



**PLANNING COMMISSION
MEETING
May 6, 2024
4:00 PM**

PUBLIC MEETING NOTICE

PLANNING COMMISSION

Mayor Blaser, Chairperson
Ryan Austin, Alderperson
Lee Thao
Eric Daven
Ben Goodreau
Thaddeus Kubisiak
Jeff Marutz

AGENDA ITEM RECIPIENTS

Sue Schill, City Attorney
Erika Esser, Secretary
Jennifer Gossick, City Clerk

Notice is hereby given of a meeting of the Wisconsin Rapids Planning Commission to be held in the Council Chambers at City Hall, 444 West Grand Avenue, Wisconsin Rapids, on **Monday, May 6th, 2024, at 4:00 PM**. The meeting will be streamed live on the City of Wisconsin Rapids Facebook page and will also be broadcast live on Charter Cable Channel 985 and Solarus HD Cable Channel 3. If a member of the public wishes to access this meeting live via Zoom audio conferencing, you must contact the City Clerk at least 24 hours prior to the start of the meeting to coordinate your access. This meeting is also available after its conclusion on the City's Facebook page and Community Media's YouTube page, which can be accessed at www.wr-cm.org. It is possible that members of the Planning Commission may appear remotely via video or audioconferencing for this meeting.

AGENDA

1. Approval of the report from April 1, 2024, Planning Commission meeting.
2. **24-000340; Wisconsin Rapids Public Schools (WRPS)** – public hearing and action on a request for a Conditional Use Permit Amendment to perform recreational site improvements at Wisconsin Rapids Area Middle School, 1921 27th Avenue South (Parcel IDs 3404723 and 3404725).
3. **24-000341; Wisconsin Rapids Public Schools (WRPS)** – public hearing and action on a request for a Conditional Use Permit Amendment to perform recreational site improvements at Mead Elementary School, 241 17th Avenue South (Parcel ID 3402835).
4. **24-000342; Wisconsin Rapids Public Schools (WRPS)** – public hearing and action on a request for a Conditional Use Permit Amendment to perform recreational site improvements at Pitsch Early Learning Center, 501 17th Street South (Parcel ID 3406281).
5. **24-000301; Greg C. Hepp & Lori J. Hepp** - request for a special exception to allow an accessory building in front of a principal building in the Mixed

Residential (R-2) District at 511 S 14th Street (Parcel ID 3406904).

- 6. 24-000247: Nieman's Service Inc.** – public hearing and action on a request for a conditional use permit to construct a building addition for a towing business (vehicle repair shop) at 2141 West Grand Avenue (Parcel ID 3403426), 2111 West Grand Avenue (Parcel ID 3403425), and an unaddressed parcel on 21st Avenue South (Parcel ID 3403428).
- 7. City of Wisconsin Rapids – 24-000276:** Public hearing and action on a request from the City of Wisconsin Rapids to amend Chapter 11-Zoning Ordinance, specifically Appendix C, Zoning Districts and Dimensional Standards, to adjust R-3 district standards for single family uses.
- 8. Adjourn**

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at this meeting is not possible due to a disability or other reasons, notification to the city clerk's office at least 24 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the clerk at (715) 421-8200 to request accommodations.

PUBLISH: April 19th and 26th, 2024

NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE that the City of Wisconsin Rapids Planning Commission will hold a **Public Hearing on Monday, May 6, 2024, at 4:00 PM** within the Council Chambers at City Hall, 444 West Grand Avenue, Wisconsin Rapids. Participation at the public hearing is encouraged. The public can also submit comments prior to the hearing by contacting the Community Development Department at 715-421-8228 or CommunityDevelopment@wirapids.org. The following items will be heard and possibly acted on:

1. Public hearing and action on a request from Nieman's Service Inc. for a conditional use permit to construct a building addition for a towing business (vehicle service shop) at 2141 West Grand Avenue (Parcel ID 3403426), 2111 West Grand Avenue (Parcel ID 3403425), and an unaddressed parcel on 21st Avenue South (Parcel ID 3403428).
2. Public hearing and action on a request from the City of Wisconsin Rapids to amend Chapter 11-Zoning Ordinance, specifically Appendix C, Zoning Districts and Dimensional Standards, to adjust R-3 district standards for single family uses.

Further details regarding the specific requests can be obtained within the Community Development Department at City Hall, or by calling the department at 715-421-8228.

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk's office at least 48 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the Clerk at (715) 421-8200 to request accommodations.

Jennifer Gossick,
Wisconsin Rapids City Clerk

PUBLISH: April 25th and 29th, 2024

NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE that the City of Wisconsin Rapids Planning Commission will hold a **Public Hearing on Monday, May 6, 2024, at 4:00 PM** within the Council Chambers at City Hall, 444 West Grand Avenue, Wisconsin Rapids. Participation at the public hearing is encouraged. The public can also submit comments prior to the hearing by contacting the Community Development Department at 715-421-8228 or CommunityDevelopment@wirapids.org. The following items will be heard and possibly acted on:

1. Public hearing and action on a request from Wisconsin Rapids Area Middle School for a conditional use permit amendment to perform recreational site improvements at 1921 27th Avenue South (Parcel IDs 3404723 and 3404725).
2. Public hearing and action on a request from Mead Elementary School for a conditional use permit amendment to perform recreational site improvements at 241 17th Avenue South (Parcel ID 3402835).
3. Public hearing and action on a request from Pitsch Early Learning Center for a conditional use permit amendment to perform recreational site improvements at 501 17th Street South (Parcel ID 3406281).

Further details regarding the specific requests can be obtained within the Community Development Department at City Hall, or by calling the department at 715-421-8228.

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk's office at least 48 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the Clerk at (715) 421-8200 to request accommodations.

Jennifer Gossick,
Wisconsin Rapids City Clerk

REPORT OF THE PLANNING COMMISSION

Date of Meeting: April 1, 2024

Report #1

The Planning Commission met at 4:00 p.m. on April 1, 2024 in the Council Chambers at City Hall. It was also streamed live on the City of Wisconsin Rapids Facebook page and broadcast live on Charter Cable Channel 985 and Solarus HD Cable Channel 3. Members present in the Chambers included Chairperson Shane Blaser, Eric Daven, Lee Thao, and Thad Kubisiak. Ben Goodreau attended via Zoom. Jeff Marutz and Ryan Austin were excused. Also attending were Community Development Director Kyle Kearns, Associate Planner Lizabeth Edwardsen, Alderperson Dennis Polach, those indicated on the meeting sign-in sheet, and representatives for Valvoline joined via Zoom.

The meeting was called to order at 4:00 p.m.

1. Approval of the report from March 4, 2024, Planning Commission meeting.

Motion by Kubisiak to approve the report from March 4, 2024, Planning Commission meeting.

the report from March 4, 2024, Planning Commission meeting; second by Goodreau.

Motion carried (5 – 0)

2. **24-000234; Valvoline LLC** – request for a Site Plan Review to construct a vehicle service shop at 1140 East Riverview Expressway (Parcel ID 3411798)

Kyle Kearns provided a review of the request. Approval was recommended with the conditions outlined in the staff report.

Member Kubisiak asked about the accessibility of sewer and water laterals as well as vision triangle issues, and Eric Daven inquired about traffic flow in the parking lot, to which Mr. Kearns replied.

Motion by Daven to approve the request for a Site Plan Review to construct a vehicle service shop at 1140 East Riverview Expressway (Parcel ID 3411798) subject to the following conditions:

- 1) An exception shall be included for overhead doors facing 12th Street.
- 2) An updated lighting plan shall be submitted showing that light trespass does not exceed 0.2 foot candles on property lines to adjacent commercial uses.
- 3) Staff recommends a special exception to allow up to 50% of the parking stalls in front of the principal building
- 4) All required stormwater requirements and permits shall be met and obtained by the applicant.
- 5) An updated landscaping plan shall be provided after the existing vegetation is surveyed by a landscape architect to ensure street frontage plantings are met.
- 6) Applicable permits through the City shall be obtained.
- 7) Community development department shall have the authority to approve minor modifications to the plans.

Second by Kubisiak

Motion carried (5 – 0)

3. **24-000246; City of Wisconsin Rapids** – request for a Site Plan Review to construct park improvements at Mead Park, 311 17th Avenue South (Parcel ID 3402825)

Mr. Kearns explained that the Planning Commission is the acting body to approve all City owned parcel improvements and park space improvements and provided a summary of the request. Approval was recommended with the conditions identified in the staff report.

Thad Kubisiak asked for clarification about parking spaces and overflow parking. Mr. Kearns provided feedback regarding the parking and also about storm water grading.

Motion by Blaser to approve the request for a Site Plan Review to construct park improvements at Mead Park, 311 17th Avenue South (Parcel ID 3402825) with the conditions outlined in the staff report:

1. All required stormwater requirements and permits shall be met and obtained by the applicant.
2. Applicable permits through the City shall be obtained.
3. Community Development Department shall have the authority to approve minor modifications to the plans.

Second by Thao

Motion carried (5 – 0)

4. Adjourn

Motion by Kubisiak to adjourn the meeting; second by Daven.

Motion carried (5 – 0)

