parking areas and driveways, sidewalks, decks, patios, and other types of "hard" surfaces.

Landscaping and other undeveloped areas 21% (3,953 sf)

Wetlands _____

Attach appropriate documentation if there are any wetlands.

100-year floodplain _____

9. Street access

Name	New Access	Change to Existing Access	No Change to Existing Access
8th Street S	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Grove Ave	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

10. Traffic generation

Will the proposed project create 500 trips per day or more?

☒ No

☐ Yes Attach a traffic impact report to this application. See s. 11.06.151 of the zoning code for additional details.

Will the proposed project create 300 trips per day or more, but less than 500?

☐ No

☐ Yes The city may require a traffic impact report as described in s. 11.06.151 of the zoning code. Please contact the Community Development Department for further guidance.

11. Parking (See the standards and requirements in Article 17 of the zoning code.)

Minimum number of required spaces 13 See Appendix B of the zoning code for parking requirements for the proposed land use(s).

Proposed number of spaces 13 If the number of proposed spaces exceeds what is required by more than 15 percent, the Planning Commission may grant a special exception to allow oversized parking areas. (See s. 11.17.03(r) of the zoning code.)

ADA van accessible spaces 1

Other ADA accessible spaces _____

Number of electric charging stations (if any) _____

Charging stations are not required, but are recommended.

Bicycle parking spaces _____

Bike parking is not required, but is recommended. (See s. 11.17.06 of the zoning code.)

Number of spaces in front of the building _____

The number of spaces in front of the building may be limited depending on the zoning district. (See Appendix C of the zoning code.)

Number of spaces on the side(s) of the building _____

13

Number of spaces to the rear of the building _____

12. Outdoor lighting (See the standards and requirements in Article 18 of the zoning code.)

	Number of Fixtures	Lumens
Building 1	4	
Building 2		
Building 3		
Parking lot 1	3	
Parking lot 2		
Parking lot 3		
Other		
Other		
Total		

Maximum lighting levels at each property boundary line (in footcandles): _____

Attach a photometric plan to this application along with manufacturer's cut sheets for the different kinds of light fixtures.

Height of parking lot lights above grade (if any): _____

13. Fencing. Will the proposed project include fencing?

☐ No

☒ Yes (See Article 15 of the zoning code for the standards and requirements that apply.)

If yes, please describe and/or attach a fencing plan.

14. Stormwater. Describe how stormwater generated on the site will be handled.

15. **Site plan.** Attach a site plan drawn to scale with the following information to the extent it applies to the proposed project. The items with an asterisk are required. Check those elements that are included.

Background Project Information	Buildings and Outdoor Storage/Activity Areas	Transportation Facilities (existing and proposed)
<input checked="" type="checkbox"/> Project name*	<input type="checkbox"/> Existing and proposed	<input type="checkbox"/> Streets
<input checked="" type="checkbox"/> Applicant name*	<input type="checkbox"/> Existing within 50 feet of subject property	<input type="checkbox"/> Driveways and road access onto public and private roads
<input checked="" type="checkbox"/> Preparation date/revision*	Required Setbacks	<input type="checkbox"/> Sidewalks and trails
<input checked="" type="checkbox"/> Name of preparer*	<input type="checkbox"/> Yard setbacks (front, side, rear and shore)	<input type="checkbox"/> Fire lanes (i.e., fire apparatus access)
	<input type="checkbox"/> On-site septic systems	<input type="checkbox"/> Clear visibility triangles (location and dimensions)
Survey Information	<input type="checkbox"/> On-site wells and off-site wells within 10 feet of the perimeter of the subject property	On-Site Parking (existing and proposed)
<input type="checkbox"/> North arrow and graphic scale*		<input type="checkbox"/> Access aisles and parking spaces by size
<input type="checkbox"/> Address of subject property or legal description*	Landscaping Features (existing and proposed)	<input type="checkbox"/> Location of accessible parking spaces
<input type="checkbox"/> Property boundaries *	<input type="checkbox"/> Fences, buffers, and berms	<input type="checkbox"/> Location and specifications/dimensions for accessibility ramps
<input type="checkbox"/> Acreage of subject property*	<input type="checkbox"/> Pervious and impervious surfaces by type	<input type="checkbox"/> Type and location of on-site parking signs and traffic control signs
	<input type="checkbox"/> Site amenities (benches, fountains, etc.)	<input type="checkbox"/> Surface materials for parking lot (e.g., concrete, bituminous concrete, pavers)
Project Development Information	<input type="checkbox"/> Existing trees and other prominent vegetation	<input type="checkbox"/> Snow storage areas
<input type="checkbox"/> Land use summary table by density/intensity and acreage*	<input type="checkbox"/> Trees / shrubs to be planted, including a plant list and specs	<input type="checkbox"/> Areas designated for loading of vehicles for drive-through facilities (e.g., car washes, drive-up service windows, etc.)
<input type="checkbox"/> Easements/rights-of-ways (location, width, purpose, ownership)	Trees / shrubs to be retained	<input type="checkbox"/> Pedestrian walks between the parking lot and the building
<input type="checkbox"/> Common areas/conservancy areas (location, purpose, ownership)		<input type="checkbox"/> Designated areas of a parking area for pedestrian walks
<input type="checkbox"/> Land to be dedicated to the public (boundaries, area, purpose)	Outdoor Lighting (existing and proposed)	<input type="checkbox"/> Loading lanes and loading docks
	<input type="checkbox"/> Location	<input type="checkbox"/> Stormwater drainage
Settling	<input type="checkbox"/> Fixture specifications	<input type="checkbox"/> Distance between parking areas and adjoining properties if less than 20 feet
<input type="checkbox"/> Property boundaries within 50 feet of the subject property	Stormwater Facilities (existing and proposed)	<input type="checkbox"/> Areas designated for bicycle parking
<input type="checkbox"/> Land uses within 50 feet of the subject property	<input type="checkbox"/> Location	
<input type="checkbox"/> Zoning district boundaries within 50 feet of the subject property	<input type="checkbox"/> Specifications for each facility	
<input type="checkbox"/> Municipal boundaries within 50 feet of the subject property		
Site Features (existing and proposed)	Utilities (existing and proposed)	Signs (existing and proposed)
<input type="checkbox"/> Ground contours when slopes exceed 8 percent	<input type="checkbox"/> Location	<input type="checkbox"/> Location
<input type="checkbox"/> Wetlands	<input type="checkbox"/> Type (sewer, telephone, etc.) (buried or overhead, if applicable)	<input type="checkbox"/> Specifications for each sign including type, height, dimensions, lighting, and other factors considered during the review process
<input type="checkbox"/> Woodlands	<input type="checkbox"/> Size/capacity, if applicable	
<input type="checkbox"/> Wildlife habitat, including critical wildlife habitat		
<input type="checkbox"/> Environmentally sensitive features		
<input type="checkbox"/> Water resources (rivers, ponds, etc.) and ordinary high-water mark for navigable waters		
<input type="checkbox"/> Floodplain boundaries and elevations of the same		

