REVISED*

PUBLIC MEETING NOTICE
SPECIAL MEETING OF THE WISCONSIN RAPIDS COMMON COUNCIL
THURSDAY, SEPTEMBER 23, 2021
IMMEDIATELY FOLLOWING THE PLANNING COMMISSION MEETING,
BUT NO EARLIER THAN 4:15 P.M.
CITY HALL COUNCIL CHAMBERS
AND VIA VIDEOCONFERENCE

Notice is hereby given of a special meeting of the Wisconsin Rapids Common Council to be held in the Council Chambers at City Hall, 444 West Grand Avenue, and via remote videoconferencing on Thursday, September 23, 2021, immediately following the Planning Commission meeting, but no earlier than 4:15 p.m. **The public may listen to the meeting by calling 1-312-626-6799, Access code: 880 3548 0782#.** The meeting will also be streamed LIVE on the City of Wisconsin Rapids Facebook page. This meeting is also available after its conclusion on the City's Facebook page and Community Media's YouTube page, which can be accessed at www.wr-cm.org. If a member of the public wishes to submit comments to the Council regarding an agenda item, please contact Mayor Blaser via email or phone at mayor@wirapids.org or 715-421-8216 before the meeting.

Agenda

1. **Call to Order**
2. **Roll Call**
3. **Consider for Adoption the Actions of the Planning Commission at its meeting held on September 23, 2021:**
   *Item added
   1. ***Extraterritorial CSM – Roger Pelot** - request for Certified Survey Map approval to create 1 lot within the Town of Rudolph. The subject property is located at 5644 Reddin Road (Parcel ID 1700556 & 1700553)
   2. **PLAN-21-0955; Wisconsin Rapids Fire Department –** public hearing and action on a request for a conditional use permit amendment to construct an addition, and perform other site improvements at Fire Station 1, 1511 12th Street South (Parcel ID 3411866)
   3. Adjourn
4. **Consider for approval the Guaranteed Maximum Price Contract with Miron Construction, including the award of trades bids and the selection of any alternate bid options, for the Fire Station 1 renovation project (See Attachment #1)**
5. **Adjournment.**

Jennifer M. Gossick, City Clerk

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at this meeting via audioconference is not possible due to a disability or other reasons, notification to the city clerk's office at least 24 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the clerk at (715) 421-8200 to request accommodations.

The minutes of the Planning Commission meeting held on September 23, 2021 will be distributed at the Common Council meeting on September 23, 2021.

PUBLISH: September 8th & September 15th, 2021

NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE that the City of Wisconsin Rapids Planning Commission will hold a **Public Hearing on Thursday, September 23, 2021 at 4:00 PM** within the Council Chambers at City Hall, 444 West Grand Avenue, Wisconsin Rapids. Participation at the public hearing can be in-person or via remote audioconferencing. **The public can also participate in the hearing by calling 1-312-626-6799 Access code: 835 8701 9565**. The meeting will also be streamed LIVE on the City of Wisconsin Rapids Facebook page. The following items will be heard and possibly acted on:

1. Public hearing and action on a request from the Wisconsin Rapids Fire Department for a conditional use permit amendment to construct an addition, and perform other site improvements at Fire Station 1, 1511 12th Street South (Parcel ID 3411866).

Further details regarding the specific requests can be obtained within the Community Development Department at City Hall, or by calling the department at 715-421-8228.

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk's office at least 48 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the Clerk at (715) 421-8200 to request accommodations.

Jennifer Gossick,
Wisconsin Rapids City Clerk

Community Development Department
City of Wisconsin Rapids
444 West Grand Avenue
Wisconsin Rapids, WI 54495
Ph: (715) 421-8228

Memo

To: Plan Commission

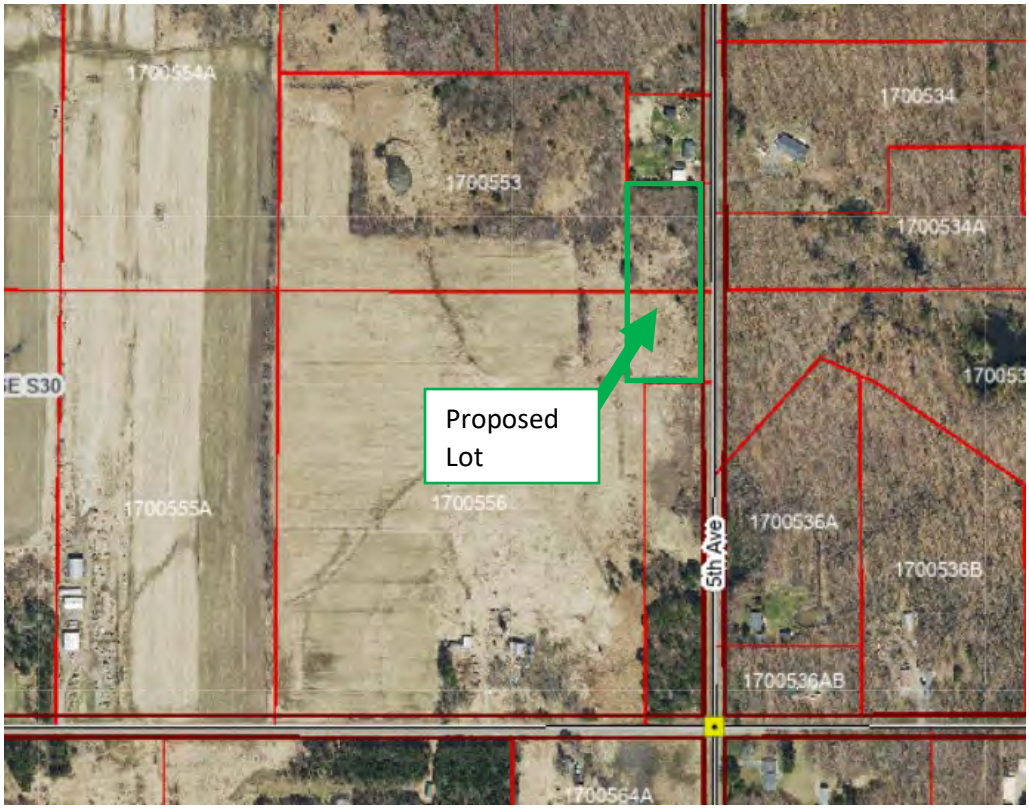
From: Kyle Kearns

Date: 09/22/2021

Subject: **Extraterritorial CSM – Roger Pelot -** request for Certified Survey Map approval to create 1 lot within the Town of Rudolph. The subject property is located at 5644 Reddin Road (Parcel ID 1700556 & 1700553)

The CSM requested is to create 1 lot, 3.178 acres in size, with frontage on 5th Avenue. The surrounding area has a mix of lot sizes ranging from 20 to 40 acres for undeveloped lots, and 3-20 acres for developed lots. Furthermore, the property is over a mile from the City's northern corporate boundary. The City's Comprehensive Plan future land use map does not specifically identify the area; however, the city exercises extra-territorial review. The area in question is sparsely developed, likely due to the presence of wetlands and other natural features which limit development. For this reason, the northwest side of the city is not a likely area for future growth. Therefore, staff would recommend approval of the extraterritorial plat.

Vicinity Map

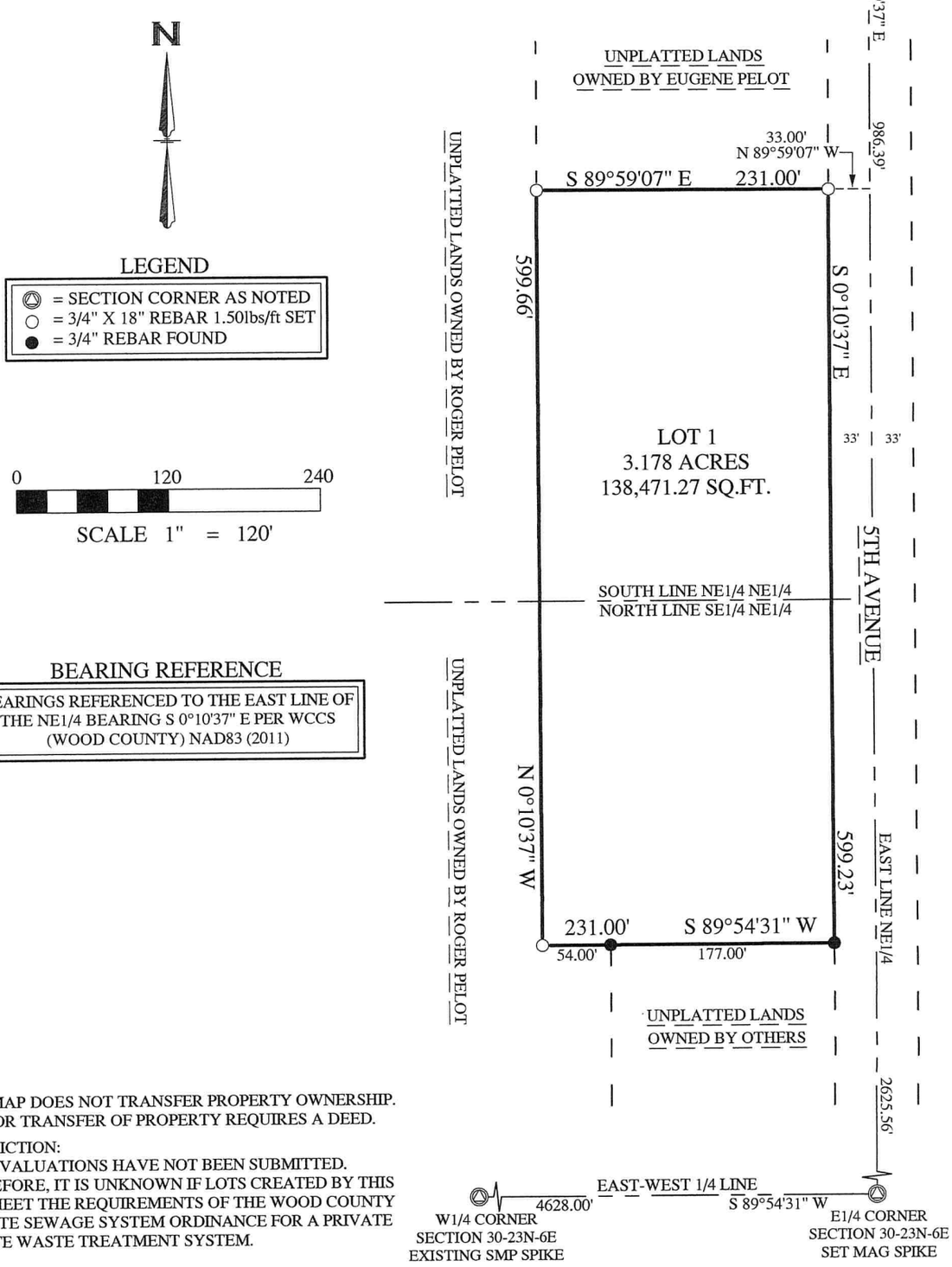


CERTIFIED SURVEY MAP
WOOD COUNTY NO._____
VOL._____PAGE_____

PART OF THE NE1/4 OF THE NE1/4 AND PART OF THE SE1/4 OF THE NE1/4 OF SECTION 30, TOWNSHIP 23 NORTH, RANGE 6 EAST, TOWN OF RUDOLPH, WOOD COUNTY, WI.

NORTHCENTRAL LAND SURVEYING, LLC
163957 OWL RIDGE ROAD, WAUSAU, WISCONSIN 54403
WEBSITE: www.NorthCentralLandSurveying.com
PHONE: 715-297-8343
EMAIL: JasonPflieger@gmail.com
DRAFTED & DRAWN BY: JASON J. PFLIEGER
OWNER OF PROPERTY: ROGER PELOT
SURVEY PREPARED FOR: EUGENE PELOT
DATE OF FIELDWORK: 8/25/2021
FILE NUMBER: 2021107 PELOT

PAGE 1 OF 2



BEARING REFERENCE

BEARINGS REFERENCED TO THE EAST LINE OF THE NE1/4 BEARING S 0°10'37" E PER WCCS (WOOD COUNTY) NAD83 (2011)

NOTE:
THIS MAP DOES NOT TRANSFER PROPERTY OWNERSHIP. SALE OR TRANSFER OF PROPERTY REQUIRES A DEED.

RESTRICTION:
SOIL EVALUATIONS HAVE NOT BEEN SUBMITTED. THEREFORE, IT IS UNKNOWN IF LOTS CREATED BY THIS MAP MEET THE REQUIREMENTS OF THE WOOD COUNTY PRIVATE SEWAGE SYSTEM ORDINANCE FOR A PRIVATE ON-SITE WASTE TREATMENT SYSTEM.

CERTIFIED SURVEY MAP
WOOD COUNTY NO._____
VOL._____ PAGE_____

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PAGE 2 OF 2

SURVEYORS CERTIFICATE

I, JASON J. PFLIEGER, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT AT THE DIRECTION OF EUGENE PELOT, I SURVEYED, MAPPED AND DIVIDED PART OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER AND PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 23 NORTH, RANGE 6 EAST, TOWN OF RUDOLPH, WOOD COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 30; THENCE S 0°10'37" E ALONG THE EAST LINE OF THE NORTHEAST QUARTER, 986.39 FEET; THENCE N 89°59'07" W 33.00 FEET TO THE WEST LINE OF 5TH AVENUE AND TO THE POINT OF BEGINNING; THENCE S 0°10'37" E ALONG THE WEST LINE OF 5TH AVENUE, 599.23 FEET; THENCE S 89°54'31" W 231.00 FEET; THENCE N 0°10'37" W 599.66 FEET; THENCE S 89°59'07" E 231.00 FEET TO THE POINT OF BEGINNING. SUBJECT TO ALL EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS OF WAY OF RECORD AND USE.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION AND THE CERTIFIED SURVEY MAP THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH SECTION 236.34 OF THE WISCONSIN STATUTES IN SURVEYING, MAPPING AND DIVIDING THE LANDS, CHAPTER A-E 7 OF THE WISCONSIN ADMINISTRATIVE CODE AND THE LAND DIVISION ORDINANCE OF WOOD COUNTY AND THE TOWN OF RUDOLPH, ALL TO THE BEST OF MY KNOWLEDGE AND BELIEF IN SURVEYING, DIVIDING AND MAPPING THE SAME.

DATED THIS 30TH DAY OF AUGUST, 2021

_____
JASON J. PFLIEGER P.L.S. 3148-8

APPROVED FOR RECORDING UNDER THE TERMS OF THE WOOD COUNTY LAND DIVISION REGULATIONS.

BY:_____

DATE:_____

Administrative Staff Report

Conditional Use: Addition
Plan Commission Review
1511 12th Street S.
September17, 2021

WISCONSIN RAPIDS

Department of Community Development

Applicant(s):

- Wisconsin Rapids Fire Department

Staff:

- Kyle Kearns, Director of Community Development

Parcel Number(s):

- 3411866

Lot Information:

- Acreage: 2.15 Acres

Zone(s):

- "I-1" Institutional District

Council District:

- District 8

Master Plan:

- Institutional

Current Use:

- Institutional

Applicable Regulations:

- Chapter 11 - Zoning

Request

PLAN-21-0955; Wisconsin Rapids Fire Department – public hearing and action on a request for a conditional use permit amendment to construct an addition, and perform other site improvements at Fire Station 1, 1511 12th Street South (Parcel ID 3411866).

Attachment(s)

1. Application
2. Plans

Findings of Fact

1. The property is currently used for a Public Safety Use – Fire Station.
2. The request is to add an addition onto the Fire Station and perform other site improvements.
3. The property is zoned "I-1" Institutional District
4. Public Safety Facilities are a conditional use within the Institutional district; any changes to the site requires an amendment.

Staff Recommendation

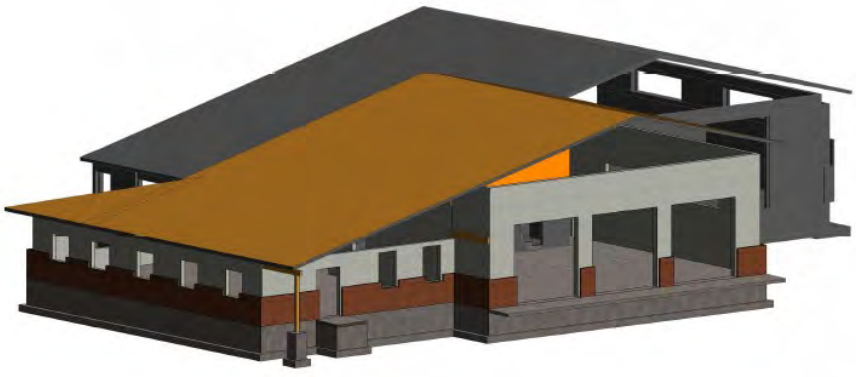
Approve the request from the applicant for a conditional use permit amendment to construct an addition, and perform other site improvements at Fire Station 1, 1511 12th Street South (Parcel ID 3411866), subject to the following conditions:

1. The impervious surface ratio shall not exceed 65% on the site.
2. Applicable parking lot dimensional standards shall be met.
3. A landscaping plan shall be submitted, meeting applicable standards, to be reviewed and approval by the Community Development Department.
4. All exterior façade materials shall match to the greatest extent possible the color and texture of the existing building.
5. A lighting plan shall be submitted, meeting applicable standards, to be reviewed and approved by the Community Development Department.
6. Applicable building and stormwater permits, state and local, shall be obtained.
7. Minor modifications to the plan shall be permitted to be reviewed and approved by the Community Development Department.

Vicinity Map

Background

The Wisconsin Rapids Fire Department is requesting an addition in order to expand and improve operations at the fire station. Additionally, the addition (approx. 4,000 sq.ft.) will create safer parking and driving accommodations, as well as gender equitable spaces internally. The fire station use is considered a Public Safety Facility in the code and is considered a conditional use within the Institutional zoning district.



The conditional use permit standards of review are analyzed below, and more information can be found within the attached application and plans.

Conditional Use Permit Standards of Review

11.05.55 Basis of decision

Generally. When reviewing conditional uses other than nonconforming conditional uses, the review authority shall consider the following factors:

1) **the size of the parcel on which the proposed use will occur;**

   Analysis: The property is currently being utilized for the fire station, which includes vehicle bays, parking, and accessory structures. Furthermore, the proposed improvements assist in allowing the department to improve their level of service.

   Findings: The fire station property is slightly over two acres, much of which is hardscape or greenspace. The addition onto the southeast side of the building will primarily be on grass or impervious surface areas and should not be detrimental to the use.

2) **the presence of and compatibility with other uses on the subject property, if any;**

   Analysis: The fire station use and any accessory uses already exist on the property.

   Findings: The proposed improvements should not increase, change, or impact traffic, pedestrian access, or other uses. Furthermore, they should, compliment the use and should not be detrimental to such use.