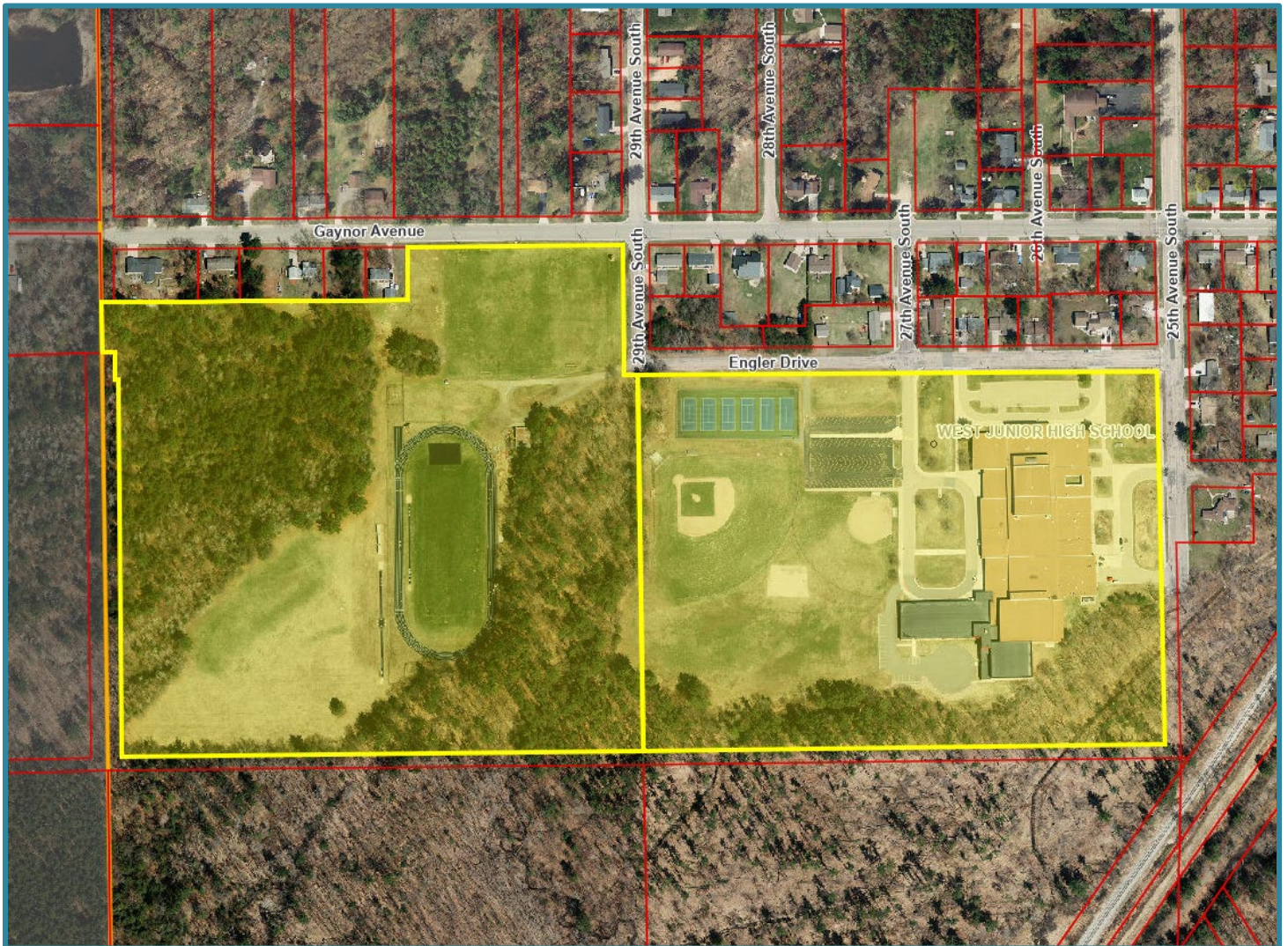
Respectfully Submitted by Erika Esser, Secretary



Administrative Staff Report
Conditional Use Permit Amendment:
School – Outdoor Rec. Facility
1921 27th Avenue South
April 25, 2024

<p>Applicant(s):</p> <ul style="list-style-type: none"> Wisconsin Rapids Public Schools (WRPS) <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns, Director of Community Development Lizzy Edwardsen, Associate Planner <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3404723 3404725 <p>Lot Information:</p> <ul style="list-style-type: none"> Acreage: 61.34 Square Footage: 2,671,970.4 <p>Zone(s):</p> <ul style="list-style-type: none"> (I-1) Institutional District <p>Council District:</p> <ul style="list-style-type: none"> District 2 - Veneman <p>Master Plan:</p> <ul style="list-style-type: none"> Governmental / Public / Institutional <p>Current Use:</p> <ul style="list-style-type: none"> Institutional <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 - Zoning 	<p>Request</p> <p>24-000340; Wisconsin Rapids Public Schools (WRPS) – public hearing and action on a request for a Conditional Use Permit Amendment to perform recreational site improvements at Wisconsin Rapids Area Middle School, 1921 27th Avenue South (Parcel IDs 3404723 and 3404725).</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Application Plans Renderings <p>Findings of Fact</p> <ol style="list-style-type: none"> The property is over 61 acres in size and is utilized for the Wisconsin Rapids Area Middle School The property is zoned (I-1) Institutional District. Educational facilities (pre-k through 12) are a conditional use within the Institutional (I-1) District. The applicant is requesting to expand the recreational facilities on the site. The recreational site improvements would require an amendment to the conditional use permit. A building plan – architectural review (AR), plan of operation (PO), site plan (SP), and zoning permit (ZP) are required. <p>Staff Recommendation</p> <p>Approve the request from the applicant for a conditional use permit amendment to perform recreational site improvements at 1921 27th Avenue South (Parcel IDs 3404723 and 3404725), subject to the following conditions:</p> <ol style="list-style-type: none"> Applicable building and stormwater permit (state and local) shall be obtained. Minor modifications to the plan shall be permitted to be reviewed and approved by the Community Development Department.
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Vicinity Map



Background

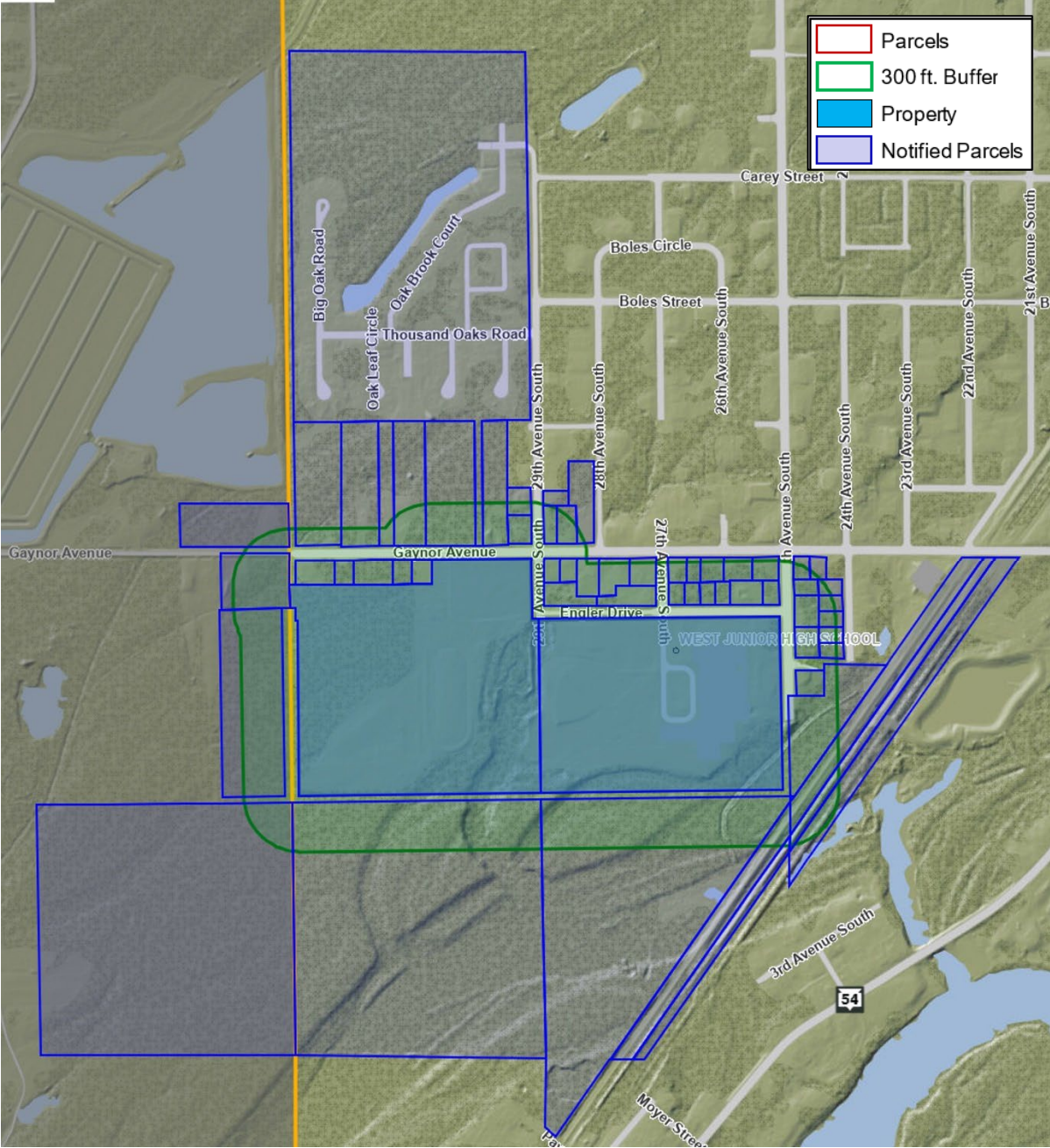
The applicant is requesting to expand recreational facilities at the Wisconsin Rapids Area Middle School, including the following:

1. Install new playground equipment
2. Install an asphaltic surface for basketball court and painted playground striping
3. Install a disc golf course

The use is categorized as an educational facility, pre-K through 12 in Chapter 11 – Zoning and requires a conditional use permit in the I-1 Institutional District. The site is surrounded by Mixed Residential (R-2), Rural (RR) Residential Districts and land within the Town of Seneca to the west.

The conditional use permit standards of review are analyzed below, and more information can be found within the attached application and plans.

Exhibit Map



Conditional Use Permit Standards of Review 11.05.55 Basis of decision

Generally. When reviewing conditional uses other than nonconforming conditional uses, the review authority shall consider the following factors:

- 1) the size of the parcel on which the proposed use will occur;

Analysis: The property is currently being utilized for the middle school, which includes outdoor recreational facilities. Furthermore, the proposed improvements will expand the outdoor recreation on site as described above.

Findings: The property is over 61 acres in size and is sufficient to accommodate the proposed recreational site improvements.

2) the presence of and compatibility with other uses on the subject property, if any;

Analysis: The Wisconsin Rapids Area Middle School and accessory sports uses already exist on the property. Proposed improvements will likely increase use and traffic on the site, but the property is capable of handling such uses and traffic volumes.

Findings: The proposed improvements compliment the middle school use and should not be detrimental to such use.

3) the location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses);

Analysis: See the above analysis and findings. The proposed improvements will occur on both parcels, near the south side of the property. Residential properties exist to the north and northeast, while vacant property exists to the west, south, and southeast.

Findings: Most improvements exist on the south side of the property, near to vacant undeveloped land under the ownership of Moccasin Creek Cranberry Co. LLC. The new playground equipment and basketball surface will be installed adjacent to existing pavement, south of the softball and baseball diamonds. The location of the improvements are appropriate for the intended use.

4) effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;

Analysis: The outdoor recreational improvements are accessory in nature to the middle school and would not require increases to parking under the code. Parking is not proposed to be added. There are three existing parking lots on the east parcel, and none on the west parcel. 23 parking stalls and 2 ADA compliant parking stalls exist on the asphaltic surface directly east of the proposed playground equipment installation and basketball court. There are no existing crosswalks in this area.

Findings: The layout of the improvements will ensure patrons remain primarily internal on the property.

5) the suitability of the subject property for the proposed use;

Analysis: See the above standards regarding lot size and other site specifics.