Part C. Plan of Operation

16. Operating conditions

Hours of operation:	_____	
Estimated number of full-time employees	_____	
Estimated number of part-time employees	_____	
Maximum number of employees onsite at peak hours	_____	
Will the proposed business operation create any noise outside of the building?	_____	Refer to s. 11.06.147 of the zoning code.
Will the proposed business operation create any emissions (e.g., fumes, smoke, steam, vapor, dust,) to the atmosphere?	_____	Refer to s. 11.06.148 of the zoning code.
Will the proposed business operation create any vibrations outside of the building?	_____	Refer to s. 11.06.149 of the zoning code.
Will the proposed business operation involve any explosives or other flammable materials?	_____	Refer to s. 11.06.150 of the zoning code.
Will the proposed business operation involve any radioactive materials?	_____	
Will the proposed business operation create special needs for wastewater disposal?	_____	
Will the proposed business operation require unusually high levels of public water?	_____	

17. Licensing. What kind of federal, state, county or city licenses will be required to operate the proposed business?

Part D. Other

18. Attachments List any attachments included with your application.

19. Other information You may provide any other information you feel is relevant to the review of your application.

20. Mandatory meeting with staff

When did you meet with the Community Development Director? _____ Month/year

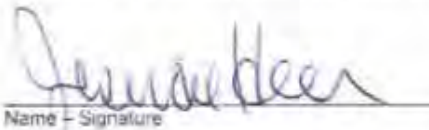
21. Applicant certification

- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

I'm Good, LLC

Name – print



Name – Signature

7-25-2023

Date

Name – print

Name – Signature

Date



MEMO

To: Plan Commission

From: Kyle Kearns, Director of Community Development
Carrie Edmondson, Associate Planner

Date: July 31, 2023

RE: **23-000621; City of Wisconsin Rapids** - public hearing and action on a request to amend Chapter 11 – Zoning Ordinance, specifically Article 6 Division 3 Sections numbering and 11.06.65 - Driveways, including modifications to dimensional standards.

Chapter 11 – Zoning, Article 6, Division 3 General Standards contains the following Sections:

- 11.06.61 Licensing with City
- 11.06.62 Licensing with state agencies
- 11.06.63 Special provisions for residential land uses
- 11.06.64 Street access
- 11.06.65 Driveways
- 11.06.66 Driveway standards for residential properties
- 11.06.67 Storage of motor vehicles and trailers
- 11.06.68 Compliance with building codes
- 11.06.69 Negative use restrictions

The highlighted sections above are expanded upon in the text section but are not included in the preceding section header here:

DIVISION 3 GENERAL STANDARDS			
Sections			
11.06.61	Licensing with City	11.06.65	Compliance with building codes
11.06.62	Licensing with state agencies	11.06.66	Negative use restrictions
11.06.63	Special provisions for residential land uses		
11.06.64	Driveways		

Therefore, staff is proposing to correct this and include the highlighted sections under Sections as follows:

- 11.06.61 Licensing with City*
- 11.06.62 Licensing with state agencies*
- 11.06.63 Special provisions for residential land uses*
- 11.06.64 Street access*
- 11.06.64⁵ Driveways*
- 11.06.66 Driveway standards for residential properties*

11.06.67 Storage of motor vehicles and trailers

11.06.658 Compliance with building codes

11.06.669 Negative use restrictions

Section 11.06.66 (e) Driveway standards for residential properties states the following:

(e) Maximum width.

(1) Where the garage doors are more than 40 feet from the right-of-way line, the maximum width of a driveway at the right-of-way line is 12 feet. Where the garage doors are less than 40 feet from the right of-way line, the maximum width of a driveway at the right-of-way line is 30 feet.

(2) The width of a driveway directly in front of the garage door(s) must not exceed the width of the garage on that side, except that the driveway in front of a single-car garage can be 24 feet wide provided the portion of the driveway that is not in front of the garage must not be located in front of the dwelling. Where the width of the driveway directly in front of the garage doors exceeds the width of the driveway at the right-of-way line, there must be a taper starting at least 8 feet from the right-of-way line.

As stated above, when garage doors are more than 40 feet from the right-of-way line, the maximum width of a driveway at the right-of-way line is 12 feet. It is then required to taper at least 8 feet from the right-of-way. Staff has not been able to determine any discernable benefit to the first 8 feet of driveway length being limited to no more than 12 feet in width.

After researching maximum driveway widths in other communities across the state, the typical maximum driveway width is typically 24 feet or 30 feet regardless of driveway length. Therefore, staff is proposing the following amendment:

(e) Maximum width.

(1) ~~Where the garage doors are more than 40 feet from the right of way line, the maximum width of a driveway at the right of way line is 12 feet. Where the garage doors are less than 40 feet from the right of way line, the~~ maximum width of a driveway at the right-of-way line is 30 feet.

(2) The width of a driveway directly in front of the garage door(s) must not exceed the width of the garage on that side, except that the driveway in front of a single-car garage can be 24 feet wide provided the portion of the driveway that is not in front of the garage must not be located in front of the dwelling. Where the width of the driveway directly in front of the garage doors exceeds the width of the driveway at the right-of-way line, there must be a taper starting at least 8 feet from the right-of-way line.



MEMO

To: Plan Commission
From: Kyle Kearns, Director of Community Development
Carrie Edmondson, Associate Planner
Date: July 31, 2023
RE: **23-000657; City of Wisconsin Rapids** - action on a request for an amendment to the City's Municipal Code, Chapter 46 – Sign Code, to clarify language for civic event banner requirements.

Chapter 46 – Signs lists the following signs as exempt from the chapter:

46.03 Applicability

All signs erected or maintained after July 28, 2021 must comply with this chapter, except for the following which are exempt:

- (1) A traffic control sign and other similar signage when located on public property along a roadway when placed by or authorized by the federal government, the state of Wisconsin, Wood County, or a municipal government.*
- (2) A sign inside of a building that does not meet the definition of a window sign.*
- (3) A legal notice posted on private property as may be required or authorized by municipal, state, or federal law.*
- (4) A scoreboard associated with an outdoor athletic field, which is to be reviewed as part of a site plan review.*
- (5) A sports league sponsor sign (banner or rigid) that is temporarily affixed to a fence on an outdoor athletic field, which is subject to other regulations as may be adopted by the Common Council.*
- (6) A civic event banner that is temporarily placed above a public right-of-way or in a public park, which is subject to other regulations as may be adopted by the Common Council.*

Language for civic event banners on item 6 above doesn't clearly indicate ground sign banners for events, and should be clarified for both type of banners, as recommended below:

- (6) A civic event banner that is temporarily placed above a public right-of-way (overhead), in a public right-of-way (ground banner), or in a public park, which is specifically permitted by and subject to other regulations as may be adopted by the Common Council.