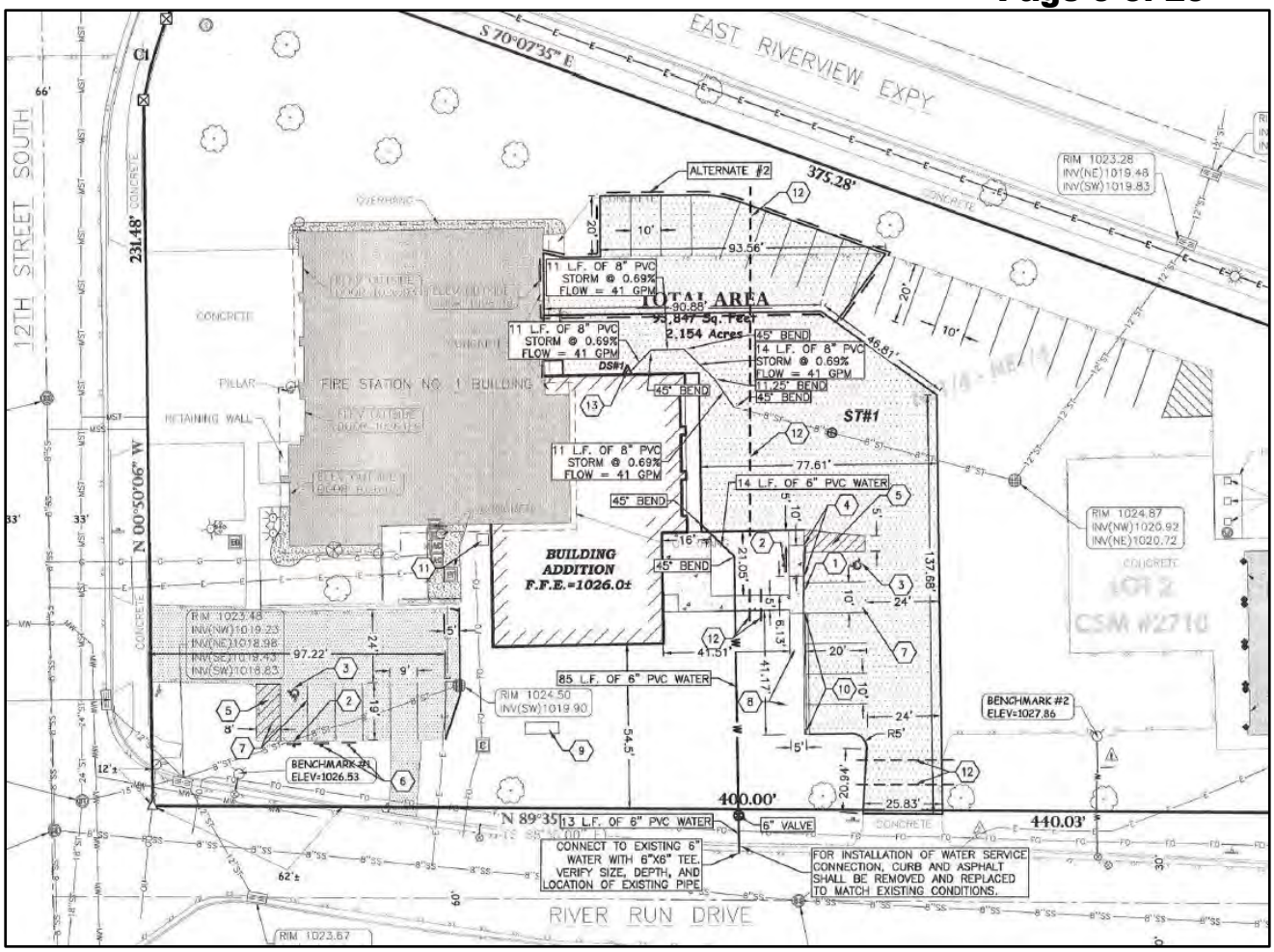
3) **the location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses);**

   Analysis: See the above analysis and findings. The proposed improvements will occur on southeast side of the building, in an area where grass and hard surface primarily exists. Commercial office type uses exists to the south, and multi-family residential to the east. Additionally, the improvements will allow for better internal operations for staff, but also increase vehicle and equipment storage.

   Findings: While the addition will expand the building closer to the adjacent street (River Run Drive), it will match the existing building lines and is well outside of the required setbacks. The intensity of the use may slightly increase on site due to the addition but should not increasingly impact the adjacent uses negatively.

4) **effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;**

   Analysis: See analysis and findings above regarding the addition location. It is important to note that access will not change to the fire station. Driveways will remain on 12th Street South and River Run Drive, but they will be to access separate parking areas. Previously the parking areas were joined, but now a visit parking area is proposed from 12th Street South. Vehicle parking for visitors will be separate from fire department staff and emergency vehicles, as well as any training on site.



Findings: Traffic should not negatively be impacted by the addition nor pedestrian access and accommodations. The proposed site plan should increase safety of patrons to the site, by separating the parking areas.

5) the suitability of the subject property for the proposed use;

Analysis: See the above standards regarding lot size and other site specifics. The applicant has described the use further within the application.

Findings: The addition and site improvements will improve the operations of the fire station as well as the aesthetics of the building and overall level of service.

6) effects of the proposed use on the natural environment;

Analysis: The addition is proposed within an underutilized greenspace area and improved impervious area. Exterior mechanical equipment and a generator currently exist within the addition area and will be relocated.

Findings: Greenspace is being lost with the addition, but due to the separated parking, some greenspace will be gained south of the addition. Staff would recommend that the maximum impervious surface not exceed 65 percent on the site.

7) effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances;

Analysis: See the above analysis'. Again, the use already exists on the property, but would be expanded.

Findings: The use is on a property where it already occurs, and the improvements should not negatively increase the intensity of the use. Furthermore, the property lies on a main arterial street, surrounded by three frontages, where multiple land uses, and zoning classifications exist.

8) **effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts; and**

Analysis: The surrounding area is nearly fully developed. Vacant land to the south exists, as well as outlots for development to the west in front of the former Shopko building.

Findings: The building addition should not impede the normal development and improvement of the surrounding area, as it will likely be commercial in nature.

9) **any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.**

Analysis: Notices regarding the request were sent to neighbors within a 300-foot boundary of the property.

Findings: Concerned citizens can attend the meeting and provide input at the public hearing. As of the date of this memo, no communication from neighbors or members of the public have been received.

Site Plan & Architectural Standards of Review

1) **Use**

Analysis: A fire station is defined as a public safety facility which is a conditional use within the I-1 Institutional District.

Findings: See the Conditional Use Permit standards above. Note that a building plan – architectural review (AR), plan of operation (PO), site plan review (SP), and zoning permit (ZP) are also required for the project.

2) **Dimensional Standards**

Analysis: The I-1 district requires 30,000 square feet, and the lot is 2.15 acres. Building setbacks for the addition appear to meet the minimums (25-foot street and 10-foot side and rear). The building coverage ratio (max. 45%) is clearly met, however impervious surface ratio (max 65%) may be fairly close.

Findings: The applicable dimensional standards appear to be met, except for the impervious surface ratio. Staff would recommend the maximum impervious surface ratio be met.

3) **Ingress/Egress**

Analysis: The existing driveways on 12th Street South and River Run Drive Street will remain They will no longer connect internally and will be for accesses separate parking areas.

Findings: Driveway standards are met, as the addition does not change ingress/egress to the site.

4) **Parking**

Analysis: The proposed development changes the parking onsite, as referenced previously. A total of 29 parking stalls exist on the property, and 31 stalls are proposed. The following parking is required for the use:

Parking Requirements: 1 space for each 500 gross square feet of office area; 1 space for each employee on the largest work shift; plus 1 space for each vehicle normally parked on the premises

Findings: The office area requires two stalls, and the proposed facility has accommodations for 7 overnight staff. The largest work shift varies, but likely would never exceed the existing stalls onsite. The parking ratio

requirements are met, however dimensional standards are not met. Staff would require that all dimensional standards be met for the development, including total parking widths (aisles + stalls). For example, the total width of a two-way drive aisle and a single row of 90-degree parking shall be 44.5 feet.

5) Landscaping

Analysis: A landscaping plan has not been submitted. The following are required for the proposed addition:

Frontage Landscaping: A minimum of 60 landscape points shall be provided along a public street right-of-way on a prorated basis for every 100 linear feet of frontage.

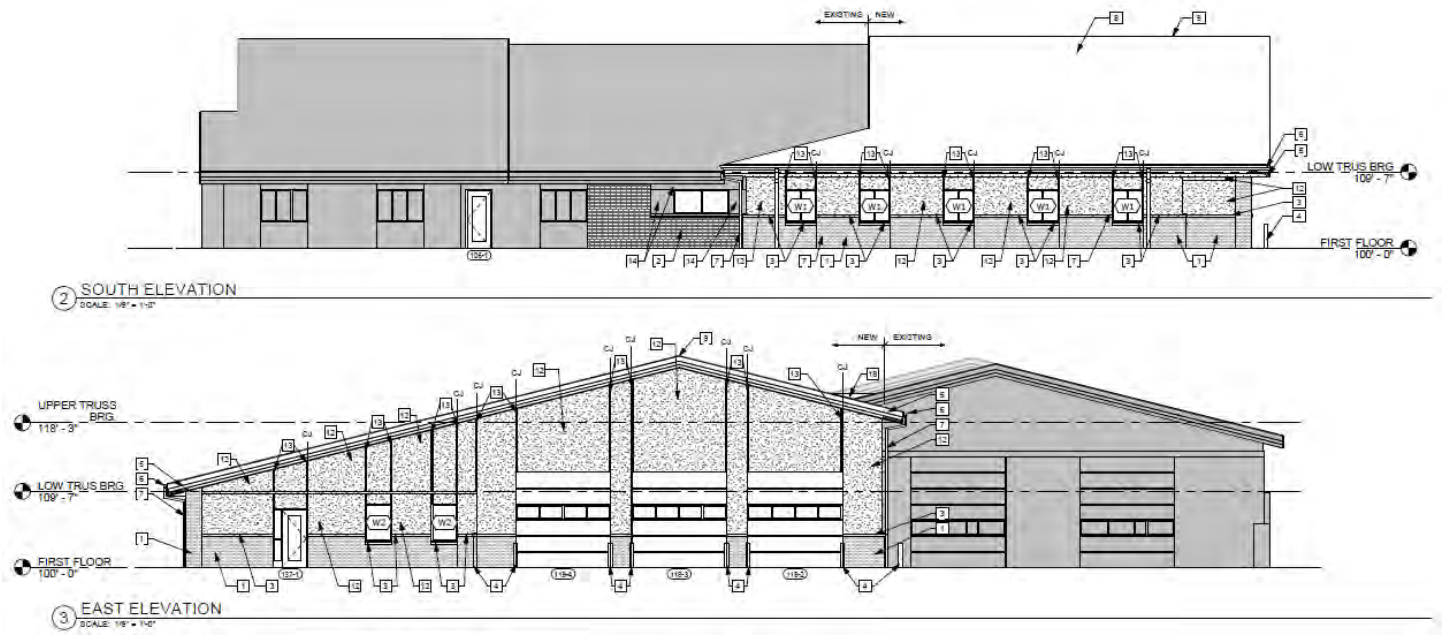
Building Landscaping: A minimum of 40 landscape points shall be provided on a prorated basis for every 100 feet of building foundation perimeter.

Parking Landscaping: A minimum of 100 landscape points shall be provided on a prorated basis for every 10,000 square feet of paved area.

Findings: Note that existing landscaping can be counted toward the total requirement. Staff would recommend a landscaping plan to be submitted for review and approval by the Community Development Department.

6) Architectural Review

Analysis: The proposed addition has a great deal of architectural features and façade materials. Most noticeable are the proposed brick and brick veneer, and EIFS which make up a majority of the façade. Windows are also space along the southern and easter façade. Garage doors are proposed to face east, internal to the property. Lastly, an asphalt roof is proposed, which will match the existing roof.



Findings: Overall, the design and architecture of the fire station addition is impressive and will match the existing building well. The massing and scale match that of the existing building, which is evident on the above renderings. The addition should blend well with the existing building and fit within the character of the neighborhood. Staff would recommend that to the greatest extent possible, all façade materials match in color and texture to the existing building.

7) Lighting & Photometric Plan

Analysis: A lighting and photometric plan have not been submitted

Findings: Staff would recommend a lighting plan to be submitted, meeting applicable standards, to be reviewed and approved by the Community Development Department.

In summary, the proposed use should not be detrimental to the neighborhood and seems appropriate for the area and property, as it is not a substantial change to the existing use. Furthermore, the intensity of the use is not significantly increasing, but will allow for better fire department operations efficiency amongst the use. Proposed exterior materials will match those found on the existing building and blend together appropriately. After review, staff would recommend approving the conditional use permit amendment to construct an addition at the fire station as proposed, subject to the conditions outlined on page 1.

Photos

Conditional Use Application
City of Wisconsin Rapids, Wisconsin

Version: January 3, 2019

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The City's zoning regulations identify land uses that may be allowed in each of the zoning districts either by right or as a conditional use. By definition, a conditional use is a land use that may or may not be appropriate on a given parcel depending on a wide range of factors that relate to the proposed use and the particular circumstances relating to the parcel and surrounding properties. Conditional uses are therefore considered on a case-by-case basis. As part of the review process, the Planning Commission and Common Council conduct a joint public hearing to solicit input from the general public and other interested parties. When reviewing conditional use applications, the Planning Commission serves in an advisory capacity to the Common Council, which makes the final decision. The recommendation of the Planning Commission and the decision of the Village Board are based on the evidence and testimony received as part of the application and through the public hearing process.

If you submit an application, do not contact any member on the Planning Commission or the Common Council until after a final decision has been made.

Office Use Only

Date Received	
Received By	
Fee	
Case #	
Aldermanic District	
Plan Commission Date	

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at https://wisconsinrapids.zoninghub.com/

Application fee: $250.00 for principal and accessory uses; $100.00 for temporary uses and $50.00 for administrative renewals

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Alderperson notification Before you submit your application, you will need to send a letter to the Alderperson of the district of where the request is taking place, explaining the request. Please attach the notification letter with your application materials.

1. **Applicant information**

Applicant name	Wisconsin Rapids Fire Department
Street address	1511 12th Street S
City, state, zip code	Wisconsin Rapids, WI 54494
Daytime telephone number	715-423-1150
Email	Lisitza, Mike <mlisitza@wirapids.org>

2. **Agent contact information** Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Agent 1	Agent 2
Name	Laura Eysnogle	David Keating
Company	Wendel Companies	Miron Construction
Street address	800 Wisconsin Street, Bld 4, Suite 200	3402 Oakwood Mall Drive, Suite 200
City, state, zip code	Eau Claire, WI 54703	Eau Claire, WI 54701
Daytime telephone number	715-832-4848	715-598-5710
Email	leysnogle@wendelcompanies.com	david.keating@miron-construction.com

3. Type of application (select one)

☐ New conditional use

☐ Yes ■ No Are there any other current conditional use approvals for the property?

If yes, provide the year of issuance and a short description.

■ An amendment of a previously approved conditional use

4. Subject property information

Physical address 1511 12th Street S. Wisconsin Rapids, WI 54494

Parcel number(s) 2710

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

☑ No
☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

☑ No
☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to https://wisconsinrapids.zoninghub.com/zoningmap.aspx)

The subject property is located in the following base zoning district(s). (check all that apply)

☐ RR Rural Residential	☐ R-8 Manufactured Home Park	☐ M-1 General Industrial
☐ R-1 Single-family Residential	☐ B-1 Downtown Commercial	☐ M-2 Heavy Industrial
☐ R-2 Mixed Residential	☐ B-2 General Commercial	■ I-1 Institutional
☐ R-3 Multi-family Medium Density Residential	☐ B-3 Neighborhood Commercial	☐ P-1 Park and Recreation
☐ R-4 Multi-family High Density Residential	☐ B-5 Mixed Use Commercial	☐ C-1 Conservancy

The subject property is also located in the following overlay zoning district(s). (check all that apply)

☐ Planned Development (PDD)	☐ Shoreland	☐ Floodplain
☐ Downtown Design	☐ Shoreland-Wetland	☐ Wellhead Protection

6. **Current use** Describe the current use of the subject property.

Public Safety Facility

7. **Proposed use** Describe the proposed conditional use or the proposed amendment.

This project is an addition to the existing Public Safety Facility. Use will remain the same.

8. **Evaluation criteria** The factors listed below will be used in evaluating this application. Your responses are important.

1. The size of the parcel on which the proposed use will occur.

2.154 Acres / 93,847 Square Feet

2. The presence of and compatibility with other uses on the subject property if any.

This is an addition to the existing facility with use remaining the same.

3. The location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses).

An addition to the south and east of the existing facility. Land used for this addition is currently grass and parking lot for the facility.

4. Effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site.

Current return drive to the public safety facility will now accommodate both return of all apparatus and the response of ambulance apparatus onto River Run Drive. Pedestrian circulation off-site impact will be minimal as there isn't a sidewal for the apparatus to cross. On-site impact will be improved as visiting parking will be separated from staff parking.

5. The suitability of the subject property for the proposed use.

Use and staffing will remain the same. Staff will be allowed more room with gender equitable spaces internally. Apparatus count will remain the same with safer parking and driving accommodations.

6. Effects of the proposed use on the natural environment.

Negative impacts of the natural environment will be minimal. The facility will be constructed on mowed lawn and pavement. To balance lost lawn, a portion of existing pavement will be removed, with grass seeded in its place.

7. Effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances.

Use and hours of operations will remain as is - no additional impact to surrounding properties.

8. Effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts.

Use will remain as is - no additional impact to surrounding properties.

9. Any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.

9. Supplemental materials Attach the following to this application form.

1. A project map with the information listed in Appendix F of the zoning code.
2. Proposed construction plans (if applicable)
3. The letter you sent to the Alderperson for the district in which the project is located.

10. Attachments List any attachments included with your application.

Complete set of plans for construction.

11. Other information You may provide any other information you feel is relevant to the review of your application.

12. Mandatory meeting with staff

When did you meet with the Community Development Director? _____ Month/year

13. Applicant certification

- I understand that I, or any of my agents, may not discuss this application with any member of the Planning Commission or the Common Council until after a final decision is rendered.
- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

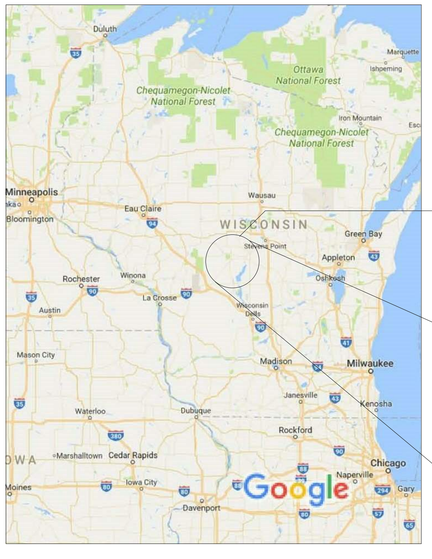
Name – print	Name – Signature	Date
Scott Howe		9-14-21

Name – print	Name – Signature	Date

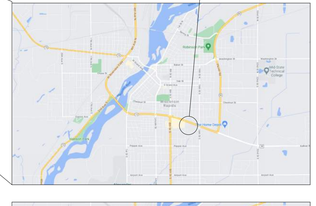
CITY OF WISCONSIN RAPIDS

WISCONSIN RAPIDS STATION 1
WISCONSIN RAPIDS STATION 2 (ALT No.1)

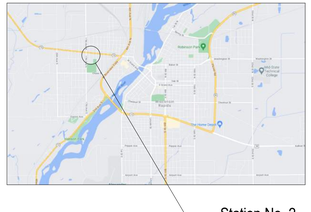
FOR CONSTRUCTION
08-31-2021



PROJECT LOCATION



Station No. 1
1511 12th Street
Wisconsin Rapids, WI 54494



Station No. 2
1641 W Grand Ave,
Wisconsin Rapids, WI 54495

ALTERNATE LEGEND		
ALTERNATE #1	REFER TO SHEETS AD104, A103	ADD ALTERNATE TO RENOVATE TOILET ROOMS AT STATION NO.2
ALTERNATE #2	REFER TO CIVIL	ADD ALTERNATE - ADD CONCRETE PARKING PAD ON EAST SIDE OF BUILDING, NORTH OF EXISTING PARKING LOT
ALTERNATE #3	REFER TO ELECTRICAL	ADD ALTERNATE TO REPLACE EXISTING ELECTRICAL PANEL AND EXISTING LIGHTING IN APPARATUS BAY.
ALTERNATE #4	REFER TO MECHANICAL	ADD ALTERNATE TO CLEAN EXISTING F-1 AND F-2 DUCT SYSTEMS, AND EXISTING APPARATUS BAY SYSTEM IN Rm. 109 SEE SPEC. SECTION 230130.51.
ALTERNATE #5	REFER TO SHEET A150	ADD ALTERNATE TO RE-ROOF EXISTING BUILDING AND CAP ALL ABANDONED ROOF PENETRATIONS BELOW DECK

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Wendel Project No. 440901

* ALTERNATE NO.1 IS A MINOR REMODELING PROJECT AT A DIFFERENT FACILITY. REVIEW IS NOT REQUIRED BY DSPS.