Findings: The improvements will have minimal impact when considering scale, and the property will remain suitable for the proposed use.

6) effects of the proposed use on the natural environment;

Analysis: The proposed addition of an impervious area for the basketball court will occur on what is currently bare ground. Tree clearing will also occur to construct the disc golf course. The playground surface will consist of a 12" layer of wood chips enclosed within concrete curbing. The disc golf throwing pad areas will consist of gravel.

Findings: The basketball court area will be the only impervious surface addition, consisting of asphalt pavement. The approximate surface area for the asphalt pavement will be approximately 20,000 square feet. The exact square footage for the impervious area was not provided on the plans but estimated from site drawing measurements. Overall, there will be minimal impact to existing green space. Staff would recommend all stormwater requirements, state and local, be met.

- 7) **effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances;**

Analysis: See the above analysis. The use already exists on the property but would be expanded.

Findings: The use is on a property where it already occurs, in addition to the school use. Furthermore, the property lies on a minor arterial street and is adjacent to undeveloped property.

- 8) **effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts; and**

Analysis: The surrounding area is mostly developed. Vacant land to the east is owned by the School District. Vacant land to the south is owned by Moccasin Creek Cranberry Co. LLC.

Findings: The use should not impede the normal development and improvement of the surrounding area.

- 9) **any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.**

Analysis: Notices regarding the request were sent to neighbors within a 300-foot boundary of the property.

Findings: Concerned citizens can attend the meeting and provide input at the public hearing. At the time of this report, a few citizens have asked for further details related to the project.

Site Plan & Architectural Standards of Review

1) Use

Analysis: A middle school and associated accessory uses are a conditional use within the (I-1) Institutional District.

Findings: See the conditional use permit standards above. Note that a building plan – architectural review (AR), site plan review (SP), plan of operation (PO), and zoning permit (ZP) are required for nonresidential accessory structures.

2) Dimensional Standards

Analysis: Building setbacks for the facilities appear to meet the minimums (25 feet street and 10 feet side and rear). The impervious surface ratio is unknown, but it appears that the standard is evidently met given the size of the site.

Findings: The applicable dimensional standards appear to be met.

3) Ingress/Egress

Analysis: The existing driveways on Engler Drive and 25th Avenue South will remain to be utilized for the recreational facility improvements.

Findings: Driveway standards are met, as the addition does not change ingress/egress to the site.

4) Parking

Analysis: The proposed recreational facility expansion is accessory in nature to the principal middle school use and does not require additional parking stalls.

Findings: If any additional parking is to be added, an updated parking lot site plan shall be submitted, meeting applicable parking requirements, to be reviewed and approved by the Community Development Department.

5) Landscaping

Analysis: The property is currently being utilized as a middle school with existing recreational facilities. Additionally, parking lots exist to serve the middle school and isn't proposed or required to be expanded. However, the basketball court area creates an approximate total of 20,000 square feet of hard surface.

Findings: Street frontage plantings are not required, as the middle school use is already established on the property. Building landscaping is not required as well, given the improvements are accessory in nature. Furthermore, no changes to the parking lot are proposed, and therefore do not trigger parking lot landscaping.

6) Architectural Review

Not applicable. Playground facilities and shelters are considered accessory structures.

7) Lighting & Photometric Plan

Not applicable. No lighting is proposed or required for the site improvements.

In summary, the proposed use should not be detrimental to the neighborhood and seems appropriate for the area and property, as it is not a substantial change to the existing use(s). While the intensity of the outdoor recreational uses is increasing, it should not be detrimental to the area. Therefore, staff would recommend approving the conditional use permit amendment for the improvements as proposed, subject to the conditions outlined on page one.



Conditional Use Application
City of Wisconsin Rapids, Wisconsin

Version: January 3, 2019

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The City's zoning regulations identify land uses that may be allowed in each of the zoning districts either by right or as a conditional use. By definition, a conditional use is a land use that may or may not be appropriate on a given parcel depending on a wide range of factors that relate to the proposed use and the particular circumstances relating to the parcel and surrounding properties.

If you submit an application, do not contact any member on the Planning Commission or the Common Council until after a final decision has been made.

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at https://wisconsinrapids.zoninghub.com/

Application fee: \$250.00 for principal and accessory uses; \$100.00 for temporary uses and \$50.00 for administrative renewals

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Aldersperson notification Before you submit your application, you will need to send a letter to the Aldersperson of the district of where the request is taking place, explaining the request. Please attach the notification letter with your application materials.

Office Use Only

Date Received
Received By
Fee
Case #
Aldermanic District
Plan Commission Date

1. Applicant information

Applicant name Craig Broeren - Wisconsin Rapids Public Schools
Street address 510 Peach St
City, state, zip code Wisconsin Rapids, WI, 54494
Daytime telephone number 715-424-6701
Email craig.broeren@wrps.net

2. Agent contact information Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

Agent 1: Name Geno Carlson, Company Point of Beginning, Inc., Street address 4941 Kirschling Ct, City, state, zip code Stevens Point, WI, 54481, Daytime telephone number 715-344-9999, Email genoc@pobinc.com
Agent 2: (Blank form)

3. Type of application (select one)

New conditional use

Yes No Are there any other current conditional use approvals for the property?

If yes, provide the year of issuance and a short description.

An amendment of a previously approved conditional use

4. Subject property information

Physical address 1921 27th Ave S

Parcel number(s) 3404723 3404725

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

No
 Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

No
 Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|--|--|---|
| <input type="checkbox"/> RR Rural Residential | <input type="checkbox"/> R-8 Manufactured Home Park | <input type="checkbox"/> M-1 General Industrial |
| <input type="checkbox"/> R-1 Single-family Residential | <input type="checkbox"/> B-1 Downtown Commercial | <input type="checkbox"/> M-2 Heavy Industrial |
| <input type="checkbox"/> R-2 Mixed Residential | <input type="checkbox"/> B-2 General Commercial | <input checked="" type="checkbox"/> I-1 Institutional |
| <input type="checkbox"/> R-3 Multi-family Medium Density Residential | <input type="checkbox"/> B-3 Neighborhood Commercial | <input type="checkbox"/> P-1 Park and Recreation |
| <input type="checkbox"/> R-4 Multi-family High Density Residential | <input type="checkbox"/> B-5 Mixed Use Commercial | <input type="checkbox"/> C-1 Conservancy |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|--|---|--|
| <input type="checkbox"/> Planned Development (PDD) | <input checked="" type="checkbox"/> Shoreland | <input type="checkbox"/> Floodplain |
| <input type="checkbox"/> Downtown Design | <input type="checkbox"/> Shoreland-Wetland | <input type="checkbox"/> Wellhead Protection |

6. **Current use** Describe the current use of the subject property.

Wisconsin Rapids Area Middle School

7. **Proposed use** Describe the proposed conditional use or the proposed amendment.

Wisconsin Rapids Area Middle School

8. **Evaluation criteria** The factors listed below will be used in evaluating this application. Your responses are important.

1. The size of the parcel on which the proposed use will occur.

61.246 ac

2. The presence of and compatibility with other uses on the subject property if any.

Consistent - replacement/expansion of playground equipment. Add basketball surface and disc golf course.

3. The location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses).

Disc golf will be available for community use - evenings/weekends.

4. Effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site.

Potential increase for disc golf.

5. The suitability of the subject property for the proposed use.

Very suitable - disc golf area includes existing cross-country running/ski trails.

6. Effects of the proposed use on the natural environment.

Minor reduction in manicured/maintained green space. Minimal disturbance in wooded area to maximize natural terrain in disc golf area.

7. Effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances.

No change.

8. Effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts.

No impact.

9. Any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.

N/A

9. **Supplemental materials** Attach the following to this application form.

- 1. A project map with the information listed in Appendix F of the zoning code.
- 2. Proposed construction plans (if applicable)
- 3. The letter you sent to the Alderperson for the district in which the project is located.

10. **Attachments** List any attachments included with your application.

See attached site development plans.

11. **Other information** You may provide any other information you feel is relevant to the review of your application.

12. **Mandatory meeting with staff**

When did you meet with the Community Development Director?

By Phone: 04/18/2024

Month/year

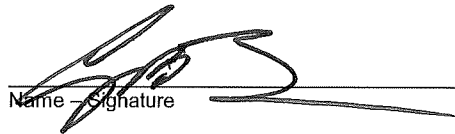
13. Applicant certification

- I understand that I, or any of my agents, may not discuss this application with any member of the Planning Commission or the Common Council until after a final decision is rendered.
- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Craig G. Broeren, Superintendent, WRPS

Name – print



Name – Signature

4/18/24

Date

Name – print

Name – Signature

Date

WISCONSIN RAPIDS AREA MIDDLE SCHOOL PLAYGROUND IMPROVEMENTS

WISCONSIN RAPIDS PUBLIC SCHOOLS

INDEX MAP



DESIGN DRAWINGS BENCHMARK INFO:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #1
PUMP SPRING ON HYDRANT
LOCATED AT THE NORTHEAST QUADRANT OF THE
INTERSECTION OF ENGLER DRIVE AND 27TH
AVENUE SOUTH.
ELEVATION = 1002.55

BENCHMARK #2
BURY BOLT ON HYDRANT
LOCATED AT THE NORTHWEST CORNER OF THE
INTERSECTION OF ENGLER DRIVE AND 27TH
AVENUE SOUTH.
ELEVATION = 1000.29

BENCHMARK #3
POB SPIKE ON EAST SIDE OF LIGHT POLE
LOCATED ON THE WEST SIDE OF 27TH AVENUE
SOUTH, APPROXIMATELY 215 FEET SOUTH OF THE
INTERSECTION OF 27TH AVENUE SOUTH AND
ELEVATION = 1000.26

BENCHMARK #4
BURY BOLT ON HYDRANT
LOCATED ON THE SOUTH SIDE OF THE WISCONSIN
RAPIDS MIDDLE SCHOOL BUILDING, APPROXIMATELY
155 FEET SOUTHWEST OF THE SOUTHWEST
CORNER OF 54th BLDG.
ELEVATION = 1001.64

DESIGN DRAWINGS UTILITY DISCLAIMER:

THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOWN HEREIN WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. EXISTING UTILITY RECORDS AND DRAWINGS WERE REVIEWED FOR DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED OR MARKED DURING THE COURSE OF RECORDING AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION SHOWN HEREON IS ADVISED AND FOREWARNED THAT ANY EXCAVATION WORK ON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES. THIS DESIGN IS PROVIDED BY GENERAL UNDERGROUND UTILITY LOCATIONS AND SHOWS FROM UTILITY RECORDS, BY OTHERS, AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON, AND BELIEVES THAT THE INFORMATION CONTAINED HEREON IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.