LAKE WOODS CROSSING

CONCEPTUAL PLAN

CITY-OWNED – 38 ACRES



38 ACRES NORTH OF COUNTY HWY Z, BETWEEN 12TH ST. S. AND 16TH ST. S.

SUMMARY

This Concept plan encompasses an approximate 38-acre tract of land located east of Walmart, north of County Highway Z and bounded by 12th Street South 16th Street South, within the Town of Grand Rapids. The City of Wisconsin Rapids owns the undeveloped parcel and has identified it as wellhead protection lands. Details regarding the development potential of the property are included below, as well as a conceptual development plan for the site. This plan is not anticipated to be directly adopted or implemented exactly as presented, but rather as a guide for the different phases of development for the entire property. Each phase should be accompanied by specific site plans that coordinate with this planning document, and required City approvals shall be obtained as needed.

Opportunity

A planned approach to the development of this parcel allows the city to actively promote and market the site, as well as respond to inquiries from developers and contractors seeking to construct housing within the community. It also allows the city to prepare and respond to a phased approach for providing City services.

Goals

There is a well-documented housing shortage across various housing styles, sizes, locations, and prices throughout the State of Wisconsin. This is well documented in Kurt Paulsen's Wisconsin Realtors Association WRA Special Report *Falling Behind*. This is especially true for workforce housing units, which

are defined as the supply of housing in a community that meets the needs of the workforce in that community.

- ❖ **The main goal of creating this concept plan is to entice phased residential development, including a mix of densities, styles, and types, on the land to address the City’s housing needs and increase tax base.**

This will better meet the needs of the Wisconsin Rapids workforce, businesses, and community members.

Objective 1: Create a mix of housing units in a variety of forms through a public-private partnership with developers and contractors.

Objective 2: Create shovel ready sites for development on the property, which includes annexation and extension of roads and utilities to serve phased development, along with other infrastructure such as parkland to accommodate housing.

Objective 3: Increase the taxable value of the property through new development that is compatible with surrounding uses.

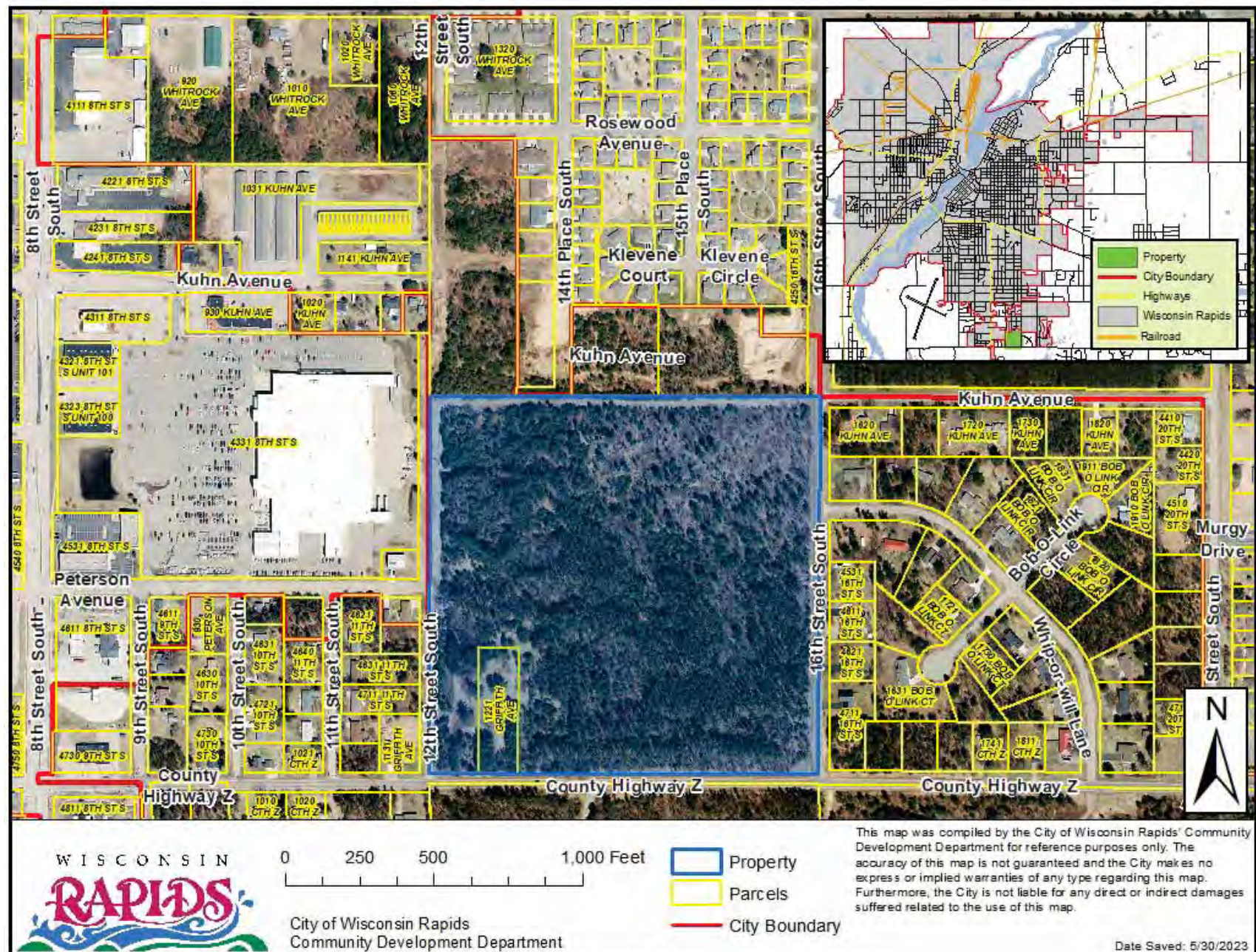
Implementation

City staff, in partnership with the private sector, can actively pursue the recommended implementation tasks below prior to and during differing phases of development.

- 1. Recommendation #1:** Maintain the property consistent with all local codes and ensure it is in an appropriate promotional state.
- 2. Recommendation #2:** Perform any necessary due diligence task related to creating a “Shovel Ready” development site.
- 3. Recommendation #3:** Identify infrastructure and utility improvements/costs for different phases of development.
- 4. Recommendation #4:** Explore assistance programs at the local, state, and federal level, and draft an assistance package for interested developers.
- 5. Recommendation #5:** Utilize the concept plan to market to developers and contractors.
- 6. Recommendation #6:** Create a development package, outlining the process for City review and approvals leading up to building permit issuance.