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C102 LAYOUT AND STANDARD PLAN
C103 GRADING & EROSION CONTROL PLAN
C104 DETAILS

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S103 TYPICAL WOOD SECTIONS / DETAILS
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S202 ROOF FRAMING PLAN
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AD102 DEMOLITION ROOF PLAN
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A150 ROOF PLAN
A201 ENLARGED PLANS & WALL TYPES & STANDARD MOUNTING HEIGHTS
A301 EXTERIOR ELEVATIONS
A350 BUILDING SECTIONS
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A404 WALL SECTION / DETAILS
A601 INTERIOR ELEVATIONS
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A903 DOOR AND WINDOW DETAILS

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FP102 REMODEL ATTIC FLOOR PLAN

PLUMBING
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CITY OF WISCONSIN RAPIDS

WISCONSIN RAPIDS STATION 1
WISCONSIN RAPIDS STATION 2
(ALT No.1)

FOR CONSTRUCTION

WISCONSIN
JENNIFER A POLACEK
12878-5
FALL CREEK,
8/31/2021
ARCHITECT

wendel
Five Bugles Design™

ARCHITECT
WENDEL
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JENNIFER POLACEK, AIA
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CONSTRUCTION MANAGER
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DAVID KEATING
3402 OAKWOOD MALL DR., SUITE 200
EAU CLAIRE, WI 54701
715.598.5710
david.keating@miron-construction.com

PLUMBING FIXTURE COUNTS

OCCUPANT TOTALS B = 36 R-3 = 8 S-2 = 41	USE GROUP B FIRST 50	USE GROUP B FIRST 80	USE GROUP B	USE GROUP R-3	USE GROUP S-2	SUBTOTAL REQUIRED	TOTAL REQUIRED	TOTAL PROVIDED
WATER CLOSETS	1 PER 25 1.44			1 PER 10 0.9	1 PER 100 0.41	2.75	3	4
LAVATORIES		1 PER 40 0.9		1 PER 10 0.9	1 PER 100 0.41	2.21	3	4
SHOWERS				1 PER 8 1		1	2	3
DRINKING FOUNTAINS			1 PER 100 0.35	1 PER 100 0.08	1 PER 1,000 0.0041	0.4341	1	2
SERVICE SINKS			1		1	2	2	3

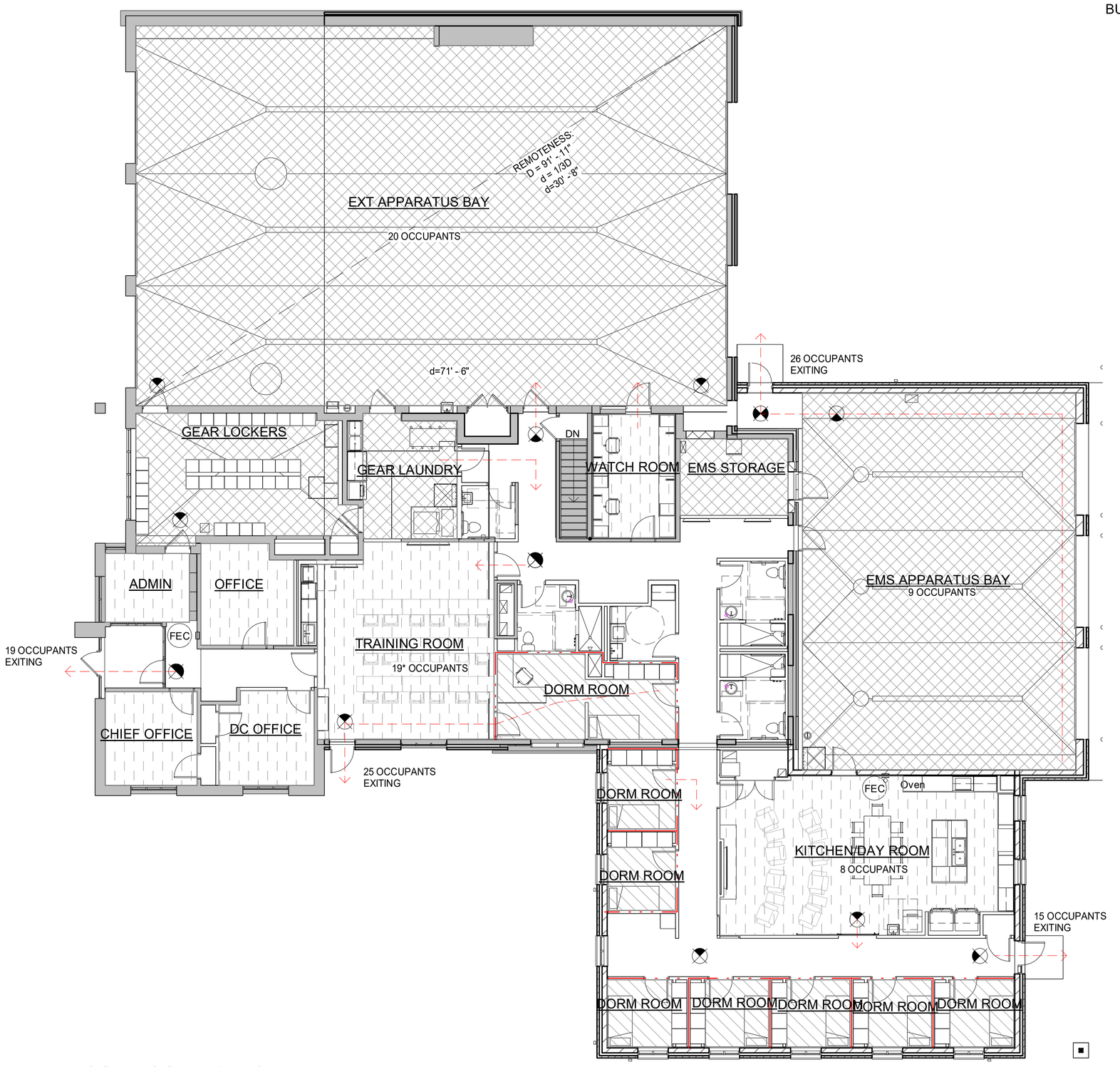
CODE SYMBOL LEGEND:

EXIT LIGHT

FE FEC — FIRE EXTINGUISHER / FIRE EXTINGUISHER CABINET

PATH OF TRAVEL

1/2 HOUR RATED FIRE PARITION



1 CODE COMPLIANCE PLAN
SCALE: 1" = 10'-0"

OCCUPANCY LOAD CHART

FUNCTION OF SPACE	AREA	AREA PER OCCUPANT	OCCUPANCY LOAD	LEVEL	COMMENTS
B					
ADMIN	99 SF	100 SF	1	FIRST FLOOR	
CHIEF OFFICE	147 SF	100 SF	2	FIRST FLOOR	
DC OFFICE	149 SF	100 SF	2	FIRST FLOOR	
OFFICE	155 SF	100 SF	2	FIRST FLOOR	
WATCH ROOM	173 SF	100 SF	2	FIRST FLOOR	
KITCHEN/DAY ROOM	693 SF	SEE NOTE	8	FIRST FLOOR	BASED ON FURNITURE LAYOUT AND USE
TRAINING ROOM	580 SF	SEE NOTE	19	FIRST FLOOR	BASED ON FURNITURE LAYOUT AND USE
			36		
R3					
DORM ROOM	72 SF	120 SF	1	FIRST FLOOR	R3 - 16 OR FEWER
DORM ROOM	220 SF	SEE NOTE	1	FIRST FLOOR	R3 - 16 OR FEWER. OCCUPANT COUNT BASED ON FURNITURE AND USE
DORM ROOM	74 SF	120 SF	1	FIRST FLOOR	R3 - 16 OR FEWER
DORM ROOM	74 SF	120 SF	1	FIRST FLOOR	R3 - 16 OR FEWER
DORM ROOM	74 SF	120 SF	1	FIRST FLOOR	R3 - 16 OR FEWER
DORM ROOM	72 SF	120 SF	1	FIRST FLOOR	R3 - 16 OR FEWER
DORM ROOM	72 SF	120 SF	1	FIRST FLOOR	R3 - 16 OR FEWER
DORM ROOM	73 SF	120 SF	1	FIRST FLOOR	R3 - 16 OR FEWER
			8		
S2					
EXT APPARATUS BAY	3809 SF	200 SF	20	FIRST FLOOR	
GEAR LOCKERS	330 SF	200 SF	2	FIRST FLOOR	
GEAR LAUNDRY	194 SF	200 SF	1	FIRST FLOOR	
EMS STORAGE	141 SF	200 SF	1	FIRST FLOOR	
EMS APPARATUS BAY	1765 SF	200 SF	9	FIRST FLOOR	
STORAGE	1047 SF	200 SF	6	BASEMENT	
MECHANICAL	398 SF	300 SF	2	BASEMENT	
			41		
BUILDING TOTAL			85		

BUILDING CODE INFORMATION:

BUILDING: INTERNATIONAL BUILDING CODE, 2015: AS AMENDED BY THE STATE OF WISCONSIN.
ACCESSIBILITY: ACCESSIBLE AND USABLE BUILDING AND FACILITIES: ICC/ANSI A117.1-2009.
MECHANICAL: INTERNATIONAL MECHANICAL CODE, 2015; AS AMENDED BY THE STATE OF WISCONSIN
GAS: INTERNATIONAL FUEL GAS CODE: 2015
PLUMBING: PLUMBING CODE COMM 82.
ELECTRICAL: ELECTRICAL CODE: NFPA 70, 2017.
FIRE: SPRINKLER SYSTEM: NFPA13 - ENTIRE BUILDING
ENERGY: INTERNATIONAL ENERGY CONSERVATION CODE, 2015: ASHRAE 90.1-2013

OCCUPANCY CLASSIFICATION:
MAIN OCCUPANCIES: OFFICE (B - BUSINESS)
PARKING GARAGE (S-2 LOW HAZARD STORAGE)
ACCESSORY OCCUPANCIES (LESS THAN 10%): DORM ROOMS (R-3) (1,150 SQ. FT.)

CONSTRUCTION CLASSIFICATION: IIIB

SPRINKLER SYSTEM: NFPA 13 SYSTEM THROUGHOUT. WET SYSTEM ON FIRST FLOOR. DRY SYSTEM IN ATTIC.

HEIGHT AND AREA LIMITATIONS:
ALLOWABLE HEIGHT ABOVE GRADE PLANE: (IBC 504.3)
GROUP B (S): 75 FEET
GROUP S2 (S): 75 FEET
GROUP R3 (S): 75 FEET
ACTUAL: 27 FEET

ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE: (IBC 504.4)
GROUP B (S): 4 STORIES
GROUP S2 (S): 4 STORIES
GROUP R3 (S): 5 STORIES
ACTUAL: 1 STORY

BUILDING AREA: (IBC 506.2)
GROUP B (S): 76,000 SQUARE FEET
GROUP S2 (S): 104,000 SQUARE FEET
GROUP R3 (S): UNLIMITED
ACTUAL: 12,524 SQUARE FEET

NONSEPERATED OCCUPANCIES: (IBC 508.3.3)
SEPARATION: NO SEPARATION IS REQUIRED BETWEEN NONSEPERATED OCCUPANCIES.

FIRE-RESISTANCE RATING: (IBC 1020.1)
CORRIDOR WALLS: 0.5 HOURS BY TABLE 1020.1
SLEEPING UNITS: 0.5 HOURS WITH AUTOMATIC SPRINKLER SYSTEM PER 903.1.1

EGRESS WIDTH: (IBC 1005.3)
STAIRWAYS 0.3 IN PER OCCUPANT 0.3 X 72 = 21.6 INCHES
= 40 INCHES PROVIDED
EGRESS OTHER THAN STAIRS 0.2 IN PER OCCUPANT 0.2 X 72 =14.4 INCHES REQUIRED
=144 INCHES PROVIDED

SPACES WITH ONE EXIT AND COMMON PATH OF EGRESS TRAVEL, WITH SPRINKLER: (IBC 1006.2.1)
S2 OCCUPANCY MAX OCCUPANCY 29 100 FEET (85 FT PROVIDED AT MOST REMOTE POINT)

STORIES WITH ONE EXIT OR ACCESS TO ONE EXIT FOR OTHER OCCUPANCIES (IBC 1006.3.2)
FIRST STORY ABOVE OR BELOW GRADE PLANE:
S2 OCCUPANCY MAX OCCUPANCY 29 (8 OCCUPANTS)
MAX COMMON PATH OF EGRESS TRAVEL DISTANCE 75 FEET (50 FEET PROVIDED)

MEANS OF EGRESS ILLUMINATION: (IBC 1008.2)
THE MEANS OF EGRESS SERVING A ROOM OR SPACE SHALL BE ILLUMINATED AT ALL TIMES THAT THE ROOM OR SPACE IS OCCUPIED.
EXCEPTION 3: DWELLING UNITS AND SLEEPING UNITS IN GROUPS R1, R2, AND R3.

DOOR SWING: (IBC 1010.1.2)
EGRESS DOORS SHALL BE OF THE PIVOTED OR SIDE-HINGED SWINGING TYPE.
EXCEPTION 9: IN OTHER THAN GROUP H OCCUPANICES, MANUALLY OPERATED HORIZONTAL SLIDING DOORS ARE PERMITTED IN A MEANS OF DGRESS FROM SPACES WITH AN OCCUPANY LOAD OF 10 OR LESS.

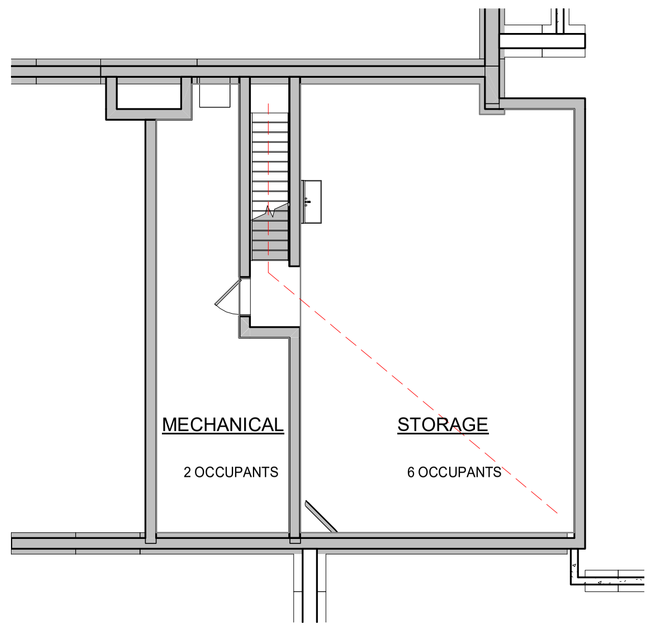
DIRECTION OF SWING: (IBC 1010.1.2.1)
PIVOTING OR SIDE-HINGED SWINGING DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING A ROOM OR AN AREA CONTAINING AN OCCUPANT LOAD OF 50 OR MORE PERSONS OR A GROUP H OCCUPANCY.

EXIT TRAVEL DISTANCE, WITH SPRINKLER: (IBC 1017.2)
GROUP B (S): 300 FEET (75 FT PROVIDED AT MOST REMOTE POINT)
GROUP S2 (S): 400 FEET (125 FT PROVIDED AT MOST REMOTE POINT)
GROUP R3 (S): 250 FEET (91 FT PROVIDED AT MOST REMOTE POINT)

TOILET FACILITIES: (IBC 1109.2)
EACH TOILET ROOM SHALL BE ACCESSIBLE.
EXCEPTION 3: WHERE MULTIPLE SINGLE-USER TOILET ROOMS OR BATHING ROOMS ARE CLUSTERED AT A SINGLE LOCATION, AT LEAST 50 PERCENT BUT NOT LESS THAN ONE ROOM FRO EACH USE AT EACH CLUSTER SHALL BE ACCESSIBLE.

INTERNATIONAL PLUMBING CODE (403.2)
WHERE PLUMBING FIXTURES ARE REQUIRED, SEPARATE FACILITIES SHALL BE PROVIDED FOR EACH SEX.
GROUP B (S): SHOWERS ARE NOT REQUIRED
GROUP S2 (S): SEE SECTION 411 (EMERGENCY SHOWERS NOT REQUIRED)
GROUP R3 (S): 1 PER 8 (3 PROVIDED)

NO ARCHITECTURAL, USE, OR OCCUPANCY CHANGE WORK ON THIS LEVEL. PLAN PROVIDED FOR REFERENCE ONLY.



2 BASEMENT
SCALE: 1" = 10'-0"

OCCUPANCY CLASSIFICATION

B
R3
S2

CITY OF WISCONSIN RAPIDS

WISCONSIN RAPIDS STATION 1
WISCONSIN RAPIDS STATION 2
(ALT No.1)

FOR CONSTRUCTION

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715.835.7736
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WISCONSIN — JENNIFER A POLACEK — 12878-5 — FALL CREEK, WI — 8/31/2021 — ARCHITECT

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NO.	REVISIONS	DATE
0	BID SET	09-16-2021

DWG. TITLE
CODE COMPLIANCE PLANS

0 1" 2"
GENERIC SCALE BAR
SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING.
IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY

DATE	08.31.2021
SCALE	As indicated
DWN.	Author CHK. Checker
PROJ. No.	440901
DWG. No.	

G002

ALTERNATE LEGEND		
ALTERNATE #1	REFER TO SHEETS AD104, A103	ADD ALTERNATE TO RENOVATE TOILET ROOMS AT STATION NO.2
ALTERNATE #2	REFER TO CIVIL	ADD ALTERNATE - ADD CONCRETE PARKING PAD ON EAST SIDE OF BUILDING, NORTH OF EXISTING PARKING LOT
ALTERNATE #3	REFER TO ELECTRICAL	ADD ALTERNATE TO REPLACE EXISTING ELECTRICAL PANEL AND EXISTING LIGHTING IN APPARATUS BAY.
ALTERNATE #4	REFER TO MECHANICAL	ADD ALTERNATE TO CLEAN EXISTING F-1 AND F-2 DUCT SYSTEMS, AND EXISTING APPARATUS BAY SYSTEM IN Rm. 109 SEE SPEC. SECTION 230130.51.
ALTERNATE #5	REFER TO SHEET A150	ADD ALTERNATE TO RE-ROOF EXISTING BUILDING AND CAP ALL ABANDONED ROOF PENETRATIONS BELOW DECK

CODES:

BUILDING:	INTERNATIONAL EXISTING BUILDING CODE, 2015: AS AMENDED BY THE STATE OF WISCONSIN. INTERNATIONAL BUILDING CODE, 2015: AS AMENDED BY THE STATE OF WISCONSIN.
ACCESSIBILITY:	ACCESSIBLE AND USABLE BUILDING AND FACILITIES: ICC/ANSI A117.1-2009.
MECHANICAL:	INTERNATIONAL MECHANICAL CODE, 2015; AS AMENDED BY THE STATE OF WISCONSIN
GAS:	INTERNATIONAL FUEL GAS CODE: 2015
PLUMBING:	PLUMBING CODE COMM 82.
ELECTRICAL:	ELECTRICAL CODE: NFPA 70, 2017.
FIRE:	SPRINKLER SYSTEM: NFPA13 - ENTIRE BUILDING
ENERGY:	INTERNATIONAL ENERGY CONSERVATION CODE, 2015: ASHRAE 90.1-2013

SYMBOLS:

FE FEC — FIRE EXTINGUISHER / FIRE EXTINGUISHER CABINET

EXIT LIGHT

1/2 - HOUR FIRE PARTITION

ACCESSIBLE ROUTE

BUILDING DATA:

EXISTING NON-SPRINKLERED BUILDING, ALTERATION LEVEL 2

AREA:

MAIN LEVEL OVERALL	=	5,456 SQUARE FEET
SECOND LEVEL OVERALL	=	2,671 SQUARE FEET
TOTAL OVERALL	=	8,127 SQUARE FEET

AREAS OF ALTERATION (IEBC:)

FIRST LEVEL
NO WORK ON THIS LEVEL. NO CHANGES TO EGRESS.
SECOND LEVEL
LEVEL 2 (B) TOILET / SHOWER AREA & LAUNDRY = 232 SQUARE FEET

OCCUPANCY CLASSIFICATION:

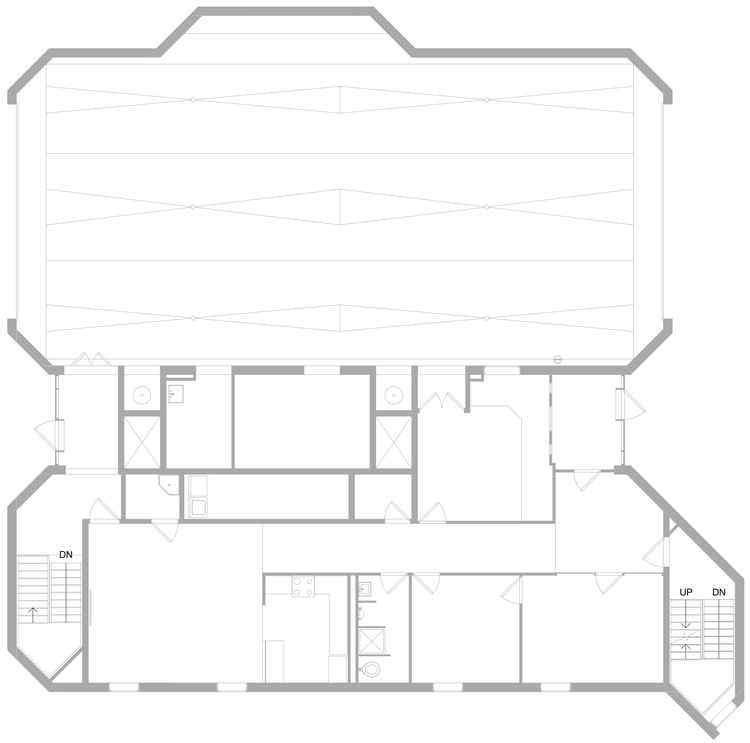
MAIN OCCUPANCIES:	OFFICE (B - BUSINESS)
ACCESSORY OCCUPANCIES (LESS THAN 10%):	DORM ROOMS (R-3) (303 SQ. FT.)