CIVIL SHEET INDEX:

C0.0	TITLE PLAN
TS1.1-1.2	TOPOGRAPHIC SURVEY
C1.0-1.1	DEMOLITION PLAN
C2.0-2.1	LAYOUT PLAN
C3.0-3.1	GRADING PLAN
C4.0-4.1	EROSION CONTROL PLAN

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REVISIONS	
CHECKED:	L.B.
DRAWN:	GMC
DATE:	03/19/2024
PROJECT NO.:	23.007

**ISSUED FOR BID
TITLE SHEET**

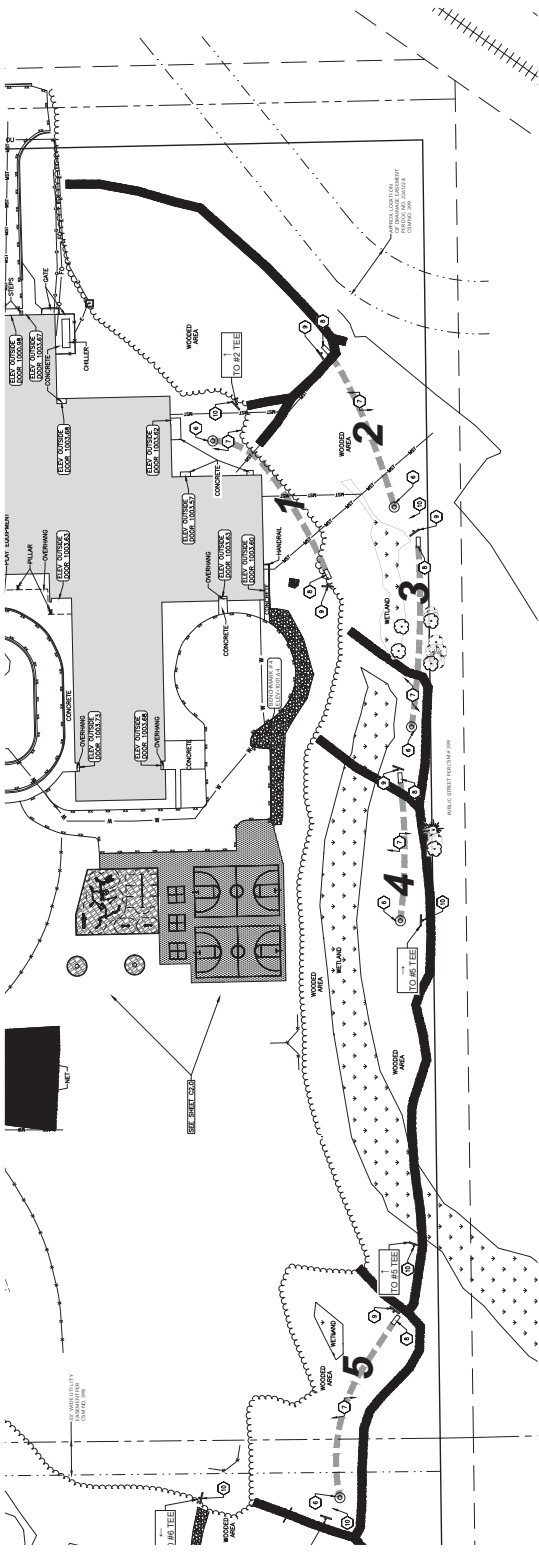
**WISCONSIN RAPIDS PUBLIC SCHOOLS
WRAMS PLAYGROUND DEVELOPMENT
CITY OF WISCONSIN RAPIDS
WOOD CO., WISCONSIN**

Civil Engineering
Land Surveying
1081 16th Ave
Stevens Point, WI 54481
715.344.9999 (PH) 715.344.0922 (FX)

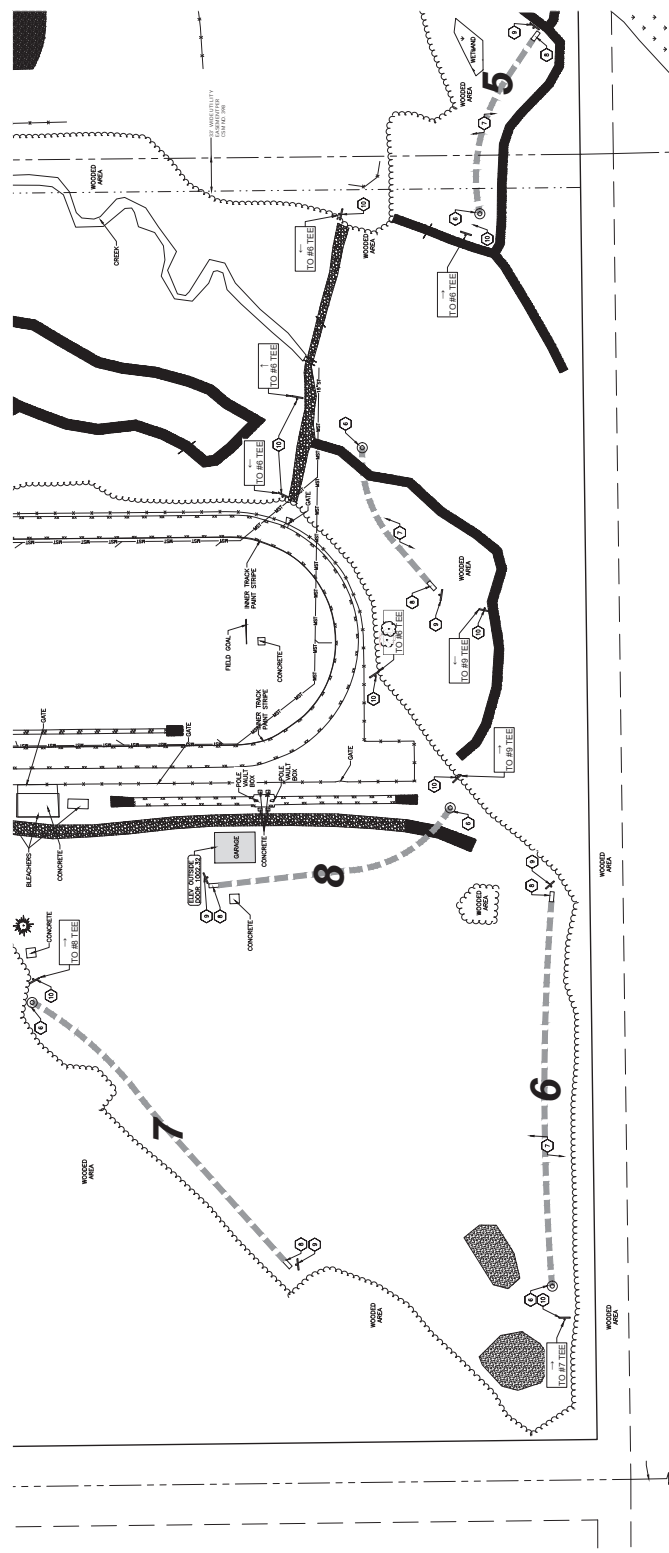


SHEET
C0.0

No.	Par	Length (ft.)
1	3	179
2	3	166
3	3	180
4	3	137
5	3	187
6	4	382
7	4	360
8	3	253
9	3	154
Total:		29 1,998



DISC GOLF COURSE (EAST)



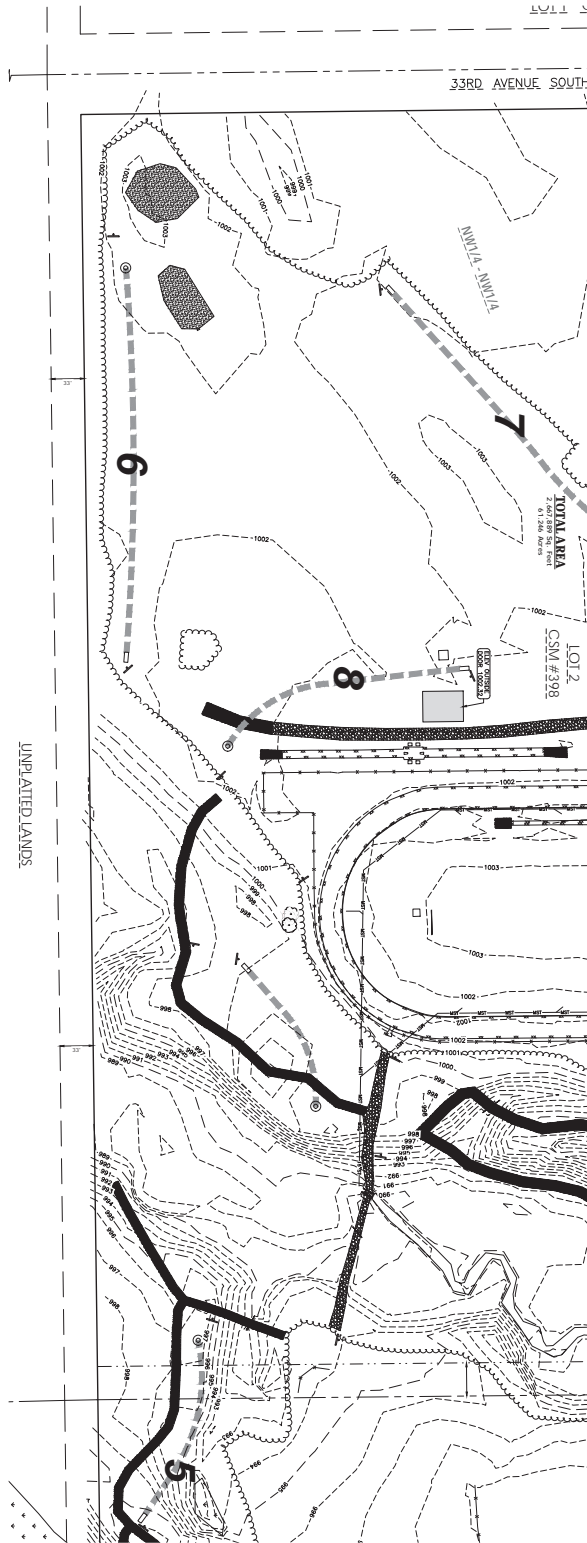
DISC GOLF COURSE (WEST)

POINT OF BEGINNING IS LOCATED AT THE INTERSECTION OF WOOD ST. AND WISCONSIN ST. IN THE CITY OF WISCONSIN RAPIDS, WISCONSIN. THE COURSE IS LOCATED TO THE EAST OF WOOD ST. AND TO THE WEST OF WISCONSIN ST. THE COURSE IS LOCATED TO THE NORTH OF WOOD ST. AND TO THE SOUTH OF WISCONSIN ST. THE COURSE IS LOCATED TO THE EAST OF WOOD ST. AND TO THE WEST OF WISCONSIN ST. THE COURSE IS LOCATED TO THE NORTH OF WOOD ST. AND TO THE SOUTH OF WISCONSIN ST.