LOCATION

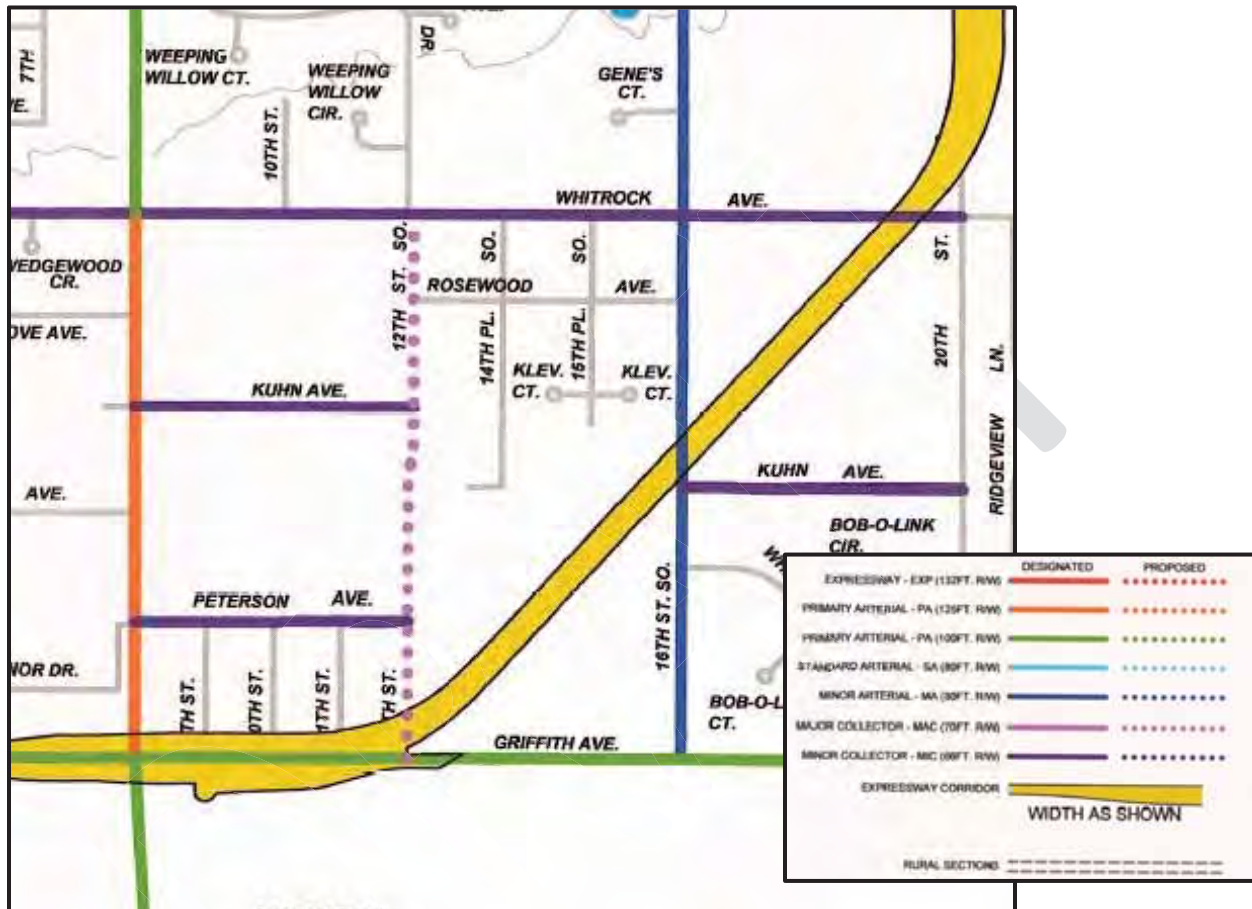
This parcel is located within the Town of Grand Rapids, but directly adjacent to the city. It is north of County Highway Z and bounded east to west by 12th Street South and 16th Street South. The property is in close proximity to many nearby amenities including Nepco Lake County Park which immediately borders the property to the south. Nepco Lake County Park is a 125-acre park that is located on the north side of 496-acre Nepco Lake. The Ridges Golf Course and Banquet facility is located within one mile and major retail shopping is also located adjacent to the site to the west.



Ingress/Egress

The existing primary access to the site is from County Highway Z or 16th Street South. However, access could occur from the east via Peterson Avenue, or from the north via 14th Place South (unimproved right-of-way).

Transportation

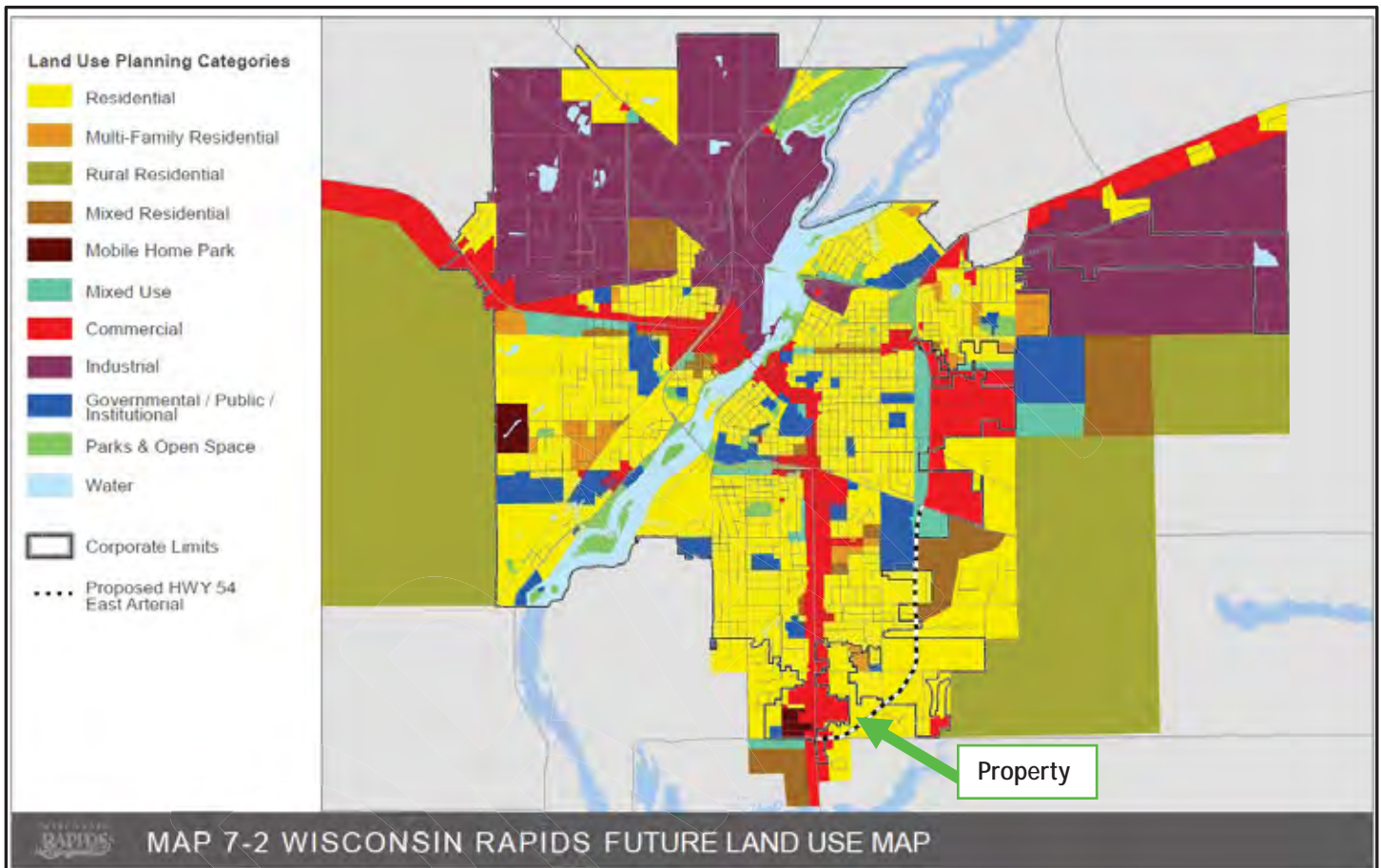


This site was included in the Wisconsin Rapids Area East Arterial Feasibility Study by WisDOT in 2009. Incorporated into that study was the proposed east arterial corridor (detailed in yellow above). However, at present no future WisDOT plans show this segment integrated into a planning process. Therefore, alternatives could be explored with WisDOT at such time that a development proposal is brought forward.