OCCUPANT LOAD: BUILDING OCCUPANT LOAD IS UNCHANGED.

FULLY SPRINKLERED: NO, EXISTING NON-SPRINKLERED BUILDING

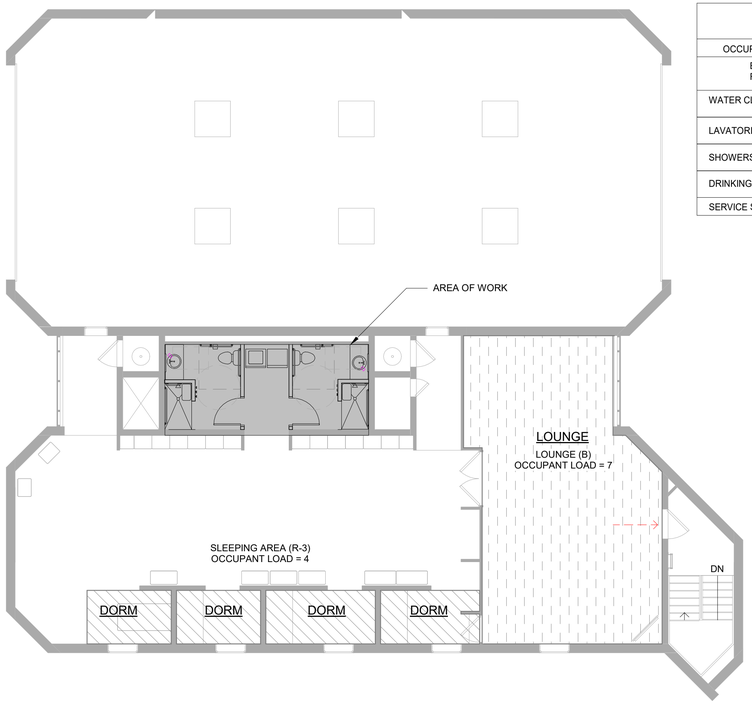
EGRESS: NO, CHANGES TO EGRESS.

PLUMBING FIXTURE COUNTS							
OCCUPANT TOTALS B = 7 R-3 = 4	USE GROUP B FIRST 50	USE GROUP B FIRST 80	USE GROUP B	USE GROUP R-3	SUBTOTAL REQUIRED	TOTAL REQUIRED	TOTAL PROVIDED
WATER CLOSETS	1 PER 25 0.28			1 PER 10 0.4	0.68	1	2
LAVATORIES		1 PER 40 0.175		1 PER 10 0.4	0.575	1	2
SHOWERS				1 PER 8 0.5	0.5	1	2
DRINKING FOUNTAINS			1 PER 100 0.07	1 PER 100 0.04	0.11	1	1
SERVICE SINKS			1		1	1	1



1 01 - LIFE SAFETY PLAN
SCALE: 1/8" = 1'-0"

N TRUE NORTH



2 02 - LIFE SAFETY PLAN
SCALE: 1/8" = 1'-0"

N TRUE NORTH

OCCUPANCY CLASSIFICATION

B

R3

WISCONSIN RAPIDS

CITY OF WISCONSIN RAPIDS

1511 12th St S
WISCONSIN RAPIDS, WI 54494

WISCONSIN RAPIDS STATION 1
WISCONSIN RAPIDS STATION 2
(ALT No.1)

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JENNIFER A POLACEK
12878-5
FALL CREEK, WI
8/31/2021
REGISTERED ARCHITECT

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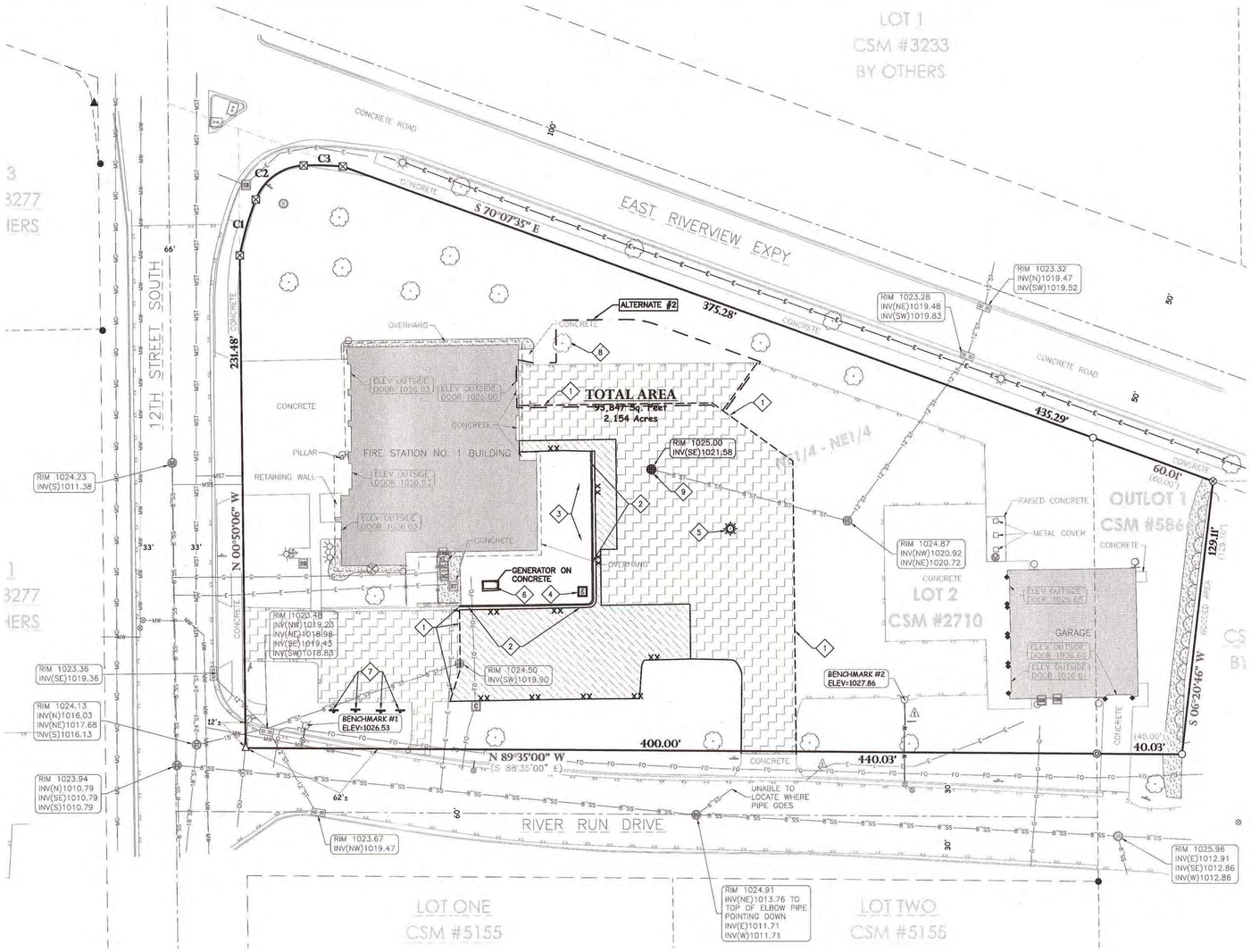
NO.	REVISIONS	DATE
0	BID SET	08-16-2021

DWG. TITLE
ALTERNATE No.1 - CODE COMPLIANCE PLANS

0 1" 2"
GENERIC SCALE BAR
SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING. IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY

DATE	08.31.21
SCALE	As indicated
DWN.	BMM CHK. Checker
PROJ. No.	440901
DWG. No.	G003



GENERAL NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED, WHICH SHOULD BE TURNED OVER TO THE OWNER.
3. INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/CONSTRUCTION, IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
4. BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
5. COORDINATE WITH THE OWNER AND LOCAL UTILITY COMPANIES TO LOCATE ANY EXISTING UTILITIES ON SITE PRIOR TO THE START OF WORK.
6. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED, AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
7. IF TOPSOIL IS STOCKPILED ON SITE, SILT FENCE SHALL BE INSTALLED AROUND THE BASE OF THE STOCKPILE TO PREVENT SEDIMENT TRANSPORT.
8. PRIOR TO PERFORMING WORK WITHIN PUBLIC RIGHT OF WAYS, NOTIFY AND COORDINATE WORK WITH THE LOCAL MUNICIPALITY.
9. ALL CONCRETE SAWCUTS SHALL BE AT THE NEAREST EXISTING JOINT.

KEYNOTES:

1. SAWCUT CONCRETE CURB/BITUMINOUS PAVEMENT
2. REMOVE CONCRETE CURBING
3. REMOVE ELECTRICAL OUTLET AND POST
4. REMOVE CONTROL VALVE
5. REMOVE LIGHT POLE (COORDINATE WITH OWNER)
6. REMOVE GENERATOR AND CONCRETE PAD (TO BE TEMPORARILY USED DURING CONST.) (SEE ELECTRICAL PLANS)
7. REMOVE ADA SIGN
   REMOVE AND SALVAGE "VISITOR PARKING ONLY" SIGN
8. CLEAR AND GRUB EXISTING TREE
9. REMOVE AND SALVAGE CATCH BASIN (SEE C102 FOR REINSTALLATION)

BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #1
ARROW TIP ON NORTHEAST HYDRANT LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF 12TH STREET SOUTH AND RIVER RUN DRIVE.
ELEVATION = 1026.53

BENCHMARK #2
BURT BOLT ON HYDRANT LOCATED ON THE NORTH SIDE OF RIVER RUN DRIVE, APPROXIMATELY 50 FEET WEST OF THE SOUTHWEST CORNER OF THE GARAGE SOUTHEAST OF THE FIRE STATION NO. 1 BUILDING.
ELEVATION = 1027.86

CIVIL SHEET INDEX:

CD101 DEMOLITION PLAN
C102 LAYOUT PLAN
C103 GRADING & EROSION CONTROL PLAN
C104 DETAILS

UTILITY DISCLAIMER:

THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOW HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED, OR MARKED, DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY EXCAVATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MARKINGS, BY OTHERS, AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON, AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.

DEMOLITION HATCH PATTERNS:

BITUMINOUS REMOVAL

PULVERIZE, REMOVE AND STOCKPILE EXISTING BITUMINOUS PAVEMENT

0' 30' 60'
1" = 30'

N

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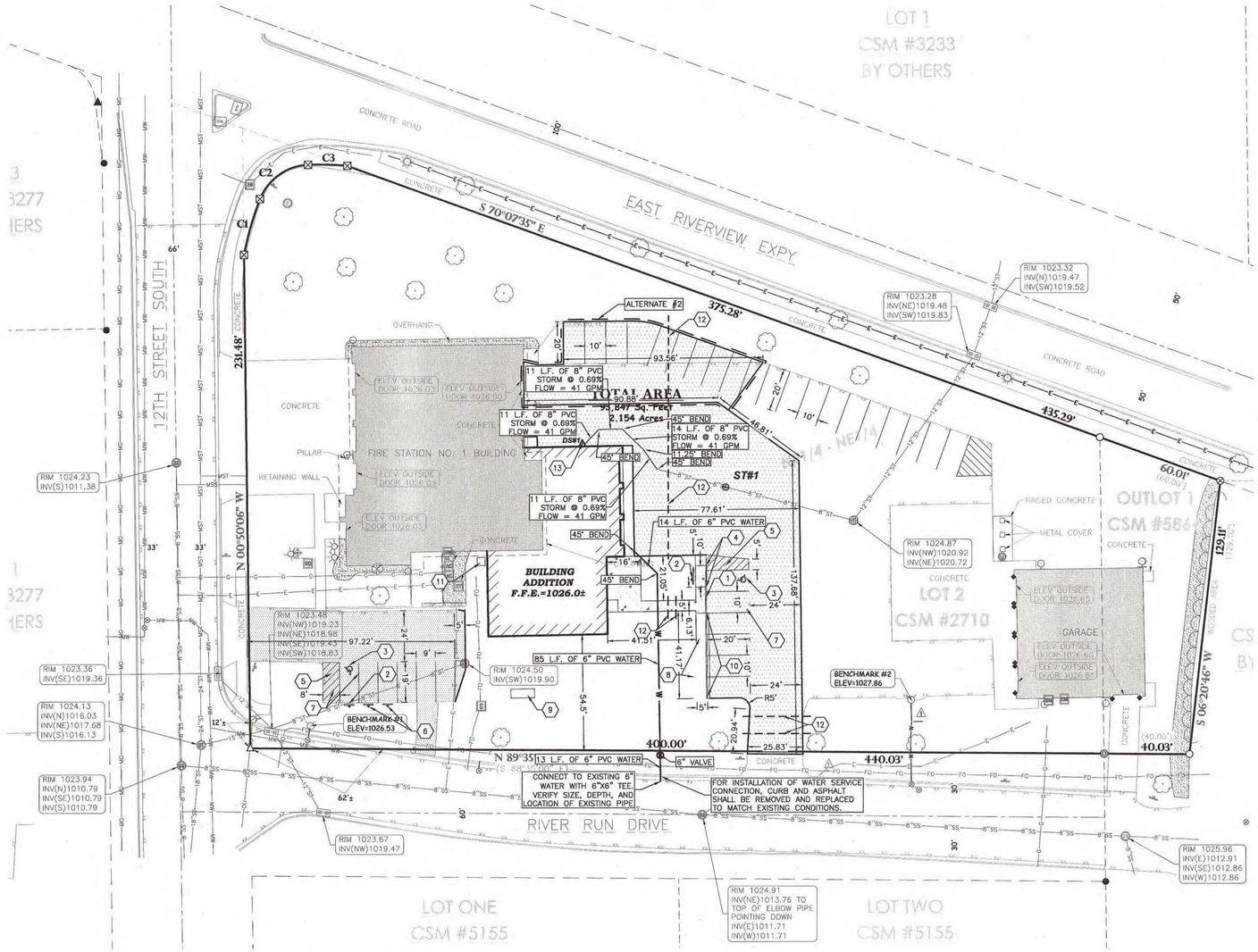
2	ADDENDUM 2	08-30-2021
1	ADDENDUM 1	08-20-2021
0	BID SET	08-16-2021

DWG. TITLE
DEMOLITION PLAN

DATE	08.31.2021
SCALE	1"=30'
DWN.	CS
CHK.	JL
PROJ. No.	440901 (POB# 21.061)
DWG. No.	CD101



GENERAL NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
3. ALL REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
4. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
5. VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
6. BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
7. PRIOR TO STARTING WORK, VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
8. COORDINATE CONSTRUCTION IN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES.
9. PROVIDE PROPER BARRICADES, SIGNS, AND TRAFFIC CONTROL TO MAINTAIN THRU TRAFFIC ALONG ADJACENT STREETS IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS.
10. SIDEWALK JOINTS SHALL BE INSTALLED AS INDICATED OR AS APPROVED BY THE CONSTRUCTION MANAGER.
11. ALL DISTURBED PERVIOUS AREAS, SHALL BE SEEDED, FERTILIZED, AND CRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
12. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
13. REFER TO THE PROPOSED BUILDING MECHANICAL/PLUMBING PLANS TO VERIFY EXACT CONNECTION LOCATIONS AND SIZES OF PROPOSED WATER LATERALS.
14. COORDINATE ALL UTILITY WORK WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
15. COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAY WITH THE LOCAL MUNICIPALITY.
16. ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
17. THE PROPOSED WATER MAIN SHALL HAVE A MINIMUM COVER OF 7'-6" TO THE TOP OF PIPE FROM PROPOSED FINISHED GRADE. SEE SHEET C102 FOR PROPOSED FINISHED GRADE.
18. THE MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY, AND PRIOR TO CONNECTING WATER LATERALS TO THE PUBLIC MAINS.
19. THE CONTRACTOR SHALL HAVE A TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING.
20. THE MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES, IF NEEDED.
21. FIELD VERIFY INVERT ELEVATION OF THE WATER PUBLIC MAIN, AT THE LOCATION OF THE SERVICE LATERAL CONNECTIONS, PRIOR TO CONNECTING THE LATERALS TO THE PUBLIC MAIN.

KEYNOTES:

1.	THICKENED EDGE WALK	2 C104
2.	ADA PARKING SIGN	3 C104
3.	ADA PARKING STALL	4 C104
4.	6" THICKENED EDGE TAPER SECTION	
5.	ADA ACCESS ROUTE	4 C104
6.	REINSTALL SALVAGED "VISITOR PARKING ONLY" SIGN	
7.	PARKING LOT STRIPING	4 C104
8.	RELOCATE EXISTING VEHICLE OUTLETS/RECEPTACLES	
9.	GENERATOR PAD (SEE ARCHITECTURAL) PAD SIZE SHALL BE PER MANUFACTURER RECOMMENDATIONS)	
10.	18" REJECT CURB AND GUTTER	7 C104
11.	A/C UNIT PAD (SEE MECHANICAL AND ARCHITECTURAL)	
12.	4" PVC CONDUIT FOR IRRIGATION (8" DEEP)	
13.	DOWNSPOUT CONNECTION	6 C104

BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #1
ARROW TIP ON NORTHEAST HYDRANT LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF 12TH STREET SOUTH AND RIVER RUN DRIVE.
ELEVATION = 1026.53

BENCHMARK #2
BURY BOLT ON HYDRANT LOCATED ON THE NORTH SIDE OF RIVER RUN DRIVE, APPROXIMATELY 50 FEET WEST OF THE SOUTHWEST CORNER OF THE GARAGE SOUTHEAST OF THE FIRE STATION NO. 1 BUILDING.
ELEVATION = 1027.86

STORM MANHOLE SCHEDULE:

STRUCTURE #	STRUCTURE DETAILS
ST#1	RIM = 1024.36 INV (E) = 1021.35 INV (W) = 1021.35 DEPTH = 3.01' INSTALL SALVAGED CATCH BASIN ADJUST HEIGHT ACCORDINGLY AND CONNECT 8" ON BOTH SIDES.