NOTES:
 1. ALL DISC GOLF COURSE SURFACE SHOULD BE ROUGH GRADED AFTER THEIR REMOVAL TO BLEND WITH EXISTING SURROUNDING TOPOGRAPHY.

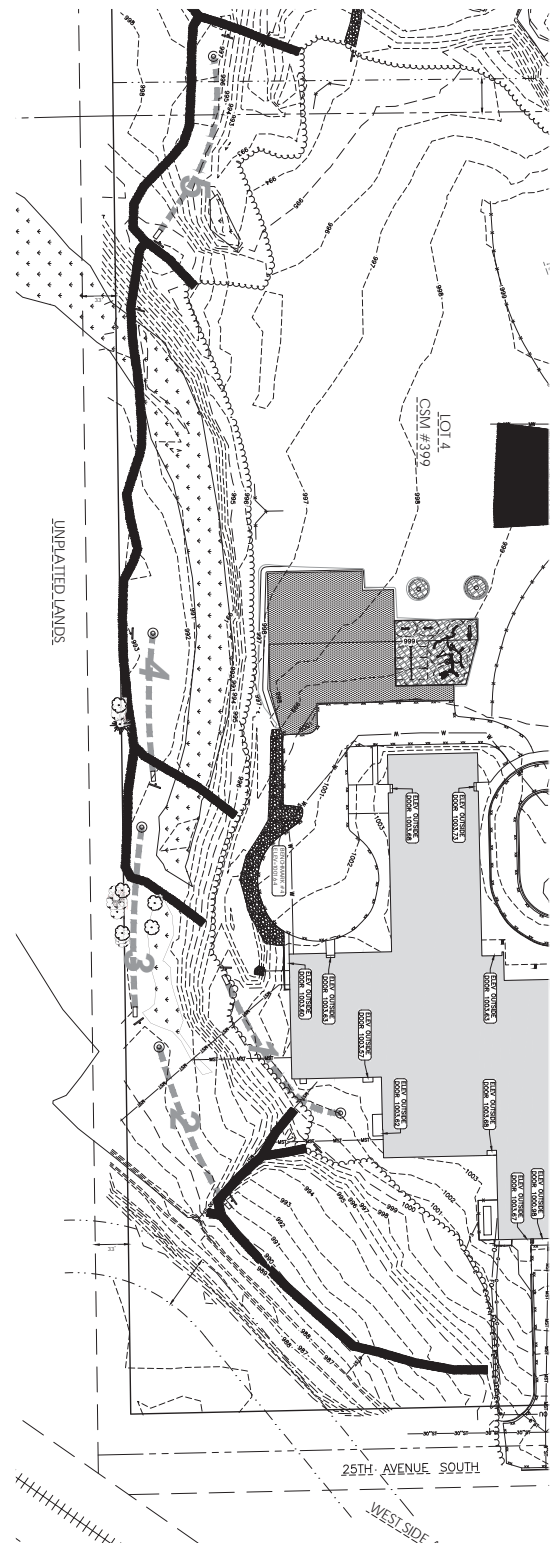
DISC GOLF COURSE (WEST)

UNPLATTED LANDS



DISC GOLF COURSE (EAST)

UNPLATTED LANDS



NOTES:
 1. ALL DISC GOLF COURSE SURFACE SHOULD BE ROUGH GRADED AFTER THEIR REMOVAL TO BLEND WITH EXISTING SURROUNDING TOPOGRAPHY.



POB
 Point of Beginning
 SHEET C3.1

Civil Engineering
 Land Surveying
 Landscape Architecture
Page 26 of 108
 2021 Wisconsin State
 Stevens Point, WI 54481
 715.344.9999 (PH) 715.344.9922 (FX)

**WISCONSIN RAPIDS PUBLIC SCHOOLS
 WRAMS PLAYGROUND DEVELOPMENT
 CITY OF WISCONSIN RAPIDS
 WOOD CO., WISCONSIN**

**ISSUED FOR BID
 GRADING PLAN**

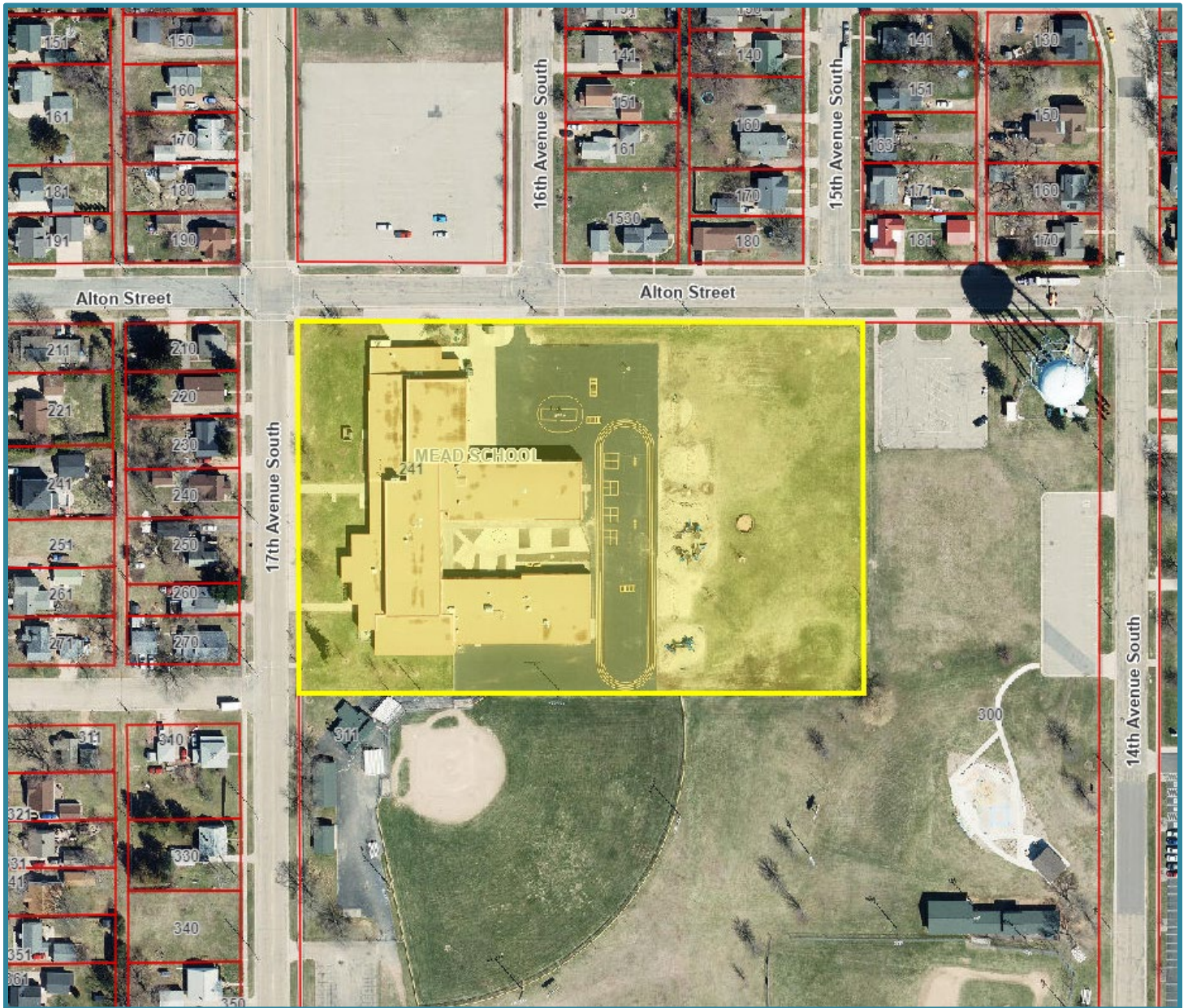
DATE	06/17/2024
REVISION	0
PROJECT NO.	23-077
SCALE	AS SHOWN
DRAWN BY	AS SHOWN
CHECKED BY	AS SHOWN
DATE	06/17/2024
PROJECT NO.	23-077



Administrative Staff Report
Conditional Use Permit Amendment:
School – Outdoor Rec. Facility
241 17th Avenue South
April 25, 2024

<p>Applicant(s):</p> <ul style="list-style-type: none"> Wisconsin Rapids Public Schools (WRPS) <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns, Director of Community Development Lizzy Edwardsen, Associate Planner <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3402835 <p>Lot Information:</p> <ul style="list-style-type: none"> Acreage: 5.90 Square Footage: 257,004 <p>Zone(s):</p> <ul style="list-style-type: none"> (I-1) Institutional District <p>Council District:</p> <ul style="list-style-type: none"> District 1 - Austin <p>Master Plan:</p> <ul style="list-style-type: none"> Governmental / Public / Institutional <p>Current Use:</p> <ul style="list-style-type: none"> Institutional <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 - Zoning 	<p>Request</p> <p>24-000341; Wisconsin Rapids Public Schools (WRPS) – public hearing and action on a request for a Conditional Use Permit Amendment to perform recreational site improvements at Mead Elementary School, 241 17th Avenue South (Parcel ID 3402835).</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Application Plans Renderings <p>Findings of Fact</p> <ol style="list-style-type: none"> The property is approximately 6 acres in size and is utilized for the Mead Elementary School. The property is zoned (I-1) Institutional District. Educational facilities (pre-k through 12) are a conditional use within the Institutional (I-1) District. The applicant is requesting to expand the recreational facilities on the site. The recreational site improvements would require an amendment to the conditional use permit. A building plan – architectural review (AR), plan of operation (PO), site plan (SP), and zoning permit (ZP) are required. <p>Staff Recommendation</p> <p>Approve the request from the applicant for a conditional use permit amendment to perform recreational site improvements at 241 17th Avenue South (Parcel ID 3402835), subject to the following conditions:</p> <ol style="list-style-type: none"> Applicable building and stormwater permit (state and local) shall be obtained. Minor modifications to the plan shall be permitted to be reviewed and approved by the Community Development Department.
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Vicinity Map