Jurisdiction and Zoning

Annexation from the Town to the City would be required prior to development, which would be considered a direct contiguous unanimous annexation by a municipality (stats 66.0223). Annexation would sever connection with adjacent Town lands, however, such lands are already considered to be islands of an irregular shape. Per Municipal Code Chapter 29, all annexed properties are temporarily zoned R-2 Mixed Residential. The property could remain R-2 Mixed Residential District or be rezoned to a more intensive residential classification.

It would likely be fitting for the densest portion of any development to start at the west and become less intensive moving eastward. However, it is also conceivable that any proposed plat would contain a mixed intensity that would fit best with the roadway configuration and existing vegetation on site. A cluster development would likely be complementary to the site where heavily wood sections could be preserved, and a possible trail system integrated. With this design, dwelling units would be clustered in the areas most conducive to development.



The City's Comprehensive Plan outlines future land use within the city and an extraterritorial area at the periphery. Land use changes and new developments should be consistent with the Plan (above). Having a mix of housing, which is well suited for the site, would require a change to the map.

Comprehensive Plan Future Land Use Designation: Residential

"Areas for typical single-family residential development, consisting of smaller lot sizes served by municipal services. This area may also include lands designated for environmental protection and compatible civic uses."

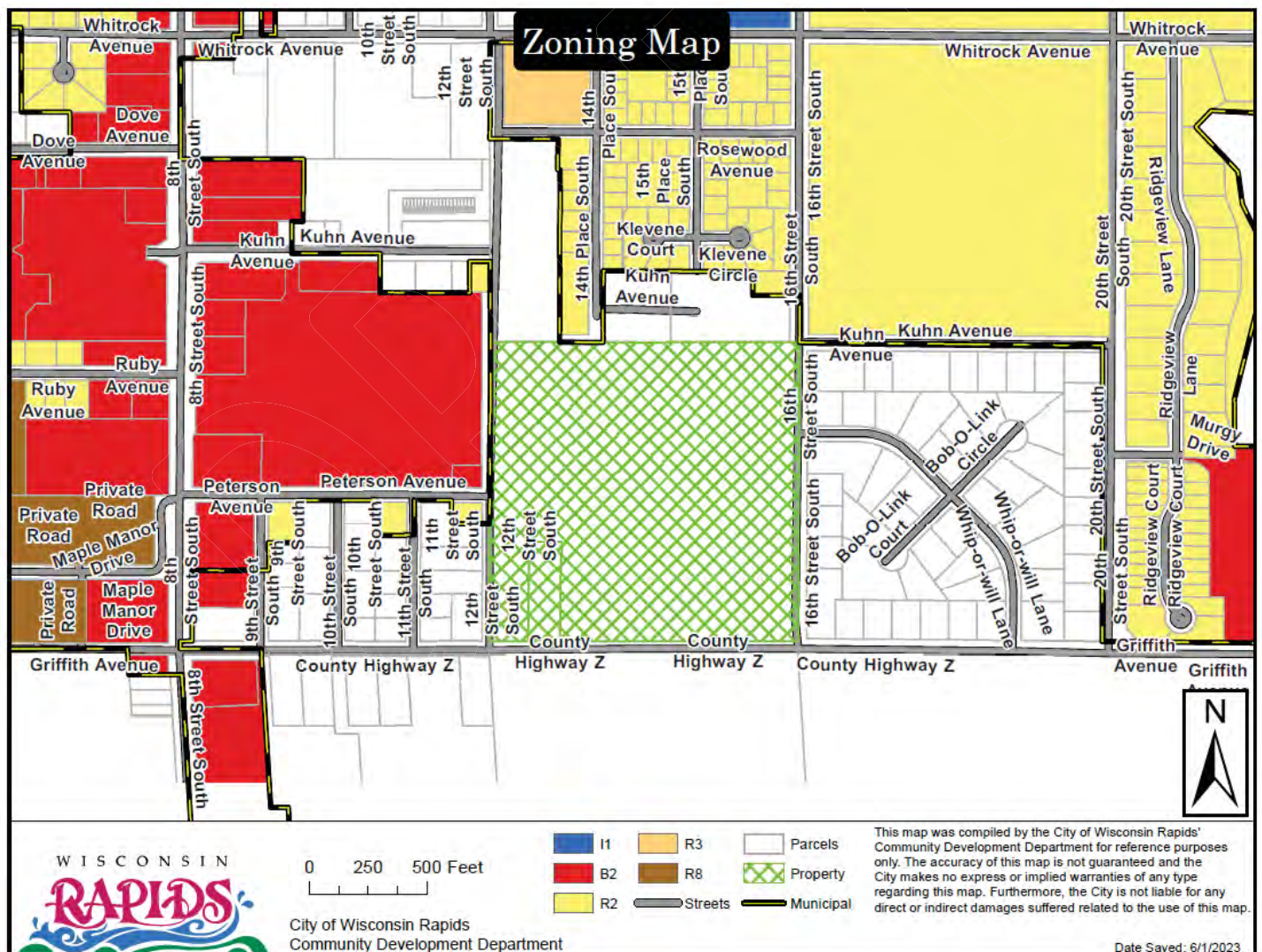
Local Zoning regulates land use activity. All zoning shall be consistent with the Comprehensive Plan. With the property being outside of the City, annexation is required, which upon annexation is zoned R-2.

Zoning: Temporarily R-2 Mixed Residential District

"This district is intended to accommodate single-family dwellings and duplex units along with compatible community and civic uses."