DOWNSPOUT CONNECTION SCHEDULE:

STRUCTURE #	STRUCTURE DETAILS
DS#1	RIM = 1025.53 INV (NE) = 1021.90

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PAVEMENT HATCH PATTERNS:

PROPOSED 3.5" ASPHALT PAVEMENT	1 C104
PROPOSED 4.5" ASPHALT PAVEMENT	1 C104
PROPOSED 4" CONCRETE PAVEMENT	2 C104

0' 30' 60'
1" = 30'

N

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8/31/2021
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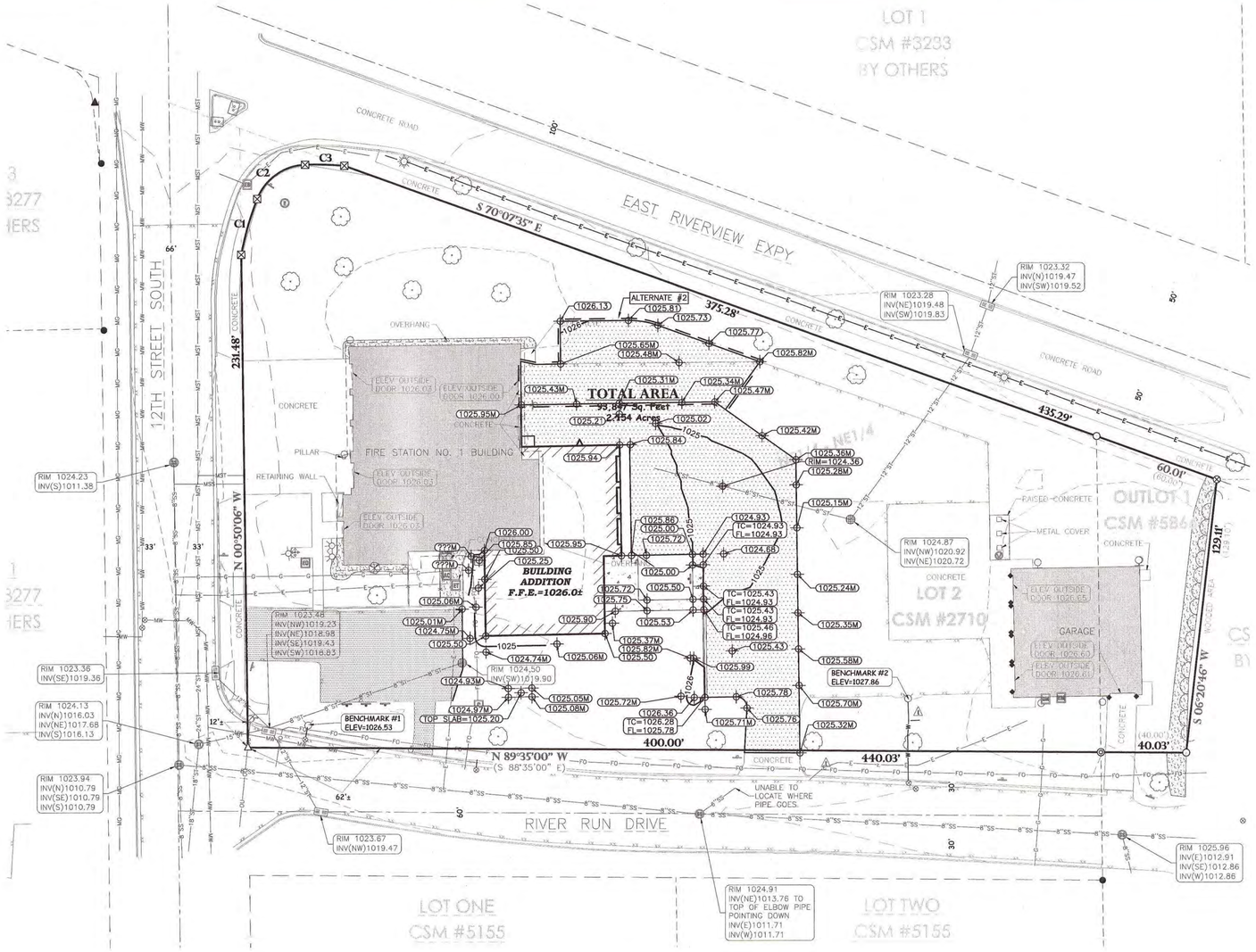
NO.	REVISIONS	DATE
2	ADDENDUM 2	09-30-2021
1	ADDENDUM 1	09-20-2021
0	BID SET	09-16-2021

DWG. TITLE
LAYOUT AND UTILITY PLAN

DATE 08.31.2021
SCALE 1"=30'
DWN. CS CHK. JL
PROJ. No. 440901 (POB# 21.061)
DWG. No.
C102



BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #1
ARROW TIP ON NORTHEAST HYDRANT LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF 12TH STREET SOUTH AND RIVER RUN DRIVE.
ELEVATION = 1026.53

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BURY BOLT ON HYDRANT LOCATED ON THE NORTH SIDE OF RIVER RUN DRIVE, APPROXIMATELY 50 FEET WEST OF THE SOUTHWEST CORNER OF THE GARAGE SOUTHEAST OF THE FIRE STATION NO. 1 BUILDING.
ELEVATION = 1027.86

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GENERAL NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. THE PROPOSED SITE PLAN FINISH FLOOR ELEVATION OF 1026.00' EQUALS THE PROPOSED BUILDING ARCHITECTURAL FINISH FLOOR ELEVATION OF 100.00'.
3. GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
4. INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
5. 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS AND 12" SHALL BE PROVIDED IN ALL PLANTING BED AREAS.
6. COORDINATE ALL EARTHWORK ACTIVITIES WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
7. EXCESS TOPSOIL SHALL BE REMOVED FROM SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER. COORDINATE WITH OWNER FOR LOCATION OF STOCKPILE IF THE OWNER CHOOSES TO SALVAGE EXCESS TOPSOIL FOR FUTURE USE. SILT FENCE SHALL BE PLACED AROUND STOCKPILE.
8. ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
9. THE LOCAL MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY.
10. THE CONTRACTOR SHALL HAVE HIS TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING.
11. THE LOCAL MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES IF NEEDED.
12. GRADES AT BUILDING EDGE SHALL BE 6" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.

GRADING LEGEND:

EXISTING CONTOUR	712
PROPOSED CONTOUR	712
PROPOSED SPOT ELEVATION	892.25
PROPOSED ENDWALL INVERT ELEVATION	INV=892.05
PROPOSED RIM ELEVATION	RIM=893.56
PROPOSED TOP OF CURB ELEVATION	TC=893.56
PROPOSED FLOW LINE ELEVATION	FL=893.56
PROPOSED TOP OF SIDEWALK ELEVATION	TS=893.56
PROPOSED TOP OF WALL ELEVATION	TW=893.56
PROPOSED BOTTOM OF WALL ELEVATION	BW=893.56
PROPOSED MATCH ELEVATION (CONTRACTOR TO VERIFY)	892.05M
PROPOSED STORM SEWER INLET	1 / C104
PROPOSED ROOF DRAIN DOWN SPOUT	6 / C104

0' 30' 60'
1" = 30'

N

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Land Surveying
Landscape Architecture
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8/31/2021

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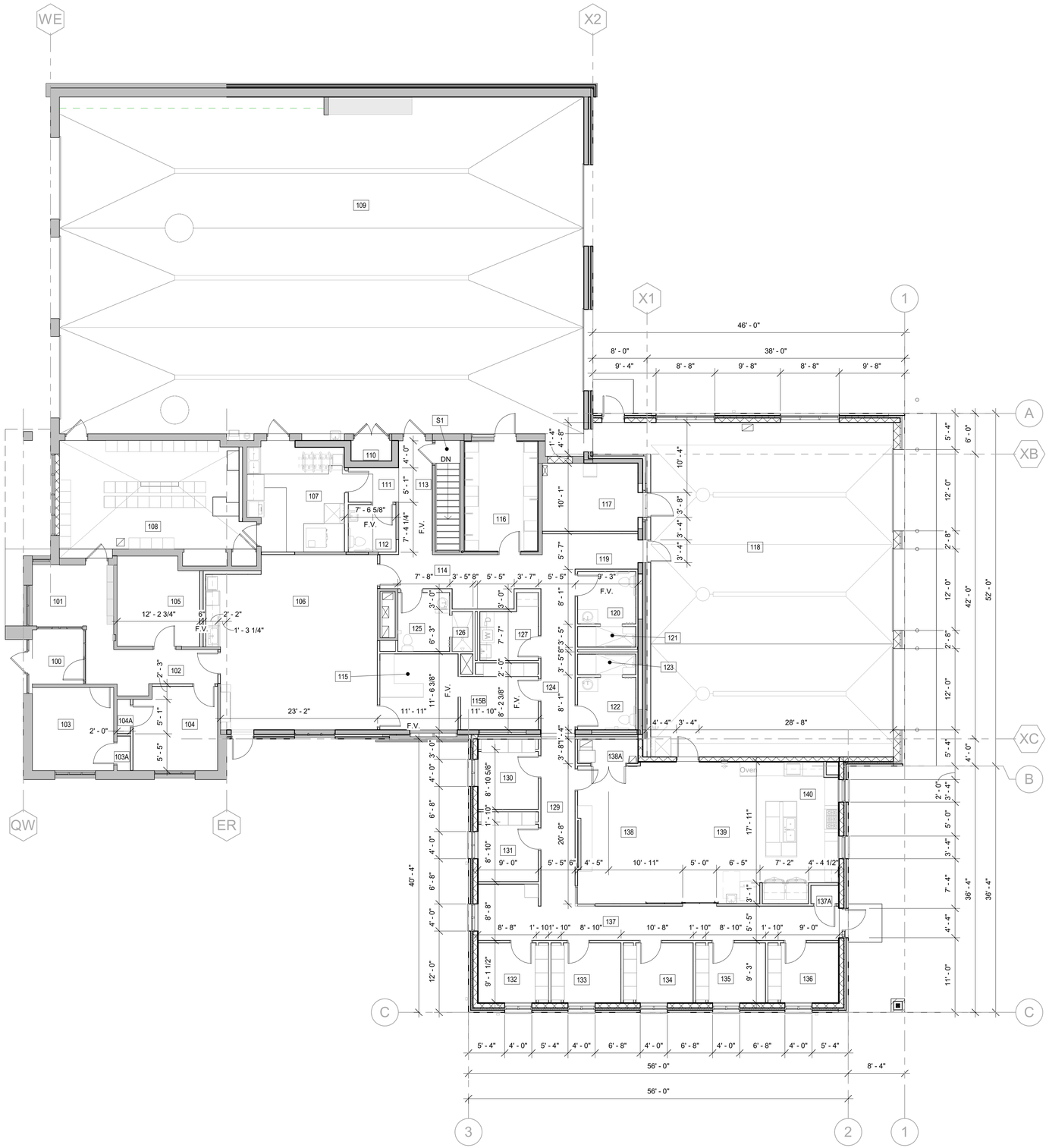
NO.	REVISIONS	DATE
2	ADDENDUM 2	08-30-2021
1	ADDENDUM 1	08-20-2021
0	BID SET	08-16-2021

DWG. TITLE
GRADING & EROSION CONTROL PLAN

DATE	08.31.2021
SCALE	1"=30'
DWN.	CS
CHK.	JL
PROJ. No.	440901 (POB# 21.061)
DWG. No.	**C103**



GENERAL DIMENSIONAL PLAN NOTES

1. EXTERIOR DIMENSIONS:
   - 1.1 EXTERIOR STUD WALLS: FACE OF EXTERIOR SIDE OF STUD
   - 1.2 CLEAR: OUTSIDE OF FINISHED WALL SURFACE TO OUTSIDE OF FINISHED WALL SURFACE.
2. INTERIOR DIMENSIONS:
   - 2.1 STUD WALLS: FACE OF STUD, NOMINAL.
   - 2.2 CMU WALLS: FACE OF CMU, NOMINAL.
   - 2.3 OPENINGS: INSIDE FACE OF OPENING.

ALTERNATE LEGEND

ALTERNATE #1	REFER TO SHEETS AD104, A103	ADD ALTERNATE TO RENOVATE TOILET ROOMS AT STATION NO.2
ALTERNATE #2	REFER TO CIVIL	ADD ALTERNATE - ADD CONCRETE PARKING PAD ON EAST SIDE OF BUILDING, NORTH OF EXISTING PARKING LOT
ALTERNATE #3	REFER TO ELECTRICAL	ADD ALTERNATE TO REPLACE EXISTING ELECTRICAL PANEL AND EXISTING LIGHTING IN APPARATUS BAY.
ALTERNATE #4	REFER TO MECHANICAL	ADD ALTERNATE TO CLEAN EXISTING F-1 AND F-2 DUCT SYSTEMS, AND EXISTING APPARATUS BAY SYSTEM IN Rm. 109 SEE SPEC. SECTION 230130.51.
ALTERNATE #5	REFER TO SHEET A150	ADD ALTERNATE TO RE-ROOF EXISTING BUILDING AND CAP ALL ABANDONED ROOF PENETRATIONS BELOW DECK

1 01 - DIMENSION PLAN
SCALE: 1/8" = 1'-0"

N

WISCONSIN RAPIDS

CITY OF WISCONSIN RAPIDS

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WISCONSIN RAPIDS STATION 2
(ALT No.1)

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REGISTERED ARCHITECT

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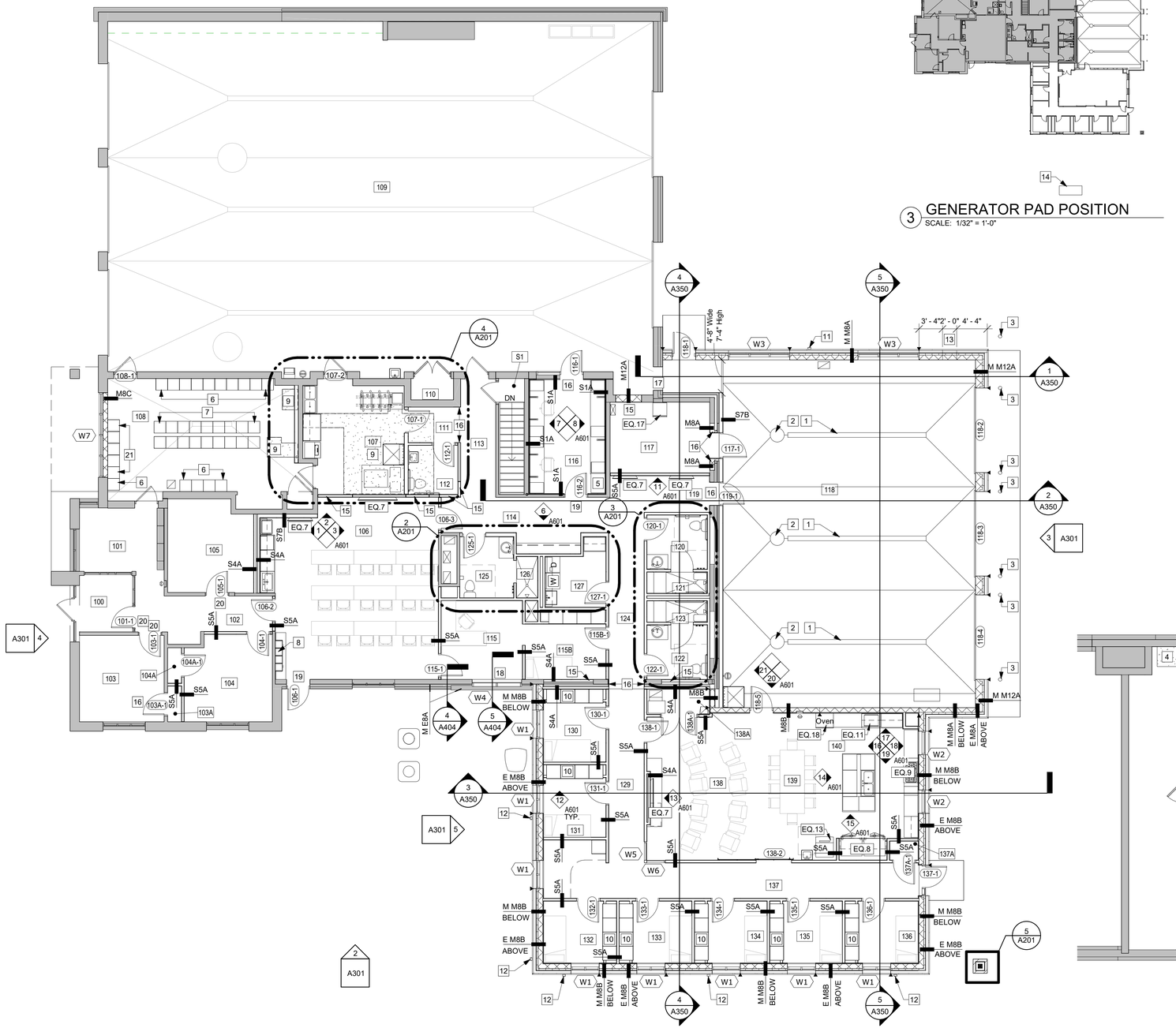
DWG. TITLE
DIMENSION PLAN

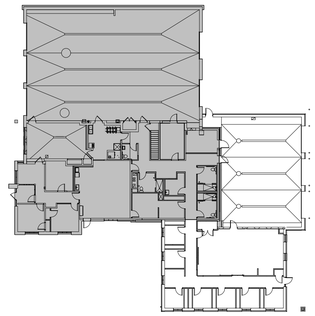
0 1" 2"
GENERIC SCALE BAR
SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING. IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY

DATE	08.31.21
SCALE	As indicated
DWN.	Author
CHK.	Checker
PROJ. No.	440901
DWG. No.	

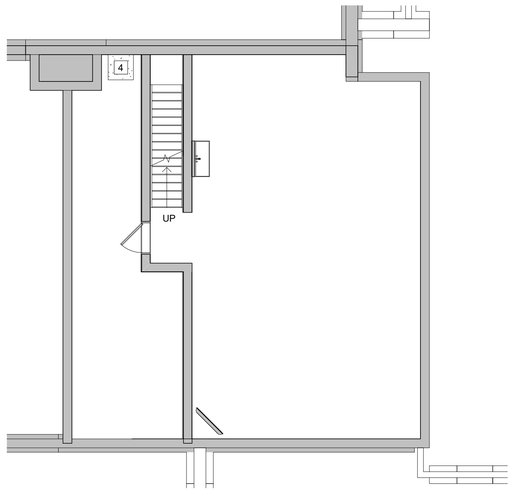
A101



1 01 - FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



3 GENERATOR PAD POSITION
SCALE: 1/32" = 1'-0"



2 00 - BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

EQUIPMENT KEY NOTES

EQ.1	RESIDENTIAL WASHING MACHINE, BY OWNER
EQ.2	RESIDENTIAL DRYING MACHINE, BY OWNER
EQ.3	WASHER / EXTRACTOR, BY OWNER
EQ.4	GEAR DRYER, BY OWNER
EQ.5	SCBA COMPRESSOR, EXISTING BY OWNER
EQ.6	SCBA FILL STATION, EXISTING, BY OWNER
EQ.7	TV, BY OWNER, CONTRACTOR INSTALLED
EQ.8	REFRIGERATOR / FREEZER, BY OWNER, CONTRACTOR INSTALLED
EQ.9	COOKTOP, BY OWNER, CONTRACTOR INSTALLED
EQ.10	RANGE HOOD, BY CONTRACTOR
EQ.11	MICROWAVE, BY OWNER, CONTRACTOR INSTALLED
EQ.12	DISHWASHER, BY OWNER, CONTRACTOR INSTALLED
EQ.13	ICE MACHINE, BY OWNER, CONTRACTOR INSTALLED
EQ.14	UNDER COUNTER REFRIGERATOR, BY OWNER, CONTRACTOR INSTALLED
EQ.15	COPIER, BY OWNER, CONTRACTOR INSTALLED
EQ.16	RESIDENTIAL STACKED WASHER AND DRYER, BY OWNER, CONTRACTOR INSTALLED
EQ.17	UNDER COUNTER REFRIGERATOR WITH LOCK, BY OWNER, CONTRACTOR INSTALLED
EQ.18	DOUBLE OVEN, BY OWNER, CONTRACTOR INSTALLED

ALTERNATE LEGEND

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ALTERNATE #5	REFER TO SHEET A150	ADD ALTERNATE TO RE-ROOF EXISTING BUILDING AND CAP ALL ABANDONED ROOF PENETRATIONS BELOW DECK

PARTITION SYMBOLS

NOMINAL SUPPORT MATERIAL DIMENSION

WALL TYPE PLACE HOLDER

M M12A

EXTERIOR WALL TYPE FINISH MATERIAL
M - CONCRETE MASONRY UNITS
E - EIFS FINISH SYSTEM

SUPPORT MATERIAL
S - METAL STUD
M - CONCRETE MASONRY UNITS

GENERAL CONSTRUCTION NOTES

A. ALL DIMENSIONS ARE TO BE TAKEN OFF OF EDGE OF STUD WALLS.

B. FIRE EXTINGUISHERS.
F.E.=WALL MOUNTED
F.E.=RECESSED IN WALL

C. COORDINATE WITH OWNER BEFORE GYPSUM BOARD INSTALLATION FOR ANY WOOD BLOCKING REQUIRED FOR OWNER PROVIDED EQUIPMENT.

D. REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATIONS OF COLUMNS

E. REFER TO RCP FOR WALL HEIGHTS.

F. SEE SHEET G002 FOR CODE PLAN AND LOCATIONS OF FIRE CONSTRUCTION.

G. MOVEMENT JOINTS
= CMU CONTROL JOINT (20'-0" O.C. MAX)
REFER TO SPECIFICATIONS.

FLOOR PLAN KEY NOTES

1	TRENCH DRAIN, REFER TO PLUMBING PLANS.
2	CATCH BASIN, REFER TO PLUMBING PLANS.
3	PIPE BOLLARD. SEE DETAIL 6/A301.
4	HOUSEKEEPING PAD, REFER TO M.E.P. PLANS
5	IT CABINET, BY OWNER
6	1'-8" x 1'-8" GEAR LOCKERS WALL MOUNTED, CONTRACTOR TO REINSTALL EXISTING.
7	1'-8" x 1'-8" GEAR LOCKERS COLUMN MOUNTED, CONTRACTOR TO REINSTALL EXISTING.
8	12" DEEP HORIZONTAL COMPARTMENT MAIL ORGANIZER. SEE DETAIL 1/A601 FOR FURTHER INFORMATION.
9	AT HATCHED AREA PATCH / INFILL CONCRETE FLOOR WITH NON-SHRINK GROUT. MATCH ADJACENT FLOOR SURFACES. PREP FOR NEW FLOORING.
10	2'-0" WIDE BY 2'-0" DEEP PLASTIC LAMINATE LOCKERS. SEE DETAIL 2/A801 AND INTERIOR ELEVATION 12/A601
11	PRE FINISHED METAL DOWNSPOUT, CONNECT TO UNDER DRAIN. REFER TO CIVIL AND PLUMBING PLANS
12	PRE FINISHED METAL DOWNSPOUT w/ SPLASH BLOCK
13	PROVIDE A 2'x2' KNOCKOUT PANEL THROUGH CMU WALL, REFER TO STRUCTURAL.
14	GENERATOR PAD, SEE DETAILS 14/A801 AND 15/A801
15	INFILL EXISTING OPENING, PATCH / MATCH TO EXISTING CONDITIONS.
16	AT NEW OPENING PATCH / MATCH TO EXISTING CONDITIONS.
17	AT REMOVED DOOR/ FRAME, PATCH/ MATCH OPENING TO EXISTING CONDITIONS.
18	INSTALL NEW WINDOW INTO EXISTING OPENING, PATCH / MATCH JAMBS TO MATCH EXISTING CONDITIONS.
19	INSTALL NEW DOOR INTO EXISTING OPENING. PATCH / MATCH JAMBS TO MATCH EXISTING CONDITIONS.
20	NEW DOOR INTO EXISTING FRAME. FIELD VERIFY REQUIREMENTS
21	NEW 1'-8" x 1'-8" GEAR LOCKERS WALL MOUNTED, BY OWNER CONTRACTOR TO INSTALL.