Background

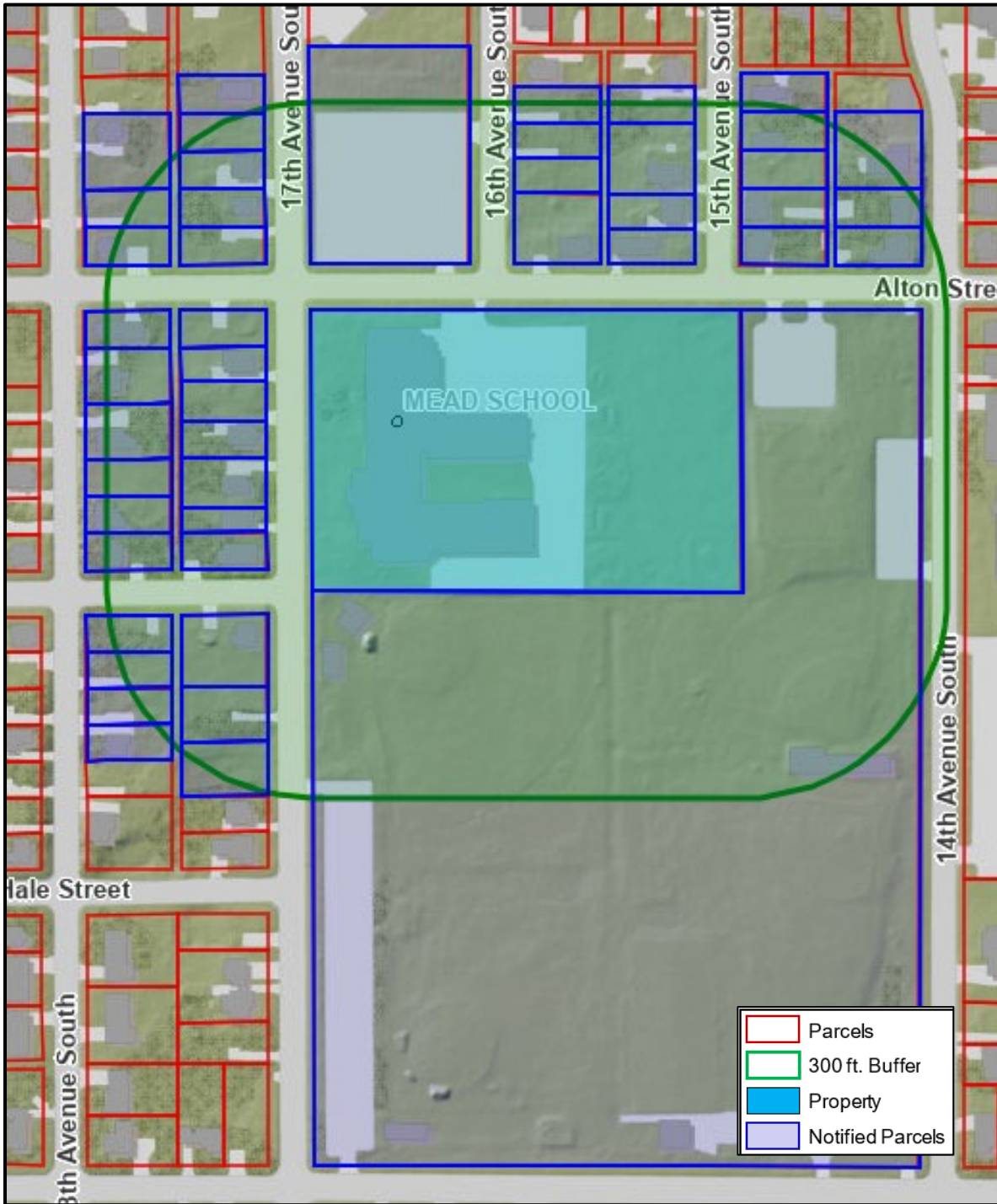
The applicant is requesting to expand recreational facilities at the Mead Elementary School, including the following:

1. Install new playground equipment
2. Install an asphaltic surface for a basketball court

The use is categorized as an educational facility, pre-K through 12 in Chapter 11 – Zoning and requires a conditional use permit in the I-1 Institutional District. The site is surrounded by Mixed Residential (R-2), Multi-family Medium Density Residential (R-3), Park and Recreation (P-1), and Institutional (I-1) Districts.

The conditional use permit standards of review are analyzed below, and more information can be found within the attached application and plans.

Exhibit Map



Conditional Use Permit Standards of Review 11.05.55 Basis of decision

Generally. When reviewing conditional uses other than nonconforming conditional uses, the review authority shall consider the following factors:

- 1) the size of the parcel on which the proposed use will occur;

Analysis: The property is currently being utilized for the elementary school, which includes outdoor recreational facilities. Furthermore, the proposed improvements will expand the outdoor recreation on site as described above.

Findings: The property is approximately 6 acres in size and is sufficient to accommodate the proposed recreational site improvements.

2) the presence of and compatibility with other uses on the subject property, if any;

Analysis: The Mead Elementary School and accessory sports uses already exist on the property. Proposed improvements are not likely to cause a substantial increase in use and traffic on the site.

Findings: The proposed improvements compliment the elementary school use and should not be detrimental to such use.

3) the location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses);

Analysis: See the above analysis and findings. The proposed improvements will occur on the western half of the property. Residential properties exist surrounding the property, as well as park space and other institutional uses.

Findings: The improvements exist on the west side of the property, adjacent to Mead Park. The new playground equipment and basketball surface will be installed adjacent to the existing pavement. The location of the improvements are appropriate for the intended use.

4) effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;

Analysis: The outdoor recreational improvements are accessory in nature to the elementary school and would not require increases to parking under the code. Parking is not proposed to be added. Parking for the elementary school exists on a separate lot to the north of the property. Three crosswalks exist connecting the parking area to the elementary school.

Findings: The layout of the improvements will ensure patrons remain primarily internal on the property.

5) the suitability of the subject property for the proposed use;

Analysis: See the above standards regarding lot size and other site specifics.

Findings: The improvements will have minimal impact when considering scale, and the property will remain suitable for the proposed use.

6) effects of the proposed use on the natural environment;

Analysis: The proposed addition of an impervious area for the basketball court will occur on what is currently bare ground. The playground surface will consist of a 4" layer of drainage stone. The 25' Gaga ball pit will be placed on a 12" wood chip base.

Findings: The approximate surface area for the basketball court will be 6,204 square feet. The exact square footage for the impervious area was not provided on the plans but estimated from site drawing measurements. Overall, there will be minimal impact to existing green space. Staff would recommend all stormwater requirements, state and local, be met.

- 7) **effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances;**

Analysis: See the above analysis. The use already exists on the property but would be expanded.

Findings: The use is on a property where it already occurs, in addition to the school use. Furthermore, the property lies on a minor collector street and is adjacent to park property that coincides with the proposed site improvements.

- 8) **effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts; and**

Analysis: The surrounding area is fully developed.

Findings: The use should not impede the normal development and improvement of the surrounding area.

- 9) **any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.**

Analysis: Notices regarding the request were sent to neighbors within a 300-foot boundary of the property.

Findings: Concerned citizens can attend the meeting and provide input at the public hearing. At the time of this report, a few have inquired for more details.

Site Plan & Architectural Standards of Review

1) Use

Analysis: An elementary school and associated accessory uses are a conditional use within the (I-1) Institutional District.

Findings: See the conditional use permit standards above. Note that a building plan – architectural review (AR), site plan review (SP), plan of operation (PO), and zoning permit (ZP) are required for nonresidential accessory structures.

2) Dimensional Standards

Analysis: Building setbacks for the facilities appear to meet the minimums (25 feet street and 10 feet side and rear). The impervious surface ratio is unknown, but it appears that the standard is evidently met given the size of the site.

Findings: The applicable dimensional standards appear to be met.

3) Ingress/Egress

Analysis: There are no existing driveways on site.

Findings: Driveway standards are met, as the improvements do not change ingress/egress to the site.

4) Parking

Analysis: The proposed recreational site improvements are accessory in nature to the principal elementary school use and do not require additional parking stalls.

Findings: If any additional parking is to be added, an updated parking lot site plan shall be submitted, meeting applicable parking requirements, to be reviewed and approved by the Community Development Department.

5) Landscaping

Analysis: The property is currently being utilized as an elementary school with existing recreational facilities. Additionally, a parking lot exists to serve the elementary school and isn't proposed or required to be expanded. However, the basketball court creates an approximate total of 6,204 square feet of hard surface.

Findings: Street frontage plantings are not required, as the elementary use is already established on the property. Building landscaping is not required as well, given the improvements are accessory in nature. Furthermore, no changes to the parking lot are proposed, and therefore do not trigger parking lot landscaping.

6) Architectural Review

Not applicable. Playground facilities and shelters are considered accessory structures.

7) Lighting & Photometric Plan

Not applicable. No lighting is proposed for the site improvements.

In summary, the proposed use should not be detrimental to the neighborhood and seems appropriate for the area and property, as it is not a substantial change to the existing use(s). While the intensity of the outdoor recreational uses is increasing, it should not be detrimental to the area. Therefore, staff would recommend approving the conditional use permit amendment for the improvements as proposed, subject to the conditions outlined on page one.



Conditional Use Application
City of Wisconsin Rapids, Wisconsin

Version: January 3, 2019

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The City's zoning regulations identify land uses that may be allowed in each of the zoning districts either by right or as a conditional use. By definition, a conditional use is a land use that may or may not be appropriate on a given parcel depending on a wide range of factors that relate to the proposed use and the particular circumstances relating to the parcel and surrounding properties. Conditional uses are therefore considered on a case-by-case basis. As part of the review process, the Planning Commission and Common Council conduct a joint public hearing to solicit input from the general public and other interested parties. When reviewing conditional use applications, the Planning Commission serves in an advisory capacity to the Common Council, which makes the final decision. The recommendation of the Planning Commission and the decision of the Village Board are based on the evidence and testimony received as part of the application and through the public hearing process.

If you submit an application, do not contact any member on the Planning Commission or the Common Council until after a final decision has been made.

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

Application fee: \$250.00 for principal and accessory uses; \$100.00 for temporary uses and \$50.00 for administrative renewals

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Aldersperson notification Before you submit your application, you will need to send a letter to the Aldersperson of the district of where the request is taking place, explaining the request. Please attach the notification letter with your application materials.

Office Use Only

Date Received _____
Received By _____
Fee _____
Case # _____
Aldermanic District _____
Plan Commission Date _____

1. Applicant information

Applicant name Craig Broeren - Wisconsin Rapids Public Schools
Street address 510 Peach St
City, state, zip code Wisconsin Rapids, WI, 54494
Daytime telephone number 715-424-6701
Email craig.broeren@wrps.net

2. Agent contact information Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	<u>Agent 1</u>	<u>Agent 2</u>
Name	<u>Geno Carlson</u>	_____
Company	<u>Point of Beginning, Inc.</u>	_____
Street address	<u>4941 Kirschling Ct</u>	_____
City, state, zip code	<u>Stevens Point, WI, 54481</u>	_____
Daytime telephone number	<u>715-344-9999</u>	_____
Email	<u>genoc@pobinc.com</u>	_____

3. Type of application (select one)

New conditional use

Yes No Are there any other current conditional use approvals for the property?