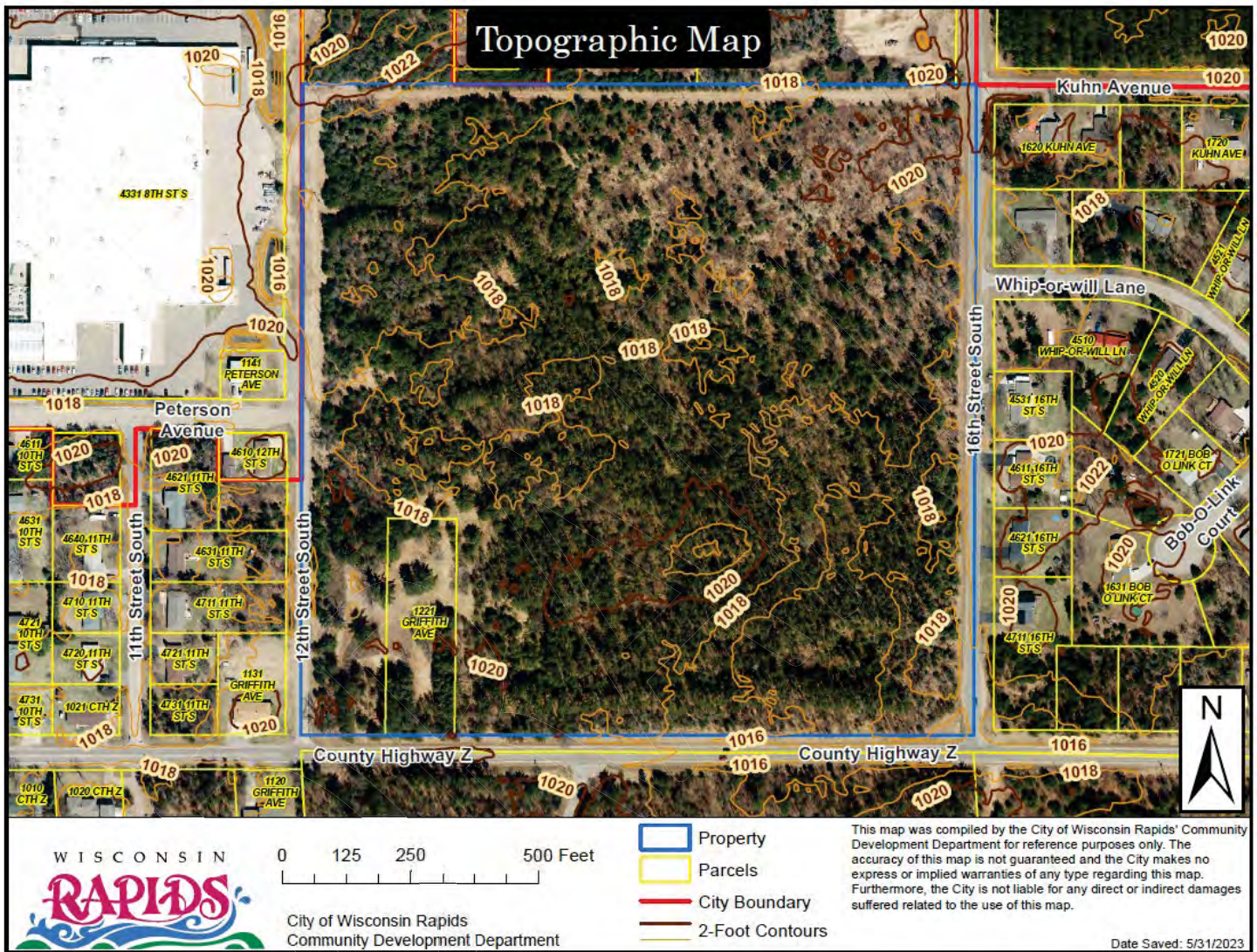
Rezoning could occur as detailed below, dependent upon the use and consistent to the Comprehensive Plan:

Zoning	Permitted Uses	Standards
R-2 Mixed Residential	Single-family, Two-family	SF 7,500 square feet minimum lot size 2F 10,000 square feet minimum lot size
R-3 Multi-Family Medium Density Residential	Two-family, Multi-family	2F 10,000 square feet minimum lot size MF 3,000 square feet per dwelling unit
R-4 High Density Residential	Two-family, Multi-family	2F 10,000 square feet minimum lot size MF 3,000 square feet per dwelling unit
B-3 Neighborhood Commercial	Mixed-Use Housing, Single Family, Low Intense Commercial	10,000 square feet minimum lot size
B-5 Mixed Use Commercial	Commercial, Light Manufacturing	20,000 square feet minimum lot size



SOILS

The site is extremely level with only minor changes in elevation (a difference of only two feet in three areas). The soil is comprised of Plainfield sand, most with 0 to 2 percent slopes.

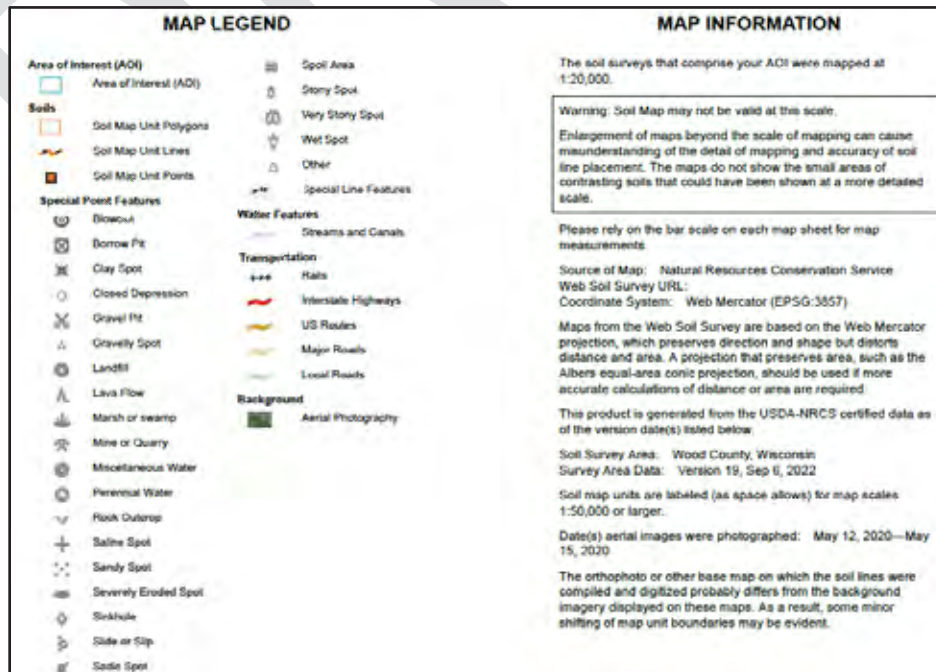


The Plainfield series consists of very deep, excessively drained soils formed in sandy drift on outwash plains, valley trains, glacial lake basins, stream terraces, and moraines and other upland areas.

Permeability is rapid or very rapid. Slopes range from 0 to 70 percent. Mean annual precipitation is about 30 inches near the type location. Mean annual temperature is about 49 degrees F. near the type location.

– Source: https://soilseries.sc.egov.usda.gov/OSD_Docs/P/PLAINFIELD.html

In summary, the site has little change in slope and the soils are well drained, making it reasonably buildable. Furthermore, no mapped wetlands exist nor any portion within the floodplain.



OTHER PLANNING DOCUMENTS

1. City of Wisconsin Rapids Housing Study and Needs Assessment – July 2016

The housing study identifies a need for a broad range of housing over the five-year period from 2016-2021. While we have surpassed this timeframe, the city has not met the forecasted demand for both single-family and multi-family residential. Moreover, the pandemic in 2020 significantly slowed both sectors of residential development, and only single-family and two-family has slowly recovered over the last two years. Housing Study recommendations SF 1-13 and MF 1-12 are just as relevant or more now, especially related to multi-family, given the economic and workforce trends in the community. See the attached action Plan Matrix from the Housing Study for more details (Appendix A).