DRAWING SYMBOLS

COLUMN LINE	1 — COLUMN DESIGNATION; COLUMN CENTERLINE
BUILDING SECTION	1 / A101 SIM — BLDG CROSS SECTION NUMBER; DRAWING NUMBER
WALL SECTION	1 / A101 SIM — SECTION NUMBER; DRAWING NUMBER
DETAIL SECTION	1 / A101 — DETAIL NUMBER; DRAWING NUMBER
ROOM TAG	ROOM NAME; ROOM NUMBER
EXTERIOR ELEVATION TAG	A101 / 1 — ELEVATION NUMBER; DRAWING NUMBER
INTERIOR ELEVATION TAG (MULTIPLE ELEVATIONS)	4 / 1 / 3 / 2 / A100 — ELEVATION NUMBERS; DRAWING NUMBER
INTERIOR ELEVATION TAG (SINGLE ELEVATION)	4 / A100 — ELEVATION NUMBERS; DRAWING NUMBER
ROOM TAG	ROOM NAME; ROOM NUMBER
DOOR TAG	101 — DOOR NUMBER
WINDOW / STOREFRONT TAG	W1 — WINDOW / STOREFRONT DESIGNATION
WALL TAG	1 — WALL DESIGNATION
VIEW TITLE	1 View Name 1/8" = 1'-0" — PLAN, SECTION OR DETAIL NUMBER; TITLE; SCALE

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8/31/2021
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DWG. TITLE

FLOOR PLANS

0 1" 2"
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DATE	08.31.2021
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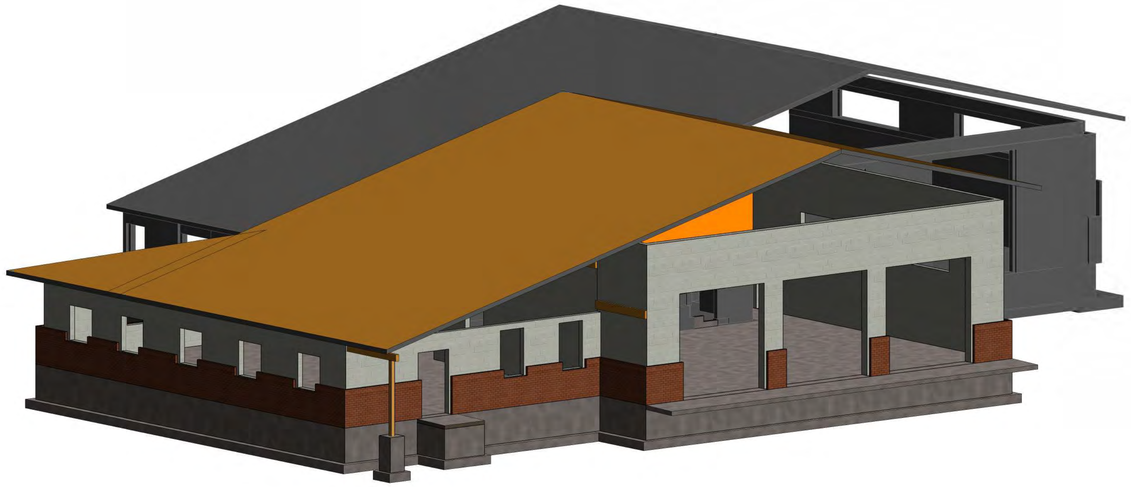
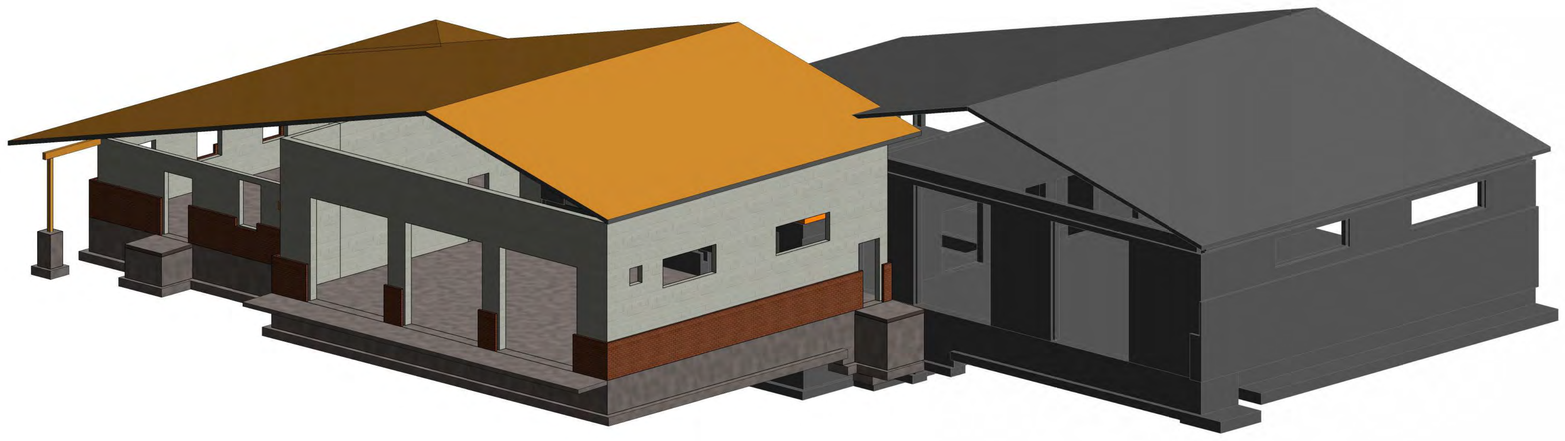
PROJ. No.	440901
DWG. No.	

A102



1 S001 ISOMETRIC VIEW



2 S001 ISOMETRIC VIEW

STRUCTURAL ABBREVIATION LIST:

ADD'L	ADDITIONAL
AHU	AIR HANDLING UNIT
ANCH.	ANCHOR
∠	ANGLE
APPROX.	APPROXIMATE
ARCH.	ARCHITECT
@	AT
B/W	BETWEEN
BLK.	BLOCK
B.O.	BOTTOM OF
BRG.	BEARING
BM.	BEAM
BOT.	BOTTOM
C.J.	CONSTRUCTION OR CONTROL JOINT
CL or C/L	CENTER LINE
CLR.	CLEAR
CMU	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION
CONT.	CONTINUOUS
CU. YD.	CUBIC YARD
DIA.	DIAMETER
DTL.	DETAIL
DWG.	DRAWING
DWLS.	DOWELS
EA.	EACH
E.F.	EACH FACE
ELEV.	ELEVATION
E.W.	EACH WAY
(E)	EXISTING
EXT.	EXTERIOR
F'c	MINIMUM SPECIFIED COMPRESSIVE STRESS
FND.	FOUNDATION
FT.	FEET
FTG.	FOOTING
F.V.	FIELD VERIFY
Fy	MINIMUM SPECIFIED YIELD STRESS
GA.	GAUGE
GALV.	GALVANIZED
GL.	GLULAM
HSA	HEADED STUD ANCHOR
IN.	INCHES
INFO.	INFORMATION
INSUL.	INSULATION
INT.	INTERIOR
JST.	JOIST
K OR KIP	ONE THOUSAND POUNDS
KSI	KIPS PER SQUARE INCH
L	LENGTH
LB	POUND FORCE
LOC.	LOCATION
L.W.	LONG WAY
MANUF.	MANUFACTURERS
MAX.	MAXIMUM
M.C.	MOMENT CONNECTION
MECH.	MECHANICAL OR MECHANICAL ENGINEER
MIN.	MINIMUM
MPH	MILES PER HOUR
MTL.	METAL
#	NUMBER
No.	NUMBER
O.C.	ON CENTER
OPNG.	OPENING
OPP.	OPPOSITE
P.D.F.	POWER DRIVEN FASTENER
PL	PLATE
PLF	POUNDS PER LINEAR FOOT
PLYWD.	PLYWOOD
PROJ.	PROJECTION
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
R	RADIUS
REINF.	REINFORCING
REQ'D.	REQUIRED
R/W	REINFORCED WITH
SIM.	SIMILAR
SP	SPACES OR SPACING OR SPECIAL
SQ.	SQUARE
STL	STEEL
STRUCT.	STRUCTURE OR STRUCTURAL
S.W.	SHORT WAY
THK.	THICK
T.O.	TOP OF
TRT'D	TREATED
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
VERT.	VERTICAL
VFY	VERIFY
VSC	VERTICAL SLIP CONNECTION
W	WIDTH
WNDW	WINDOW
W/	WITH
WWF	WELDED WIRE FABRIC

Sheet List

Sheet Number	Sheet Name
S001	ISOMETRIC VIEWS
S002	STRUCTURAL NOTES
S003	STRUCTURAL NOTES / ROOF LOADING PLAN
S101	TYPICAL CONCRETE SECTIONS / DETAILS
S102	TYPICAL CMU SECTIONS / DETAILS
S103	TYPICAL WOOD SECTIONS / DETAILS
S201	FOUNDATION PLAN
S202	ROOF FRAMING PLAN
S301	FOUNDATION SECTIONS / DETAILS
S401	FRAMING SECTIONS / DETAILS
S402	FRAMING SECTIONS / DETAILS

WISCONSIN RAPIDS

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8/31/21

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DWG. TITLE

ISOMETRIC VIEWS

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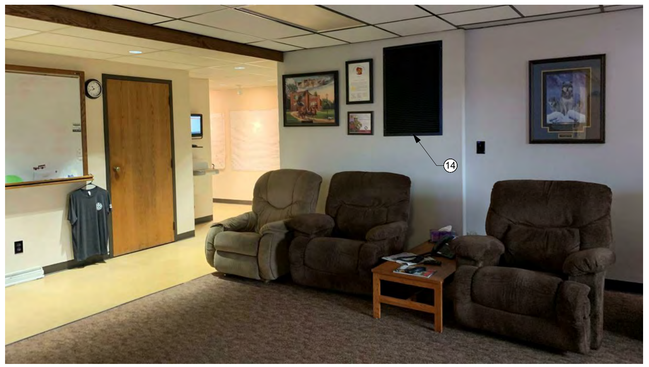
DATE	08.31.2021
SCALE	12" = 1'-0"
DWN.	HMM
CHK.	TDR
PROJ. No.	21-202
DWG. No.	

S001

1 DEMO PHOTO
SCALE: 1/4" = 1'-0"

2 DEMO PHOTO
SCALE: 1/4" = 1'-0"

3 DEMO PHOTO
SCALE: 1/4" = 1'-0"



4 DEMO PHOTO
SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

A. EXISTING TO REMAIN: SOLID LINES AND WALLS SHADED.
B. EXISTING TO BE REMOVED OR SALVAGED: DASHED LINES.
C. COORDINATE DEMOLITION WITH ADDITIONAL WORK ON MECHANICAL AND ELECTRICAL SHEETS.
D. DEMOLITION DRAWINGS INDICATE GENERAL DEMOLITION WORK BASED ON EXISTING DRAWINGS AND CASUAL OBSERVATIONS.
E. NEW WORK INDICATED ON OTHER SHEETS REQUIRED OF DEMOLITION OF EXISTING CONSTRUCTION, UNLESS OTHERWISE NOTED TO REMAIN.
F. CUT OPENINGS INTO EXISTING WALLS FOR NEW DUCTWORK, LOUVERS, PLUMBING. COORDINATE LOCATIONS AND SIZES WITH MECHANICAL AND PLUMBING CONTRACTOR AND QUANTITIES WITH ATTACHED MEP PLANS.
G. PRESERVE EXISTING CONSTRUCTION DURING DEMOLITION ACTIVITIES.
H. INFILL ALL EXISTING AND ABANDONED MECHANICAL. ELECTRICAL AND PLUMBING PENETRATIONS THROUGH EXISTING WALLS TO MATCH ADJACENT CONDITIONS.
I. REMOVE ALL DEMOLITION MATERIALS TO AN APPROVED LANDFILL SITE.
J. OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ANY REMOVED EQUIPMENT FROM EXISTING CONDITIONS.
K. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING WALLS, FLOORS, FINISHES, ETC. AS REQUIRED DURING CONSTRUCTION. ANY DAMAGE TO EXISTING CONSTRUCTION SHALL BE REPAIRED AS NEEDED AT THE EXPENSE OF THE PARTY CAUSING THE DAMAGE.
L. THE GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING WALLS, FLOORS, AND CEILINGS WHICH ARE TO REMAIN. ALL NEW HOLES, ABRASIONS AND OPENINGS LEFT FROM THE REMOVAL OF FASTENERS, ETC. SHALL BE FILLED WITH APPROPRIATE MATERIALS TO MATCH THE EXISTING CONSTRUCTION PRIOR TO FINISHING. PATCHING TO MATCH EXISTING SHALL INCLUDE ALL ITEMS NECESSARY TO CONSTRUCT THE NEW WORK AS DESIGNED, BUT NOT INDICATED HEREIN.
M. KEYED DEMOLITION PLAN NOTES LISTING ON SHEETS AD101, AD102, AND AD103 ARE TYPICAL TO THOSE SHEETS. SOME NOTES MAY NOT BE REFERENCED ON EACH PAGE.

ALTERNATE LEGEND

ALTERNATE #1	REFER TO SHEETS AD104, A103	ADD ALTERNATE TO RENOVATE TOILET ROOMS AT STATION NO.2
ALTERNATE #2	REFER TO CIVIL	ADD ALTERNATE - ADD CONCRETE PARKING PAD ON EAST SIDE OF BUILDING, NORTH OF EXISTING PARKING LOT
ALTERNATE #3	REFER TO ELECTRICAL	ADD ALTERNATE TO REPLACE EXISTING ELECTRICAL PANEL AND EXISTING LIGHTING IN APPARATUS BAY.
ALTERNATE #4	REFER TO MECHANICAL	ADD ALTERNATE TO CLEAN EXISTING F-1 AND F-2 DUCT SYSTEMS, AND EXISTING APPARATUS BAY SYSTEM IN Rm. 109 SEE SPEC. SECTION 230130.51.
ALTERNATE #5	REFER TO SHEET A150	ADD ALTERNATE TO RE-ROOF EXISTING BUILDING AND CAP ALL ABANDONED ROOF PENETRATIONS BELOW DECK

DEMO PLAN KEY NOTES

1. REMOVE EXISTING WALL AND PREP FOR NEW CONSTRUCTION
2. REMOVE EXISTING DOOR AND FRAME OR WINDOW IN ITS ENTIRETY. PREP JAMBS AND HEAD FOR NEW CONSTRUCTION.
3. REMOVE ALL AS INDICATED BY THE DASHED LINES. INCLUDING BUT NOT LIMITED TO,WALLS, DOORS / FRAMES, TOILET PARTITIONS, PLUMBING FIXTURES, SINKS, COUNTERTOPS/ CASEWORK, SHELVING, EXISTING SHOWER UNITS, EXISTING FLOOR FINISHES AND BASE, HARD OR SUSPENDED CEILINGS AND ALL OTHER ITEMS REQUIRED FOR RENOVATIONS.
4. REMOVE DOOR IN ITS ENTIRETY, EXISTING FRAME TO REMAIN. PREP FRAME TO RECEIVE NEW DOOR, HARDWARE AND PAINT.
5. REMOVE EXISTING DOOR AND FRAME AND PREP FOR INSTALLATION OF NEW DOOR AND FRAME INTO EXISTING OPENING.
6. GEAR LOCKERS TO BE REMOVED AND REINSTALLED IN ROOM 108
7. NOT USED
8. NOT USED
9. REMOVE EXISTING WALL AND PREP FOR INSTALLATION OF NEW DOOR FRAME / OPENING AND LINTEL.
10. REMOVE WALL FINISHES TO STUD
11. REMOVE EXISTING DOOR AND FRAME, PREP FOR NEW OPENING
12. REMOVE EXISTING OVERHEAD DOOR AND FRAME, PREP HEAD, JAMB AND SILL FOR NEW CONSTRUCTION
13. REMOVE FLOORING, BASE, AND ADHESIVE. PREP FOR NEW FLOORING.
14. MOVE RETURN GRATE FROM WALL TO CEILING, SEE MECHANICAL. PREP WALL FOR NEW CONSTRUCTION.
15. REMOVE BRICK WAINSCOTING AND CAST STONE CAP, PREP FOR NEW CONSTRUCTION
16. REMOVE ACOUSTIC CEILING TILE AND METAL FRAME AND/OR SHEETROCK, PREP FOR NEW CEILING FINISHES
17. REMOVE ATTIC ACCESS AND PREP FOR NEW CEILING FINISHES
18. REMOVE EXISTING STOREFRONT AND PREP FOR NEW CONSTRUCTION.
19. REMOVE EXISTING FINISH BRICK, 4" CMU; STUCCO ABOVE EXISTING ROOF TRUSSES TO REMAIN.
20. REMOVE AND RELOCATE EXISTING LOUVER AND PREP FOR NEW CONSTRUCTION. REFER TO MECHANICAL PLANS FOR NEW LOCATION OF LOUVER
21. NOT USED
22. REMOVE EXISTING FASCIA AND SOFFIT, REFER TO EXTERIOR ELEVATIONS FOR EXTENT OF REMOVAL.
23. REMOVE EXISTING SHINGLES, SHEATHING, LOOK-OUT FRAMING, FASCIA, SOFFIT.
24. REMOVE EXISTING FASCIA AND SOFFIT SYSTEM.
25. AT CROSS HATCHED AREA, SAW-CUT AND REMOVE EXISTING CONCRETE FLOOR SLAB. COORDINATE EXACT LOCATIONS / LIMITS WITH PLUMBING CONTRACTOR.
26. AT NEW SHOWER FLOOR DRAINS GRIND EXISTING CONCRETE FLOORING APPROPRIATELY AROUND DRAIN OPENING TO SET FLOOR DRAIN DOWN FROM FINISH FLOOR, ALLOWING FOR MAXIMUM SLOPE IN NEW SHOWERS.
27. EXISTING CASEWORK TO REMAIN
28. ALTERNATE No.5: REMOVE EXISTING ROOFING AND PREP FOR INSTALLATION OF NEW ROOF. CAP ALL ABANDONED ROOF PENETRATIONS BELOW DECK
29. REMOVE EXISTING CEILING FAN, DUCT AND SOFFIT GRILLE PATCH TO MATCH EXISTING SOFFIT
30. REMOVE EXISTING METAL LOCKERS AND RETURN TO OWNER.
31. REMOVE EXISTING EQUIPMENT AND RETURN TO OWNER.
32. REMOVE ALL EXTERIOR WALL FINISHES TO EXPOSE CMU AND FOUNDATION WALL. PATCH, REPAIR, AND PREP WALL TO RECEIVE NEW GYPSUM BOARD.