If yes, provide the year of issuance and a short description.

An amendment of a previously approved conditional use

4. Subject property information

Physical address 241 17th Ave S

Parcel number(s) 3402835

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

No
 Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

No
 Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|--|--|---|
| <input type="checkbox"/> RR Rural Residential | <input type="checkbox"/> R-8 Manufactured Home Park | <input type="checkbox"/> M-1 General Industrial |
| <input type="checkbox"/> R-1 Single-family Residential | <input type="checkbox"/> B-1 Downtown Commercial | <input type="checkbox"/> M-2 Heavy Industrial |
| <input type="checkbox"/> R-2 Mixed Residential | <input type="checkbox"/> B-2 General Commercial | <input checked="" type="checkbox"/> I-1 Institutional |
| <input type="checkbox"/> R-3 Multi-family Medium Density Residential | <input type="checkbox"/> B-3 Neighborhood Commercial | <input type="checkbox"/> P-1 Park and Recreation |
| <input type="checkbox"/> R-4 Multi-family High Density Residential | <input type="checkbox"/> B-5 Mixed Use Commercial | <input type="checkbox"/> C-1 Conservancy |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> Planned Development (PDD) | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Floodplain |
| <input type="checkbox"/> Downtown Design | <input type="checkbox"/> Shoreland-Wetland | <input type="checkbox"/> Wellhead Protection |

6. **Current use** Describe the current use of the subject property.

Mead Elementary School

7. **Proposed use** Describe the proposed conditional use or the proposed amendment.

Mead Elementary School

8. **Evaluation criteria** The factors listed below will be used in evaluating this application. Your responses are important.

1. The size of the parcel on which the proposed use will occur.

5.89 ac

2. The presence of and compatibility with other uses on the subject property if any.

Consistent - replacement/expansion of playground equipment

3. The location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses).

School use only - use is contained within the subject property.

4. Effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site.

No change.

5. The suitability of the subject property for the proposed use.

Consistent with current use.

6. Effects of the proposed use on the natural environment.

Minor reduction in manicured/maintained green space.

7. Effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances.

No change.

8. Effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts.

No impact.

9. Any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.

N/A

9. **Supplemental materials** Attach the following to this application form.

1. A project map with the information listed in Appendix F of the zoning code.
2. Proposed construction plans (if applicable)
3. The letter you sent to the Alderperson for the district in which the project is located.

10. **Attachments** List any attachments included with your application.

See attached site development plans.

11. **Other information** You may provide any other information you feel is relevant to the review of your application.

12. **Mandatory meeting with staff**

When did you meet with the Community Development Director?

By Phone: 04/18/2024

Month/year

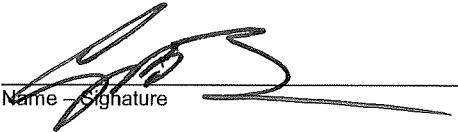
13. Applicant certification

- I understand that I, or any of my agents, may not discuss this application with any member of the Planning Commission or the Common Council until after a final decision is rendered.
- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Craig G. Broeren, Superintendent, WRPS

Name – print



Name – Signature

4/18/24

Date

Name – print

Name – Signature

Date

MEAD ELEMENTARY SCHOOL PLAYGROUND IMPROVEMENTS

WISCONSIN RAPIDS PUBLIC SCHOOLS

INDEX MAP



DESIGN DRAWINGS BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BM1001-WE47
FLAG BOLT ON HYDRANT
LOCATED AT THE NORTHEAST CORNER OF THE
INTERSECTION OF ALTON STREET AND
17TH AVENUE SOUTH.
ELEVATION = 1021.02

BM1001-WE48
IRON SPIKE ON EAST SIDE OF POWER POLE.
LOCATED ON THE WEST SIDE OF 17TH AVENUE
SOUTH, WEST OF THE MEAD ELEMENTARY SCHOOL
BUILDING.
ELEVATION = 1016.23

BM1001-WE49
FLAG BOLT ON HYDRANT
LOCATED AT THE SOUTHWEST CORNER OF THE
INTERSECTION OF 17TH AVENUE SOUTH AND
ELEX STREET.
ELEVATION = 1009.80

BM1001-WE50
IRON SPIKE ON SOUTH SIDE OF POWER POLE.
LOCATED ON THE SOUTH SIDE OF THE MEAD
ELEMENTARY SCHOOL BUILDING, APPROXIMATELY 65
FEET SOUTHWEST OF THE SOUTHWEST CORNER OF
SAB BUILDING.
ELEVATION = 1009.19

BM1001-WE51
SOUTHWEST BOLT ON RAILING POST AT SOUTHWEST
RAMP CORNER.
LOCATED AT THE SOUTHWEST CORNER OF THE MEAD
ELEMENTARY SCHOOL BUILDING.
ELEVATION = 1002.78

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THE SITE MAY BE SUBJECT TO THE DISCOVERY OF ADDITIONAL
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C2.0	LAYOUT PLAN
C3.0	GRADING PLAN
C4.0	EROSION CONTROL PLAN
C5.0	UTILITY PLAN
C6.0	DETAILS



REVISIONS	
CHECKED:	JLB
DRAWN:	GMC
DATE:	03/19/2024
PROJECT NO.:	23.001

ISSUED FOR CONSTRUCTION
TITLE SHEET

WISCONSIN RAPIDS PUBLIC SCHOOLS
MEAD ELEMENTARY PLAYGROUND
CITY OF WISCONSIN RAPIDS
WOOD CO., WISCONSIN

Civil Engineering
Land Surveying
1000 Wisconsin Ave
Stevens Point, WI 54481
715.344.9999 (PH) 715.344.9222 (FX)

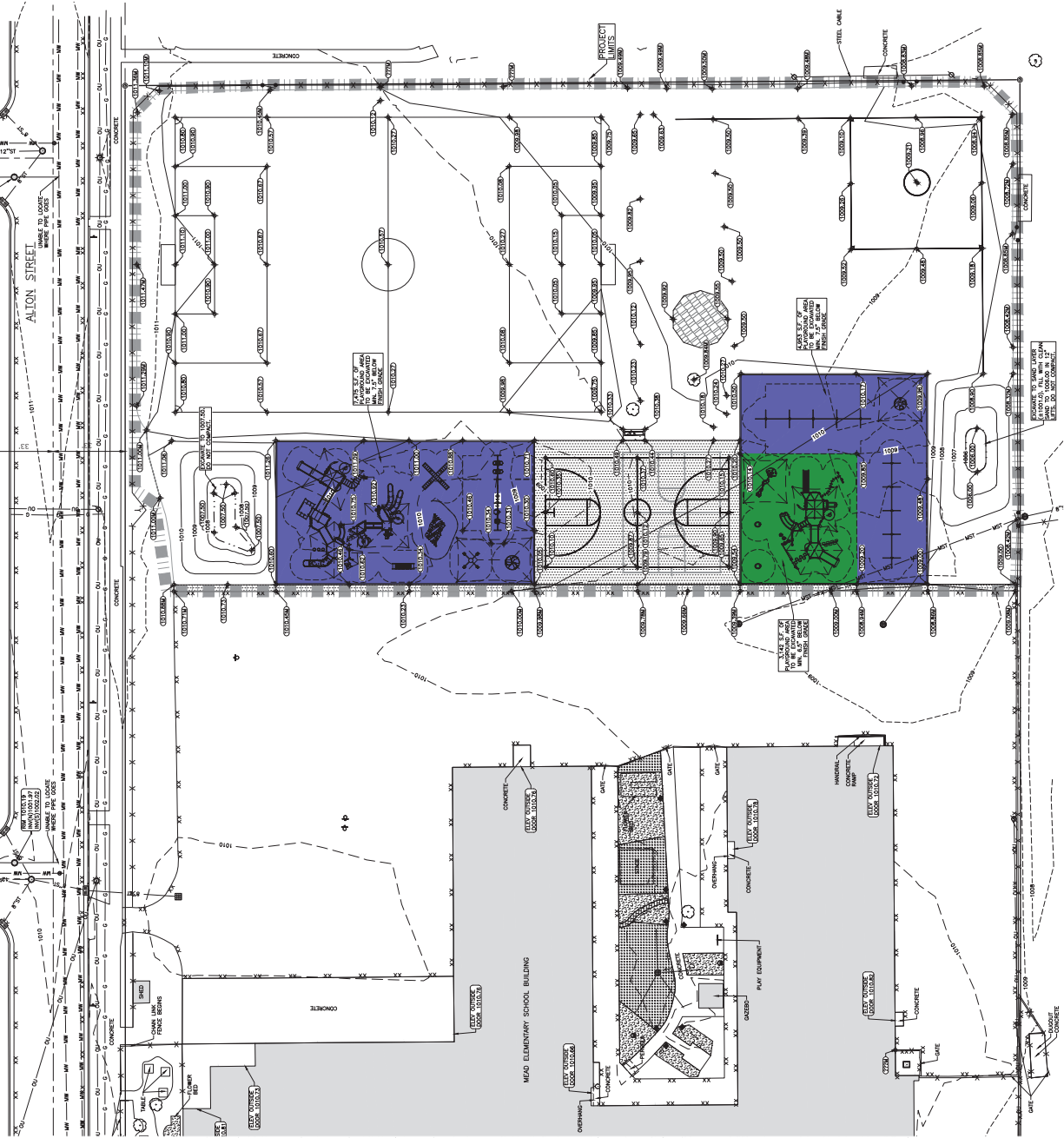
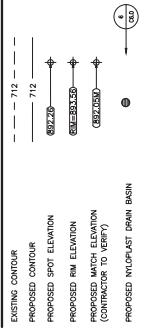
Point of Beginning

SHEET
C0.0

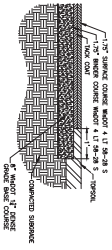


- GENERAL NOTES:**
- CONTRACTOR SHALL LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO COMMENCEMENT OF WORK.
 - INSTALL AND MAINTAIN ALL EXISTING AND PROPOSED EROSION CONTROL MEASURES IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
 - ALL EXISTING AND PROPOSED EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 - PLAYING BED AREAS SHALL BE CONSTRUCTED TO A MINIMUM OF 12" ABOVE FINISHED GRADE AND 1" SHALL BE PROVIDED IN ALL PLAYING BED AREAS.
 - ALL EXISTING EROSION CONTROL ELEMENTS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 - ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED, AND/OR REPAIRED SHALL BE IDENTIFIED AND RECORDED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
 - EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER. COORDINATE WITH LOCAL MUNICIPALITY FOR DISPOSAL OF EXCESS MATERIAL.
 - USE 5/8" FINE SAND FOR ALL PLAYING BED AREAS.
 - IF REQUIRED, THE CONTRACTOR SHALL HAVE A TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING.