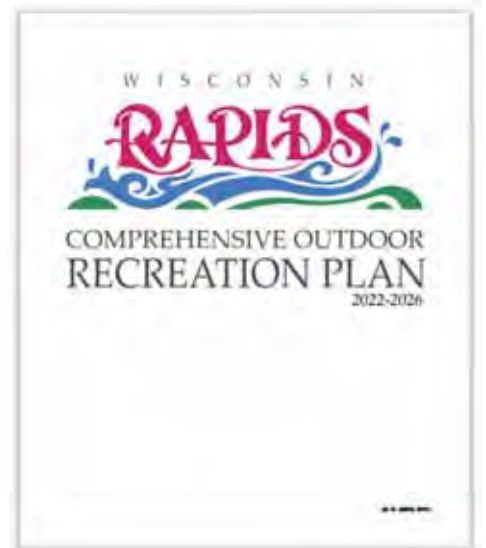
2. City of Wisconsin Rapids Comprehensive Outdoor Recreation Plan – 2022-2026

It is imperative that adequate parkland and green space exist for new dwelling units within the city. Any development should specifically align with objectives found under goal 1.2.8:

Goal 1.2.8: *Coordinate subdivision review with all departments responsible for providing or maintaining adequate park facilities.*

Objectives:

- a. *Consult and incorporate the needs identified in the CORP before subdivision plats are approved.*
- b. *Evaluate land dedicated for parks to differentiate between land appropriate for active park use, land appropriate for open space only and land requiring protection from development. Land requiring protection from development should be protected via development codes.*
- c. *Continually evaluate and update local zoning and subdivision ordinances so that they adequately address the recreational needs of residents.*
- d. *Preserve any proposed trail corridors in any review of new development.*



Additionally, many objectives identified in goals 1.2.1; 1.2.4; and 1.2.7 are pertinent to development. Lastly, the City's Subdivision Ordinance requires suitable sites of adequate area to be reserved for parks, playgrounds, and other public purposes.

CONCEPTUAL PLAN

A conceptual plan has been drafted to guide future development on the property, based on the above analysis and findings. This plan is to be used as a reference when responding to interested parties or proactively seeking out development. It is not intended to be a statutorily regulated document like the Comprehensive Plan or Zoning Ordinance. It is intended to outline an overall approach to the development for the entire Lake Woods Crossing site, ensuring consistency and cohesion for any phased development. Furthermore, the plan can be changed overtime and adjusted due to development factors and others discussed through the document.

Proposed roads and uses have been identified which are well suited to the site given several factors and findings outlined in this document. Proposed uses are identified below and primarily differ by use type and intensity.

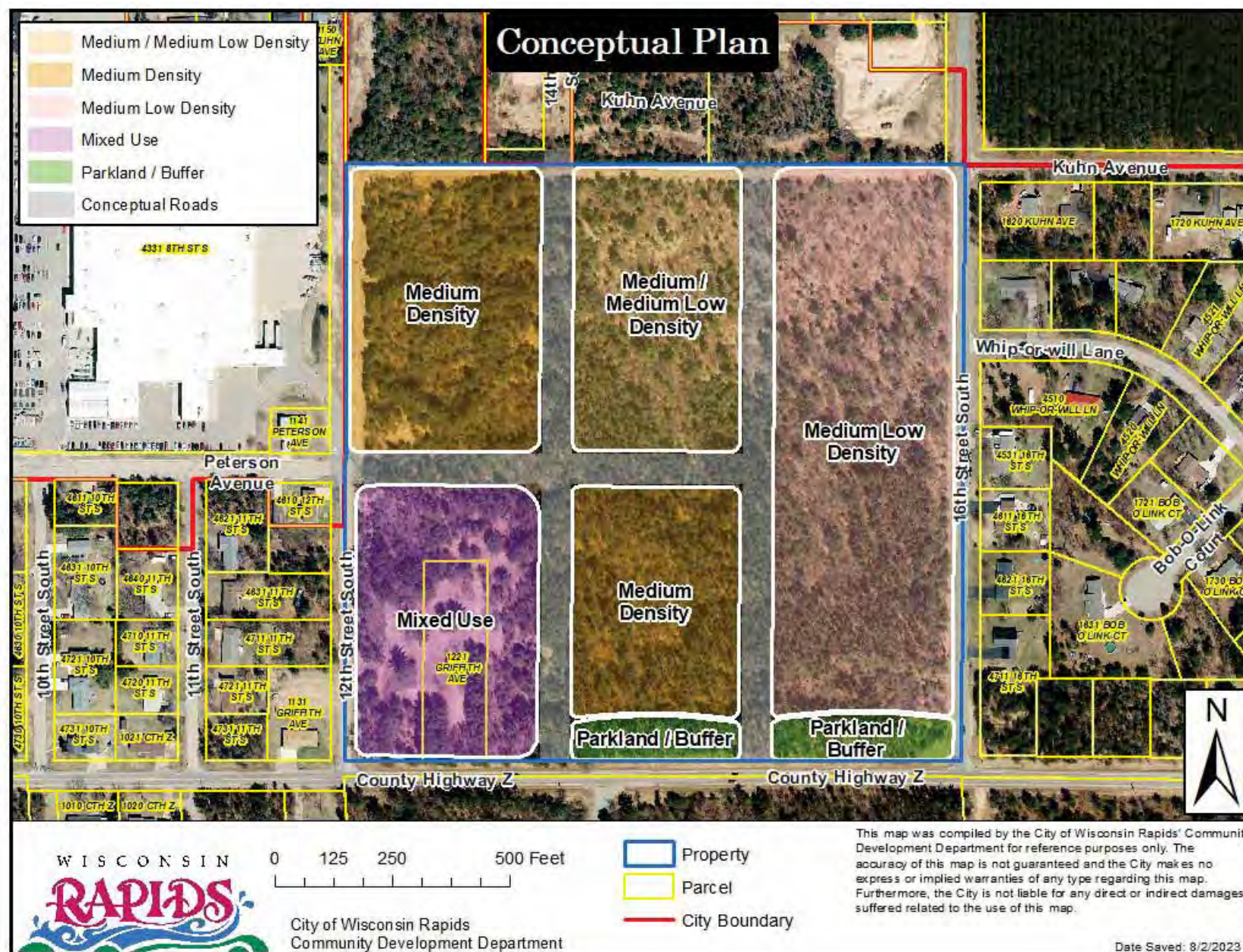
Mixed Use – Areas for a complimentary mix of residential and commercial land uses. Commercial land uses are less intense and include office, small retail, and civic uses. This area is typically utilized as a buffer between commercial and dense multi-family developments, but also in areas of high traffic.

Medium Density – Areas for multi-family uses, typically in 2-3 story buildings that average 20 dwelling units each. Multiple buildings with separate entrances and open-air parking are common development patterns.

Medium / Medium Low Density – Transitional areas between Medium Density and Medium Low Density uses, typically offer both types. It can also include unique development patterns such as quadplexes, row housing, and cluster or cottage developments. Often, any ownership is via a condominium plat.