WISCONSIN RAPIDS

CITY OF WISCONSIN RAPIDS

WISCONSIN RAPIDS STATION 1
WISCONSIN RAPIDS STATION 2
(ALT No.1)

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08/31/2021
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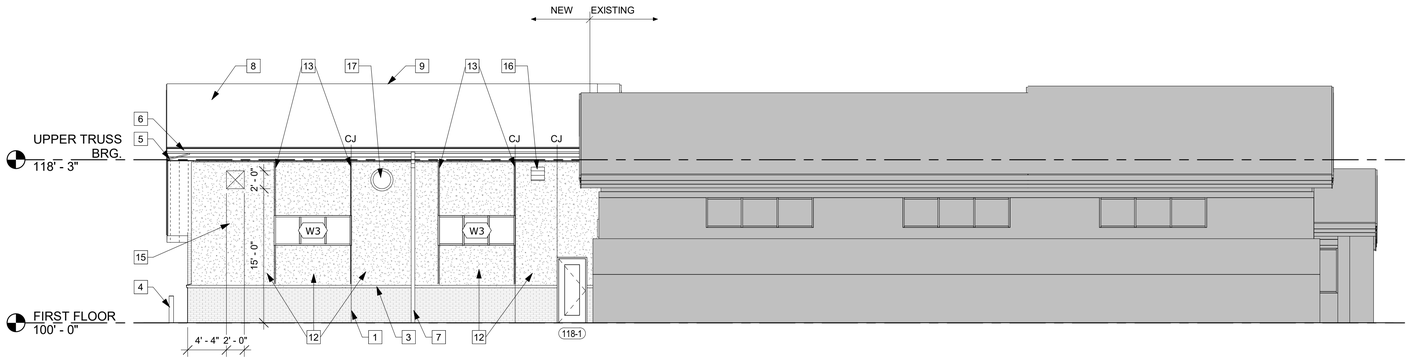
DWG. TITLE
DEMOLITION PHOTOS

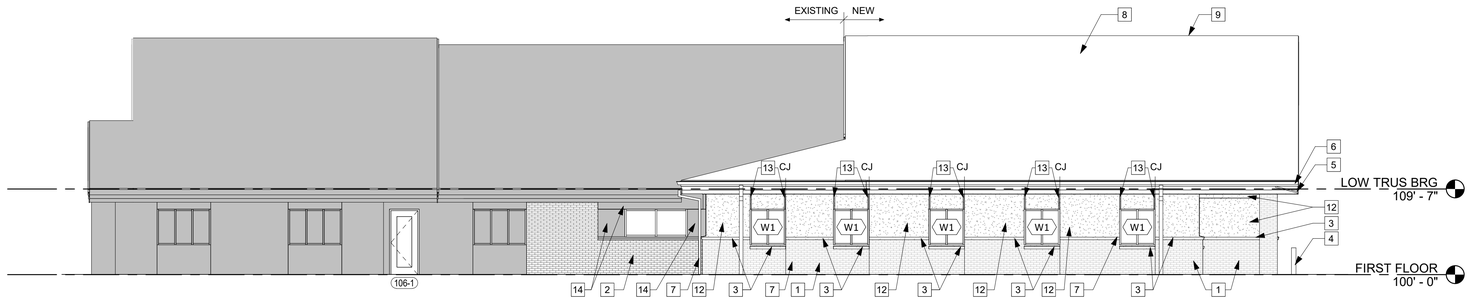
0 1" 2"
GENERIC SCALE BAR
SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING.
IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY

DATE	08.31.2021
SCALE	As indicated
DWN.	Author
CHK.	Checker
PROJ. No.	440901
DWG. No.	

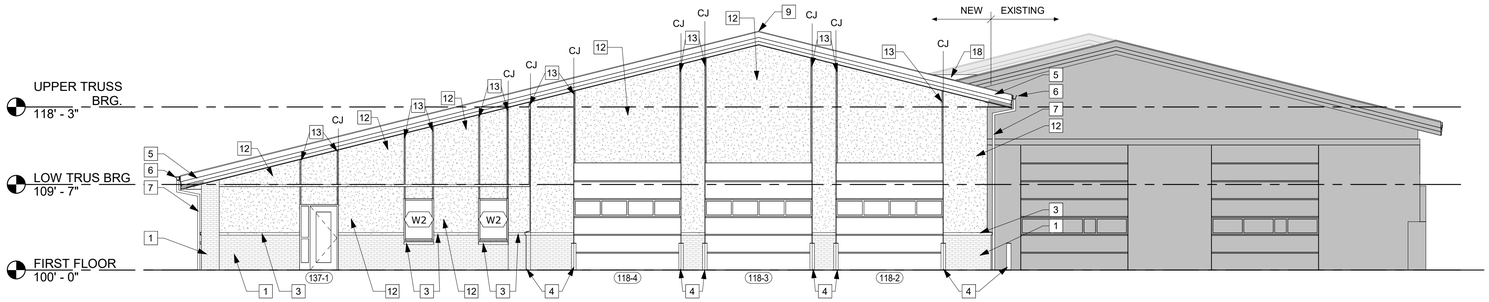
AD103



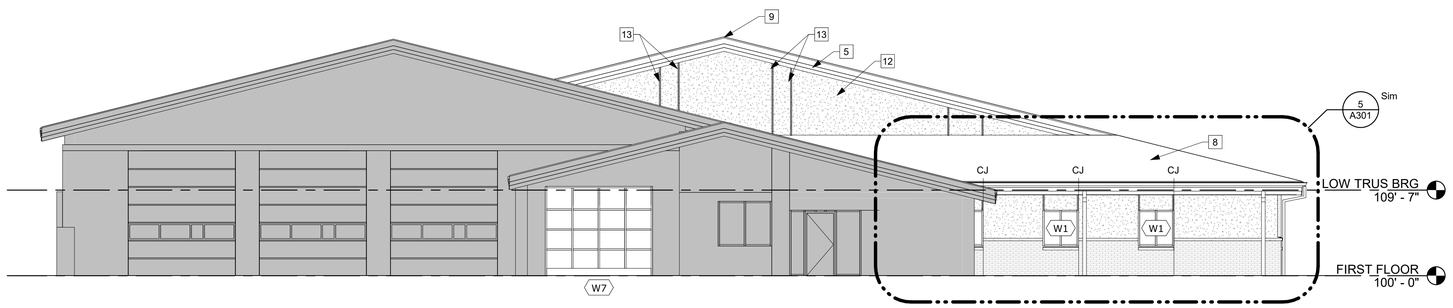
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
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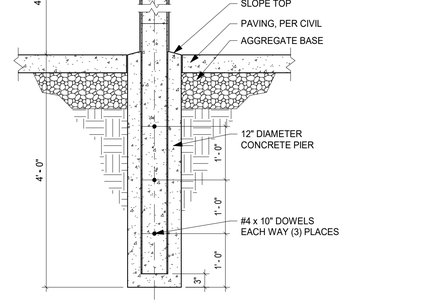
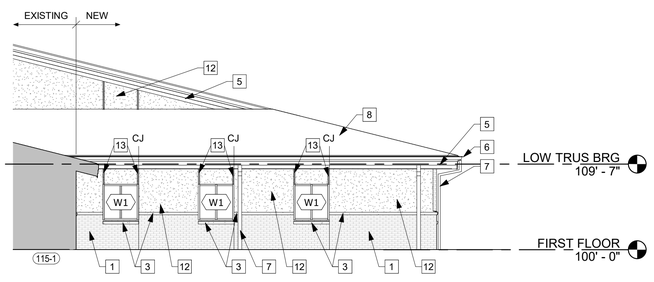


6 PIPE BOLLARD DETAIL
SCALE: 3/4" = 1'-0"



5 WEST ELEVATION - ADDITION
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION KEY NOTES

1	STANDARD BRICK
2	THIN BRICK SYSTEM
3	BRICK SOLDIER COURSE
4	PIPE BOLLARD. SEE DETAIL 6/A301
5	PRE-FINISHED METAL FASCIA
6	PRE-FINISHED METAL GUTTER
7	PRE-FINISHED METAL DOWNSPOUT
8	ASPHALT ROOF
9	RIDGE VENT
10	NOT USED
11	NOT USED
12	EIFS SYSTEM
13	EIFS REVEAL, REFER TO DETAILS 11/A801 AND 12/A801
14	PAINT EXISTING STUCCO TO MATCH NEW CONSTRUCTION
15	PROVIDE A 2'x2' KNOCKOUT PANEL THROUGH CMU WALL, REFER TO STRUCTURAL.
16	MECHANICAL LOUVER. REFER TO MECHANICAL
17	MECHANICAL EQUIPMENT. REFER TO MECHANICAL
18	ROOF CRICKET

ALTERNATE LEGEND

ALTERNATE #1	REFER TO SHEETS AD104, A103	ADD ALTERNATE TO RENOVATE TOILET ROOMS AT STATION NO.2
ALTERNATE #2	REFER TO CIVIL	ADD ALTERNATE - ADD CONCRETE PARKING PAD ON EAST SIDE OF BUILDING, NORTH OF EXISTING PARKING LOT
ALTERNATE #3	REFER TO ELECTRICAL	ADD ALTERNATE TO REPLACE EXISTING ELECTRICAL PANEL AND EXISTING LIGHTING IN APPARATUS BAY.
ALTERNATE #4	REFER TO MECHANICAL	ADD ALTERNATE TO CLEAN EXISTING F-1 AND F-2 DUCT SYSTEMS, AND EXISTING APPARATUS BAY SYSTEM IN Rm. 109 SEE SPEC. SECTION 230130.51.
ALTERNATE #5	REFER TO SHEET A150	ADD ALTERNATE TO RE-ROOF EXISTING BUILDING AND CAP ALL ABANDONED ROOF PENETRATIONS BELOW DECK

WISCONSIN RAPIDS

CITY OF WISCONSIN RAPIDS

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8/31/2021
REGISTERED ARCHITECT

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DWG. TITLE
EXTERIOR ELEVATIONS

GENERIC SCALE BAR
0 1" 2"
SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING. IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY

DATE	08.31.2021
SCALE	As indicated
DWN.	Author
CHK.	Checker
PROJ. No.	440901
DWG. No.	**A301**

ALTERNATE LEGEND		
ALTERNATE #1	REFER TO SHEETS AD104, A103	ADD ALTERNATE TO RENOVATE TOILET ROOMS AT STATION NO.2
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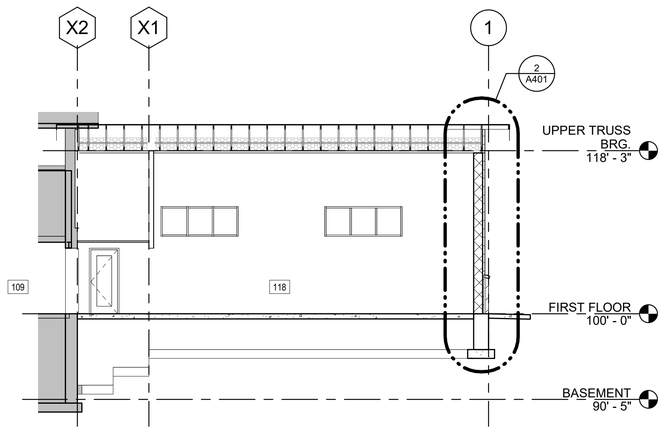
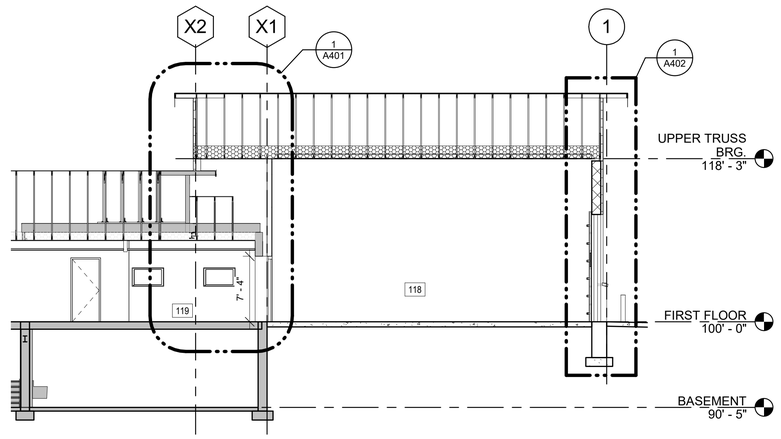


1 BUILDING SECTION
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION
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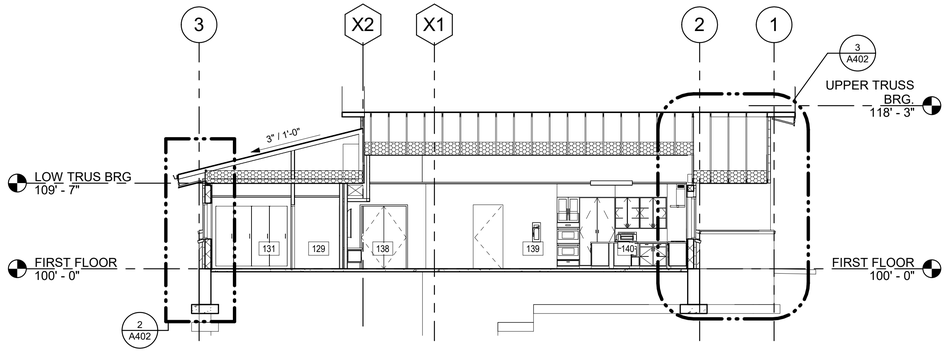

3 BUILDING SECTION
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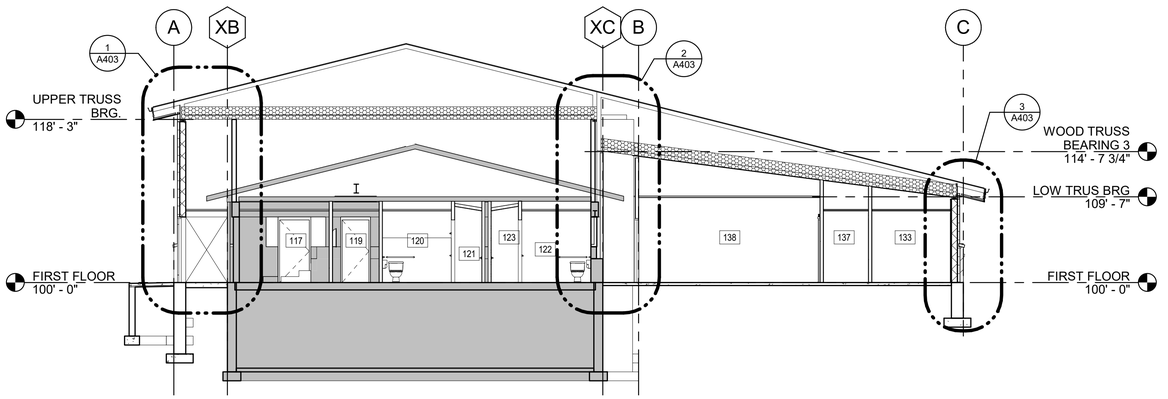
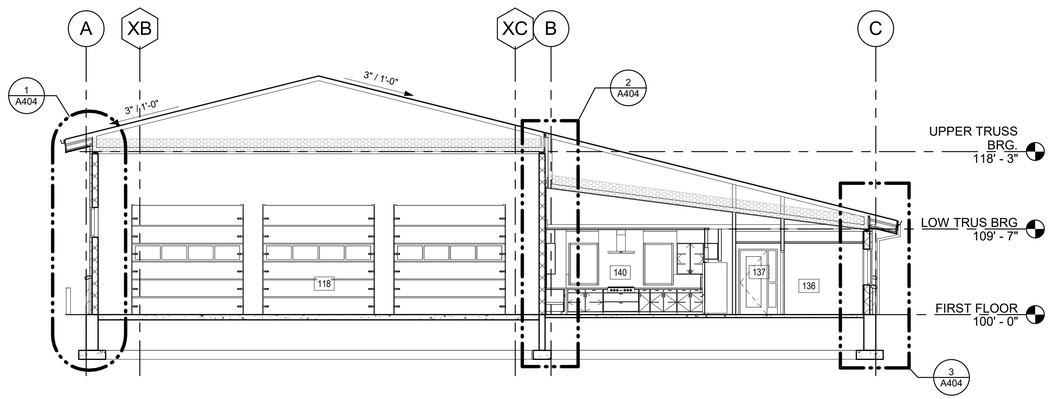
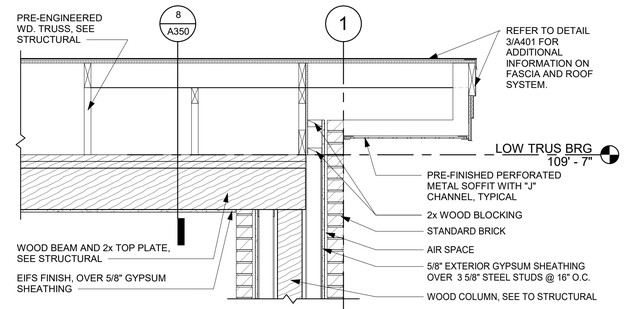


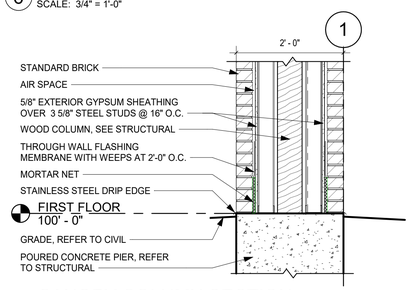
4 BUILDING SECTION
SCALE: 1/8" = 1'-0"



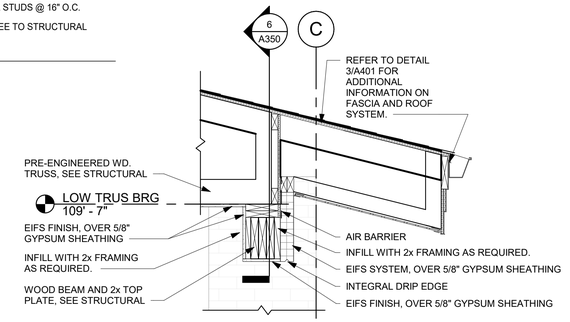
5 BUILDING SECTION
SCALE: 1/8" = 1'-0"



6 CANOPY COLUMN SECTION
SCALE: 3/4" = 1'-0"



7 CANOPY COLUMN SECTION
SCALE: 3/4" = 1'-0"



8 ROOF EDGE DETAIL
SCALE: 3/4" = 1'-0"

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DWG. TITLE
BUILDING SECTIONS

0 1" 2"
GENERIC SCALE BAR
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DATE	08.31.2021		
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PROJ. No.	440901		
DWG. No.			

A350

Wisconsin Rapids Fire Station #1

9/2/2021

	Section Description	Subcontractor		Bid Day	Renovate Toilet Rooms at Station No. 2	Add Alternate - Add Concrete Parking Pad on East Side of Building North of Existing Parking Lot	Add Alternate to Replace Existing Electrical Panel and Existing Lighting in Apparatus Bay	Add Alternate to Clean Existing F-1 and F-2 Duct Systems, and Existing Apparatus Bay System in Room 109	Add Alternate to Re-Roof Existing Building and Cap All Abandoned Roof Penetrations Below Deck	Removal and replacement of unsuitable soil with engineered fill ($/CY)
					Alternate #1	Alternate #2	Alternate #3	Alternate #4	Alternate #5	Unit Price #1
	--- Base Estimate ---				Pending	Pending	Pending	Pending	Pending	
03.30	Cast In Place Concrete	MIRON CONSTRUCTION		$ 103,871	$ -	$ -	$ -	$ -	$ -	$ -
04.00	Masonry	MIRON CONSTRUCTION		$ 198,190	$ -	$ -	$ -	$ -	$ -	$ -
06.00	General Trades	ALTMAN CONSTRUCTION		$ 373,800	$ 17,800	$ -	$ -	$ -	$ -	$ -
07.20	Blown Insulation	CENTRAL HOME IMPROVEMENTS		$ 8,195	$ -	$ -	$ -	$ -	$ -	$ -
07.24	E.I.F.S.	APPLETON LATHING CORP		$ 46,915	$ -	$ -	$ -	$ -	$ -	$ -
07.25	Fluid Applied Air Barrier	APPLETON LATHING CORP		$ 6,379	$ -	$ -	$ -	$ -	$ -	$ -
07.52	Roofing	ALLOWANCE		$ 70,000	$ -	$ -	$ -	$ -	TBD	$ -
07.90	Caulking	RYAN JACK PAINTING		$ 6,892	$ -	$ -	$ -	$ -	$ -	$ -
8.36	Sectional Doors	CENTRAL DOOR SOLUTIONS		$ 19,600	$ -	$ -	$ -	$ -	$ -	$ -
08.40	Aluminum Windows, Entrances, Glass/Glazing	OMNI		$ 65,832	$ -	$ -	$ -	$ -	$ -	$ -
09.20	Gypsum Board Systems	APPLETON LATHING CORP		$ 142,896	$ 8,457	$ -	$ -	$ -	$ -	$ -
09.30	Tile	RESCH'S TILE		$ 39,950	$ 19,900	$ -	$ -	$ -	$ -	$ -
09.50	Suspended Acoustical Ceiling	VERHALEN		$ 16,995	$ 180	$ -	$ -	$ -	$ -	$ -
09.65	Resilient Flooring, Base and Carpet	GEGARE		$ 39,290	$ 865	$ -	$ -	$ -	$ -	$ -
09.67	Resinous Flooring	PROTECTIVE COATING SPECIALISTS		$ 4,204	$ -	$ -	$ -	$ -	$ -	$ -
09.90	Painting	MJLP		$ 34,247	$ 225	$ -	$ -	$ -	$ -	$ -
21.00	Fire Suppression	EGI MECHANICAL		$ 82,500	$ -	$ -	$ -	$ -	$ -	$ -
22.00	Plumbing	HOOPER		$ 190,276	$ 30,263	$ -	$ -	$ -	$ -	$ -
23.00	HVAC	RON'S REFRIGERATION		$ 125,420	$ 4,180	$ -	$ -	$ 3,120	$ 492	$ -
26.00	Electrical	K&M ELECTRIC		$ 197,300	$ 4,510	$ -	$ 6,460	$ -	$ -	$ -
31.00	Earthwork, Site Utilities and Selective Site Demolition	PRECISION GRADING		$ 49,930	$ -	$ 700	$ -	$ -	$ -	$ 9.80
32.14	Asphalt Paving	AMERICAN ASPHALT		$ 47,780	$ -	$ 3,915	$ -	$ -	$ -	$ -
32.16	Site Concrete	CHIPPEWA CONCRETE		$ 13,321	$ -	$ -	$ -	$ -	$ -	$ -
32.90	Seeding and Landscaping	CARL'S LANDSCAPE		$ 4,825	$ -	$ -	$ -	$ -	$ -	$ -
	Subtotal			$ 1,888,608	$ 86,380	$ 4,615	$ 6,460	$ 3,120	TBD	$ 9.80
	General Conditions			$ 249,000	$ -	$ -	$ -	$ -	$ -	$ -
	General Requirements	ALLOWANCE		$ 43,308	$ -	$ -	$ -	$ -	$ -	$ -
	Winter Conditions / Temp Heat & Enclosure	ALLOWANCE		$ 15,000	$ -	$ -	$ -	$ -	$ -	$ -
	Building Permit (Based on Value)			$ -	$ -	$ -	$ -	$ -	$ -	$ -
	Subtotal			$ 2,195,916	$ 86,380	$ 4,615	$ 6,460	$ 3,120	TBD	$ 9.80
	Insurance Requirements		0.65%	$ 14,273	$ 561	$ 30	$ 42	$ 20	$ -	$ -
	Builder's Risk	ALLOWANCE		$ 1,902	$ 69	$ 4	$ 5	$ 2	$ -	$ -
	Reproduction Expenses			$ -	$ -	$ -	$ -	$ -	$ -	$ -
	Construction Manager's Contingency			$ 164,694	$ 6,479	$ 346	$ 485	$ 234	$ -	$ 1.00
	Subtotal			**$ 2,376,785**	**$ 93,489**	**$ 4,995**	**$ 6,992**	**$ 3,376**	TBD	**$ 10.80**
	Design Fee			$ -	$ -	$ -	$ -	$ -	$ -	$ -
	Subtotal			$ 2,376,785	$ 93,489	$ 4,995	$ 6,992	$ 3,376	TBD	$ 10.80
	Construction Fee		2.35%	$ 55,854	$ 2,197	$ 117	$ 164	$ 79	$ -	$ -
	Project Construction Subtotal			$ 2,432,639	$ 95,686	$ 5,112	$ 7,156	$ 3,455	TBD	$ 10.80
	Performance and Payment Bond		1.00%	$ 23,229	$ 957	$ 51	$ 72	$ 35	$ -	$ -
	Construction Total			**$ 2,455,868**	**$ 96,643**	**$ 5,163**	**$ 7,228**	**$ 3,490**	**TBD**	**$ 10.80**
	Design Fee		9.50%	$ 225,143	$ 2,142	$ 115	$ 160	$ 77	$ -	$ -
	Owner FFE, Communications, & Technology			$ 157,830	$ -	$ -	$ -	$ -	$ -	$ -
	Site Survey & Layout			$ 2,900	$ -	$ -	$ -	$ -	$ -	$ -
	Geotechnical Studies			$ 4,500	$ -	$ -	$ -	$ -	$ -	$ -
	Hazardous Materials / Asbestos			$ -	$ -	$ -	$ -	$ -	$ -	$ -
	Grand Total			**$ 2,846,240**	**$ 98,785**	**$ 5,278**	**$ 7,388**	**$ 3,567**	**TBD**	**$ 10.80**

Moisture Mitigation ($/SF)	Contingency and Owner FFE Reduction	Gerkin sliding windows at dorm rooms in lieu of Kawneer	Existing Modine heater in gear locker room to remain	Black pipe for fire suppression in lieu of galvanized in attic dry system	Paint in lieu of wall tile in kitchen (tile to remain at cooktop)	Solid surface in lieu of quartz tops	Alternative tile in bathrooms	Pex in lieu of copper piping		
Unit Price #2	**VE #1**	**VE #2**	**VE #3**	**VE #4**	**VE #5**	**VE #6**	**VE #7**	**VE #8**	**GMP**	**Pending**
	Accepted	**Accepted**	**Accepted**	**Accepted**	**Accepted**	**Accepted**	**Accepted**	**Accepted**		
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 103,871	$ -
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 198,190	$ -
$ -	$ -	$ -	$ -	$ -	$ -	$ (2,500)	$ -	$ -	$ 371,300	$ 17,800
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 8,195	$ -
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 46,915	$ -
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 6,379	$ -
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 70,000	$ -
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 6,892	$ -
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 19,600	$ -
$ -	$ -	$ (9,500)	$ -	$ -	$ -	$ -	$ -	$ -	$ 56,332	$ -
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 142,896	$ 8,457
$ -	$ -	$ -	$ -	$ -	$ (1,700)	$ -	$ (5,000)	$ -	$ 33,250	$ 19,900
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 16,995	$ 180
$ 3.25	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 39,290	$ 865
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 4,204	$ -
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 34,247	$ 225
$ -	$ -	$ -	$ -	$ (2,300)	$ -	$ -	$ -	$ -	$ 80,200	$ -
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ (5,300)	$ 184,976	$ 30,263
$ -	$ -	$ -	$ (1,286)	$ -	$ -	$ -	$ -	$ -	$ 124,134	$ 7,792
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 197,300	$ 10,970
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 49,930	$ 700
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 47,780	$ 3,915
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 13,321	$ -
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 4,825	$ -
$ 3.25	$ -	$ (9,500)	$ (1,286)	$ (2,300)	$ (1,700)	$ (2,500)	$ (5,000)	$ (5,300)	$ 1,861,022	
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 249,000	
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 43,308	
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 15,000	
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
$ 3.25	$ -	$ (9,500)	$ (1,286)	$ (2,300)	$ (1,700)	$ (2,500)	$ (5,000)	$ (5,300)	$ 2,168,330	
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 14,273	$ 653
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 1,902	$ 80
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
$ -	$ (64,694)	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 100,000	$ 7,544
$ 3.25	**$ (64,694)**	**$ (9,500)**	**$ (1,286)**	**$ (2,300)**	**$ (1,700)**	**$ (2,500)**	**$ (5,000)**	**$ (5,300)**	**$ 2,284,505**	**$ 109,344**
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
$ 3.25	$ (64,694)	$ (9,500)	$ (1,286)	$ (2,300)	$ (1,700)	$ (2,500)	$ (5,000)	$ (5,300)	$ 2,284,505	
$ -	$ (1,520)	$ (223)	$ (30)	$ (54)	$ (40)	$ (59)	$ (118)	$ (125)	$ 53,685	$ 2,557
$ 3.25	$ (66,214)	$ (9,723)	$ (1,316)	$ (2,354)	$ (1,740)	$ (2,559)	$ (5,118)	$ (5,425)	$ 2,338,190	
$ -	$ (662)	$ (97)	$ (13)	$ (24)	$ (17)	$ (26)	$ (51)	$ (54)	$ 22,285	$ 1,115
$ 3.25	**$ (66,876)**	**$ (9,820)**	**$ (1,329)**	**$ (2,378)**	**$ (1,757)**	**$ (2,585)**	**$ (5,169)**	**$ (5,479)**	**$ 2,360,475**	**$ 113,016**
$ -	$ (207)	$ (933)	$ (126)	$ (226)	$ (167)	$ (246)	$ (491)	$ (521)	$ 222,226	$ 2,494
$ -	$ (47,930)	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 109,900	
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 2,900	
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ 4,500	
$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	
$ 3.25	**$ (115,013)**	**$ (10,753)**	**$ (1,455)**	**$ (2,604)**	**$ (1,924)**	**$ (2,831)**	**$ (5,660)**	**$ (6,000)**	**$ 2,700,000**	**$ 115,510**

Wisconsin Rapids Fire Station #1

Building Excellence

9/2/2021

	Section Description	Subcontractor	Base Bid	Alternate #1	Alternate #2	Alternate #3	Alternate #4	Alternate #5	Unit Price #1	Unit Price #2	VE #1	VE #2	VE #3	VE #4	VE #5	VE #6	VE #7	VE #8
				Alternates							**Value Engineering**							
03.30	Cast In Place Concrete			Cast In Place Concrete							Cast In Place Concrete							
		Budget	$ 128,350.00															
		MIRON CONSTRUCTION	$ 103,871.00	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
		ALTMAN CONSTRUCTION	$ 143,800.00															
		MIRON CONSTRUCTION	$ 103,871.00															
04.00	Masonry			Masonry							Masonry							
		Budget	$ 189,995.00															
		MIRON CONSTRUCTION	$ 198,190.00	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
		MIRON CONSTRUCTION	$ 198,190.00	$ -														
		WILLIAM A HEIN	$ 201,514.00															
06.00	General Trades			General Trades							General Trades							
		Budget	$ 429,345.00															
		ALTMAN CONSTRUCTION	$ 373,800.00	$ 17,800.00	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ (2,500.00)	$ -	$ -
		ALTMAN CONSTRUCTION	$ 373,800.00	$ 17,800.00												$ (2,500.00)		
		MIRON CONSTRUCTION	$ 431,640.00	$ 14,288.00												$ (4,800.00)		
		APPLETON LATHING CORP	$ 469,000.00	$ 21,400.00														
07.20	Blown Insulation			Blown Insulation							Blown Insulation							
		Budget	$ 14,098.00															
		CENTRAL HOME IMPROVEMENTS	$ 8,195.00	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
		CENTRAL HOME IMPROVEMENTS	$ 8,195.00															
07.24	E.I.F.S.			E.I.F.S.							E.I.F.S.							
		Budget	$ 34,546.00															
		APPLETON LATHING CORP	$ 46,915.00	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
		APPLETON LATHING CORP	$ 46,915.00															
		ZANDER	$ 54,849.00															
07.25	Fluid Applied Air Barrier			Fluid Applied Air Barrier							Fluid Applied Air Barrier							
		Budget	$ 13,518.00															
		APPLETON LATHING CORP	$ 6,379.00	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
		APPLETON LATHING CORP	$ 6,379.00															
		PROFOAMERS	$ 9,185.00															
07.52	Roofing			Roofing							Roofing							
		Budget	$ 61,706.00															
		ALLOWANCE	$ 70,000.00	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
		MOLINA DYNASTY - 65,950 - Incomplete Scope																
		ALLOWANCE	$ 70,000.00															
07.90	Caulking			Caulking							Caulking							
		Budget	$ 5,061.00															
		RYAN JACK PAINTING	$ 6,892.00	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
		RYAN JACK PAINTING	$ 6,892.00															
		MJLP	$ 8,615.00															

Code	Section	Bidder	Amount	M1	M2	M3	M4	M5	M6	M7	R1	R2	R3	R4	R5	R6	R7	R8
8.36	**Sectional Doors**			**Sectional Doors**							**Sectional Doors**							
		Budget	$ 15,000.00															
		CENTRAL DOOR SOLUTIONS	$ 19,600.00	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
		DOORWORKS INC	$ 23,205.00															
		CENTRAL DOOR SOLUTIONS	$ 19,600.00															
		OVERHEAD DOOR OF WASAU																
08.40	**Aluminum Windows, Entrances, Glass/Glazing**			**Aluminum Windows, Entrances, Glass/Glazing**							**Aluminum Windows, Entrances, Glass/Glazing**							
		Budget	$ 29,210.00															
		OMNI	$ 65,832.00	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ (9,500.00)	$ -	$ -	$ -	$ -	$ -	$ -
		OMNI	$ 65,832.00									$ (9,500.00)						
		CORCORAN - 65,570																
09.20	**Gypsum Board Systems**			**Gypsum Board Systems**							**Gypsum Board Systems**							
		Budget	$ 124,843.00															
		APPLETON LATHING CORP	$ 142,896.00	$ 8,457.00	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
		VERHALEN	$ 149,580.00	$ 11,159.00														
		ALTMAN CONSTRUCTION	$ 149,800.00	$ 9,800.00														
		APPLETON LATHING CORP	$ 142,896.00	$ 8,457.00														
09.30	**Tile**			**Tile**							**Tile**							
		Budget	$ 30,009.00															
		RESCH'S TILE	$ 39,950.00	$ 19,900.00	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ (1,700.00)	$ -	$ (5,000.00)	$ -
		GRAZZINI	$ 49,280.00	$ 22,715.00														
		RESCH'S TILE	$ 39,950.00	$ 19,900.00											$ (1,700.00)		$ (5,000.00)	
		H.J. MARTIN	$ 96,527.00	$ 29,044.00						$ 6.00								
		GEGARE	$ 43,690.00	$ 21,875.00						$ 3.25								
		MACCOS	$ 63,196.00															
09.50	**Suspended Acoustical Ceiling**			**Suspended Acoustical Ceiling**							**Suspended Acoustical Ceiling**							
		Budget	$ 20,029.00															
		VERHALEN	$ 16,995.00	$ 180.00	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
		VERHALEN	$ 16,995.00	$ 180.00														
		H.J. MARTIN	$ 20,990.00	$ 600.00														
		CENTRAL CEILINGS	$ 21,420.00	$ 1,755.00														
09.65	**Resilient Flooring, Base and Carpet**			**Resilient Flooring, Base and Carpet**							**Resilient Flooring, Base and Carpet**							
		Budget	$ 30,066.00															
		GEGARE	$ 39,290.00	$ 865.00	$ -	$ -	$ -	$ -	$ -	$ 3.25	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
		H.J. MARTIN - COMBINED WITH TILE																
		GEGARE	$ 39,290.00	$ 865.00						$ 3.25								
		MACCOS - 38,910																
09.67	**Resinous Flooring**			**Resinous Flooring**							**Resinous Flooring**							
		Budget	$ 3,440.00															
		PROTECTIVE COATING SPECIALISTS	$ 4,204.00	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
		PROTECTIVE COATING SPECIALISTS	$ 4,204.00															
09.90	**Painting**			**Painting**							**Painting**							
		Budget	$ 30,839.00															
		MJLP	$ 34,247.00	$ 225.00	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
		MJLP	$ 34,247.00	$ 225.00														
		CORCORAN	$ 52,775.00															
21.00	**Fire Suppression**			**Fire Suppression**							**Fire Suppression**							
		Budget	$ 80,150.00															
		EGI MECHANICAL	$ 82,500.00	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ (2,300.00)	$ -	$ -	$ -	$ -
		APEX	$ 106,890.00															
		LASER FIRE PROTECTION	$ 99,600.00															
		EGI MECHANICAL	$ 82,500.00											$ (2,300.00)				
		FIRELINE	$ 88,200.00															
		BLAIR	$ 91,325.00															

22.00	Plumbing		Plumbing							Plumbing							
	Budget	$ 129,713.00															
	HOOPER	$ 190,276.00	$ 30,263.00	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ (5,300.00)
	HOOPER	$ 190,276.00	$ 30,263.00														$ (5,300.00)
	EGI MECHANICAL	$ 219,000.00	$ 43,000.00														
	WISCONSIN MECHANICAL	$ 215,970.00	$ 50,825.00														
23.00	HVAC		HVAC							HVAC							
	Budget	$ 98,350.00															
	RON'S REFRIGERATION	$ 125,420.00	$ 4,180.00	$ -	$ -	$ 3,120.00	$ 492.00	$ -	$ -	$ -	$ -	$ (1,286.00)	$ -	$ -	$ -	$ -	$ -
	RON'S REFRIGERATION	$ 125,420.00	$ 4,180.00			$ 3,120.00	$ 492.00					$ (1,286.00)					
	WISCONSIN MECHANICAL	$ 149,857.00	$ 8,090.00			$ 4,517.00	$ 1,846.00										
26.00	Electrical		Electrical							Electrical							
	Budget	$ 185,061.00															
	K&M ELECTRIC	$ 197,300.00	$ 4,510.00	$ -	$ 6,460.00	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
	CURRENT TECHNOLOGIES	$ 206,354.00	$ 3,366.00		$ 7,562.00												
	ECON ELECTRIC	$ 219,265.00	$ 3,912.00		$ 13,281.00												
	K&M ELECTRIC	$ 197,300.00	$ 4,510.00		$ 6,460.00												
	TOTAL ELECTRIC	$ 256,680.00	$ 5,200.00		$ 8,970.00												
31.00	Earthwork, Site Utilities and Selective Site Demolition		Earthwork, Site Utilities and Selective Site Demolition							Earthwork, Site Utilities and Selective Site Demolition							
	Budget	$ 62,518.00															
	PRECISION GRADING	$ 49,930.00	$ -	$ 700.00	$ -	$ -	$ -	$ 9.80	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
	PRECISION GRADING	$ 49,930.00		$ 700.00				$ 9.80									
32.14	Asphalt Paving		Asphalt Paving							Asphalt Paving							
	Budget	$ 32,608.00															
	AMERICAN ASPHALT	$ 47,780.00	$ -	$ 3,915.00	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
	AMERICAN ASPHALT	$ 47,780.00		$ 3,915.00													
32.16	Site Concrete		Site Concrete							Site Concrete							
	Budget	$ 17,192.00															
	CHIPPEWA CONCRETE	$ 13,321.00	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
	MARTELL	$ 21,500.00		$ 22,900.00													
	CHIPPEWA CONCRETE	$ 13,321.00		$ -													
32.90	Seeding and Landscaping		Seeding and Landscaping							Seeding and Landscaping							
	Budget	$ 3,800.00															
	CARL'S LANDSCAPE	$ 4,825.00	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
	CARL'S LANDSCAPE	$ 4,825.00															