Medium Low Density – Areas for multi-family and two-family uses, typically in 2-4 dwelling units per building. This can include zero lot line uses and attached or detached garages adjacent to each dwelling unit.

Parkland / Buffer – Areas generally in public ownership set aside for recreation and open space purposes. It is also used to buffer land uses or maintain greenspace.



The following Action Plan matrix identifies the description, time frame, and responsible parties for each recommendation. The timeframes are immediate (1-2 years), short-term (1-5 years), medium-term (1-10 years), and long-

City of Wisconsin Rapids Housing Study and Needs Assessment			
Rec ID	Description	Time frame	Responsible Parties
Single and Two Family Recommendations			
SF1	Promote and plan for 101-152 additional single-family and two-family owner and renter units over the next five years.	Short-Term	City (RDA, Plan Commission)
SF2	Promote and plan for 154-230 additional single-family and two-family owner and renter units over the next ten years (cumulative total).	Medium-Term	City (RDA, Plan Commission)
SF3	Promote and plan for 169-259 additional single-family and two-family owner and renter units over the next 15 years (cumulative total).	Long-Term	City (RDA, Plan Commission)
SF4	Establish a home improvement revolving loan fund or similar program specifically for owner-occupied housing improvements.	Immediate	City & Redeployment Authority
SF5	Establish an Owner-Occupied Purchase/ Rehabilitation Program.	Immediate	City (RDA, Plan Commission)
SF6	Create Historic District(s) to leverage rehabilitation funds.	Immediate	City
SF7	Create a two-family to a single-family conversion program.	Immediate	City (RDA, Plan Commission)
SF8	Create a raze or repair plan/procedures document for the Inspection Department to follow and distribute to landowners early in the raze or repair process.	Immediate	City (Inspection, Plan Commission, Fire, etc), Wood County
SF9	Actively coordinate enforcement of the City's Property Maintenance Code between the appropriate City of Wisconsin Rapids and Wood County agencies.	Immediate & Ongoing	City (Inspection, Plan Commission, Fire, etc), Wood County
SF10	Create and annually update educational material combining federal, state, local, nonprofit and private programs that promote homeownership.	Immediate & Ongoing	City (Inspection, Plan Commission, Fire, etc), Wood County
SF11	Continue the plan to update assessed values frequently to more closely reflect market realities.	Short-Term	City Assessor
SF12	Monitor residential lot availability and promote additional land divisions as necessary to meet the demand of the community.	Immediate & Ongoing	City Plan Commission
SF13	Monitor demand for entry-Level homes and the potential to use infill lots for affordable housing and homeownership development.	Immediate & Ongoing	City



City of Wisconsin Rapids Housing Study and Needs Assessment			
Multi-Family, Townhome, and Condominium Recommendations			
MF 1	Promote and plan 62-82 additional multi-family apartment units over the next five years.	Short-Term	City (RDA & Plan Commission)
MF 2	Promote and plan for 105-136 additional multi-family apartment units over the next ten years (cumulative total).	Medium-Term	City (RDA & Plan Commission)
MF 3	Promote and plan for an additional 132-170 multi-family apartment units over the next 15 years (cumulative total).	Long-Term	City (RDA & Plan Commission)
MF 4	Maintain an annual inventory of the number of Low-Income tax credit housing units (LIHTC), WHEDA Section 42 housing units, Section 8 Housing Choice Voucher program	Immediate & Ongoing	City, Housing Authority, & County
MF 5	Establish future benchmarks for market rate and housing assistance units within the City.	Short-Term	City & Housing Authority
MF 6	Promote and plan for 30-39 townhomes, row-homes, condos, duplex units over the next five years.	Short-Term	City (RDA & Plan Commission)
MF 7	Promote and plan for 54-68 townhomes, row-homes, condos, duplex units over the next ten years (cumulative total).	Medium-Term	City (RDA & Plan Commission)
MF 8	Promote and plan for 72-88 townhomes, row-homes, condos, duplex units over the next 15 years (cumulative total).	Long-Term	City (RDA & Plan Commission)
MF 9	Promote the development of housing choices that are appropriate for empty-nesters and young seniors, young professional, and young families.	Short-Term	City & Chamber of Commerce
MF 10	Create a Rental Registration and Inspection Program consistent with State of Wisconsin regulations.	Immediate & Ongoing	City (Inspection, Plan Commission, Fire, etc), Wood County
MF 11	Create a revolving loan fund or similar program for rental housing rehabilitation.	Short-Term	City (Finance, RDA, Plan Commission)
MF 12	Create, distribute, and annually update educational material regarding the impacts of market rate, senior, affordable, low-income, and subsidized housing.	Immediate & Ongoing	City (Plan Commission, Housing Authority) & WISCAP

City of Wisconsin Rapids Housing Study and Needs Assessment			
Rec ID	Description	Time frame	Responsible Parties
Senior Housing Recommendations			
SH 1	Monitor the need for additional independent senior living as part of a larger multifamily inventory.	Immediate & Ongoing	City, Housing Authority, Lowell Senior Center & Central Wisconsin ADRC
SH 2	Monitor the need for additional assisted living units for aging seniors as part of a larger multifamily inventory.	Immediate & Ongoing	City, Housing Authority, Lowell Senior Center & Central Wisconsin ADRC
SH 3	Monitor the need for additional specialized memory care housing as part of a larger multifamily inventory.	Immediate & Ongoing	City, Housing Authority, Lowell Senior Center & Central Wisconsin ADRC
Housing and Neighborhood Rehabilitation			
HNR 1	Working with local housing agencies, non-profits, State of Wisconsin agencies, and the private housing sector to spur rehabilitation efforts and select a pilot Neighborhood	Immediate	City, Housing Authority & WISCAP
HNR 2	Create and maintain a citywide inventory of vacant and underutilized parcels.	Immediate & Ongoing	City (RDA & Plan Commission)
HNR 3	Acquire and demolish targeted dilapidated structures.	Medium-Term	City and RDA
HNR 4	Create a strategy for targeted residential and mixed used infill redevelopment.	Immediate	City (RDA & Plan Commission)
HNR 5	Target, incentivize, and implement redevelopment efforts consistent with the targeted infill strategy and the Waterfront Master Plan.	Long-Term	City (RDA & Plan Commission)
HNR 6	Streamline the development approval and rezoning process for developments that incorporate affordable housing or are infill developments that utilize existing	Immediate & Ongoing	City (RDA & Plan Commission)
Other Housing and Property Related Initiatives			
0 1	Conduct annual or biannual community survey assessments to gauge the development and redevelopment process.	Long-Term	City (RDA & Plan Commission)
0 2	Craft or revise any existing economic development strategies to attract or retain living wage employment.	Short-Term	City (RDA, Industrial Development Commission), Chamber of Commerce
0 3	Encourage employers to be involved in addressing the housing needs of Wisconsin Rapids.	Immediate & Ongoing	City (RDA, Industrial Development Commission), Chamber of Commerce
0 4	Create a housing resource guidebook for current and potential property owners.	Immediate	City and local developer/architects
0 5	Identify and work with a local non-profit to champion "low hanging fruit" renovation assistance.	Immediate	City, Wood County and non-profits