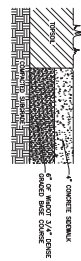
GRADING LEGEND:



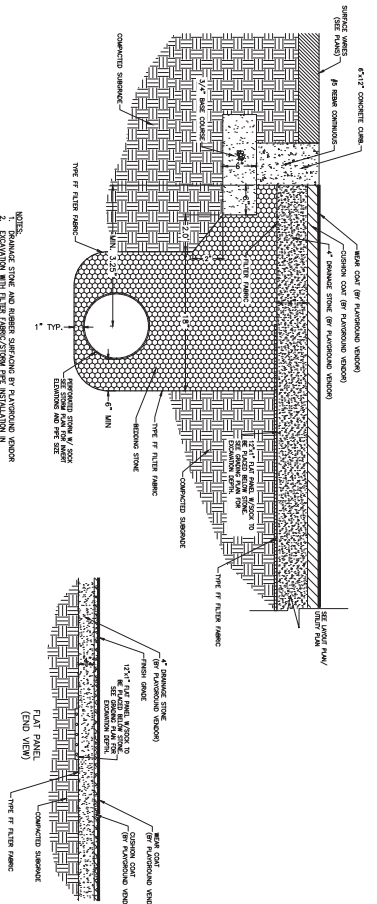
POINT OF BEGINNING IS LOCATED AT THE INTERSECTION OF SECTION 16 AND TOWNSHIP 36N, RANGE 10E, WISCONSIN RANGE 10E, TOWNSHIP 36N, RANGE 10E, WISCONSIN. THE POINT OF BEGINNING IS LOCATED AT THE INTERSECTION OF SECTION 16 AND TOWNSHIP 36N, RANGE 10E, WISCONSIN. THE POINT OF BEGINNING IS LOCATED AT THE INTERSECTION OF SECTION 16 AND TOWNSHIP 36N, RANGE 10E, WISCONSIN.



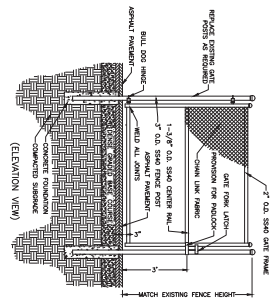
ASPHALT PAVEMENT (32)



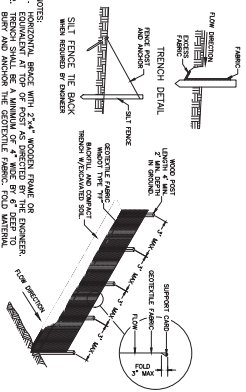
CONCRETE PAVEMENT (32)



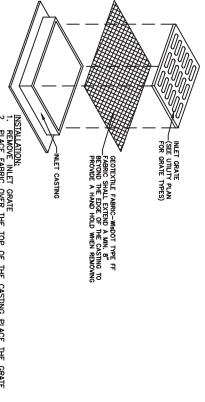
PLAYGROUND UNDERDRAIN SYSTEM (32)



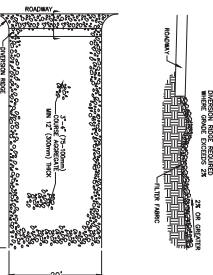
CHAIN LINK GATE (32)



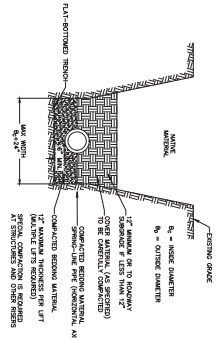
SILT FENCE (32)



INLET PROTECTION (32)



ROCK CONSTRUCTION (32)



TYPICAL PIPE BEDDING (32)

NOTES:
 1. HORIZONTAL BRACE WITH 2"x4" WOODEN FRAME OR EQUIVALENT SHALL BE A MINIMUM OF 7' AWAY FROM THE TRENCH AND BE SECURED TO THE TRENCH AND BRACKET WHEN COMPLETED.
 2. WOOD POSTS SHALL BE A MINIMUM OF 1-1/2" x 1-1/2" IN DIAMETER AND BE SECURED TO THE POST WITH STAPLES OR SIMILAR MEANS.
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NOTES:
 1. SEE LAYOUT PLAN FOR GATE LOCATIONS.

NOTES:
 1. THE CHAIN LINK SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THROUGH PASSAGE OF WATER OR SOIL.
 2. ELEVATION SHALL BE MAINTAINED AS SHOWN.
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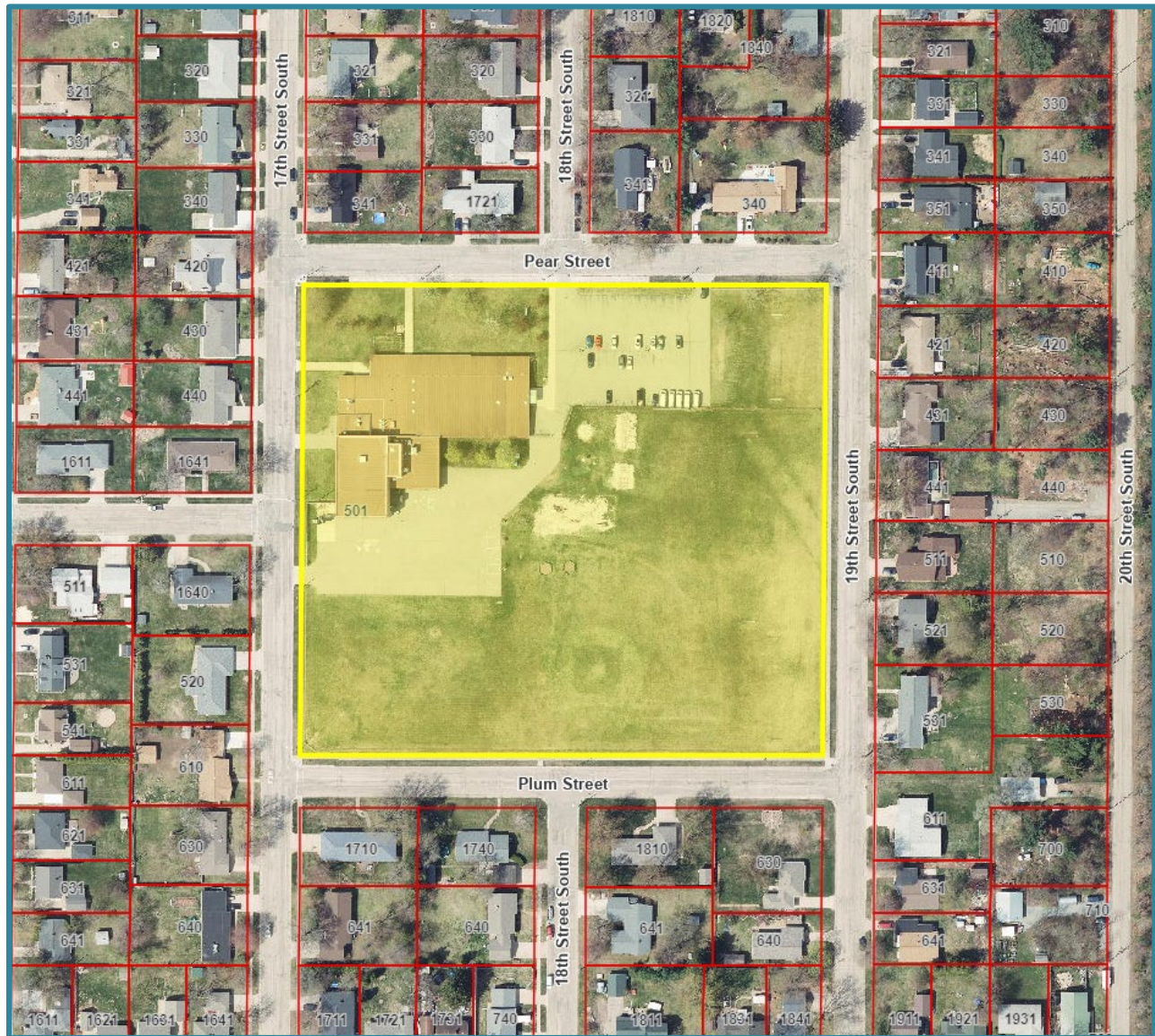
SECTION	REQUIREMENTS
1	66 TO 100
2	101 TO 200
3	201 TO 300
4	301 TO 400
5	401 TO 500
6	501 TO 600
7	601 TO 700
8	701 TO 800
9	801 TO 900
10	901 TO 1000



Administrative Staff Report
Conditional Use Permit Amendment:
Outdoor Rec. Facility
501 17th Street South (Parcel ID 3402835)
April 25, 2024

<p>Applicant(s):</p> <ul style="list-style-type: none"> Wisconsin Rapids Public Schools <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns, Director of Community Development Lizzy Edwardsen, Associate Planner <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3406281 <p>Lot Information:</p> <ul style="list-style-type: none"> Acreage: 7.40 Square Footage: 322,344 <p>Zone(s):</p> <ul style="list-style-type: none"> (I-1) Institutional District <p>Council District:</p> <ul style="list-style-type: none"> District 6 - Polach <p>Master Plan:</p> <ul style="list-style-type: none"> Governmental / Public / Institutional <p>Current Use:</p> <ul style="list-style-type: none"> Institutional <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 - Zoning 	<p>Request</p> <p>24-000342; Wisconsin Rapids Public Schools (WRPS) – public hearing and action on a request for a Conditional Use Permit Amendment to perform recreational site improvements at Pitsch Early Learning Center, 501 17th Street South (Parcel ID 3406281).</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Application Plans Renderings <p>Findings of Fact</p> <ol style="list-style-type: none"> The property is over 7 acres in size and is utilized for the Pitsch Early Learning Center The property is zoned (I-1) Institutional District. Educational facilities (pre-k through 12) are a conditional use within the Institutional (I-1) District. The applicant is requesting to expand the recreational facilities on the site. The recreational site improvements would require an amendment to the conditional use permit. A building plan – architectural review (AR), plan of operation (PO), site plan (SP), and zoning permit (ZP) are required. <p>Staff Recommendation</p> <p>Approve the request from the applicant for a conditional use permit amendment to perform recreational site improvements at 501 17th Street South (Parcel ID 3406281), subject to the following conditions:</p> <ol style="list-style-type: none"> Applicable building and stormwater permit (state and local) shall be obtained. Minor modifications to the plan shall be permitted to be reviewed and approved by the Community Development Department.
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Vicinity Map



Background

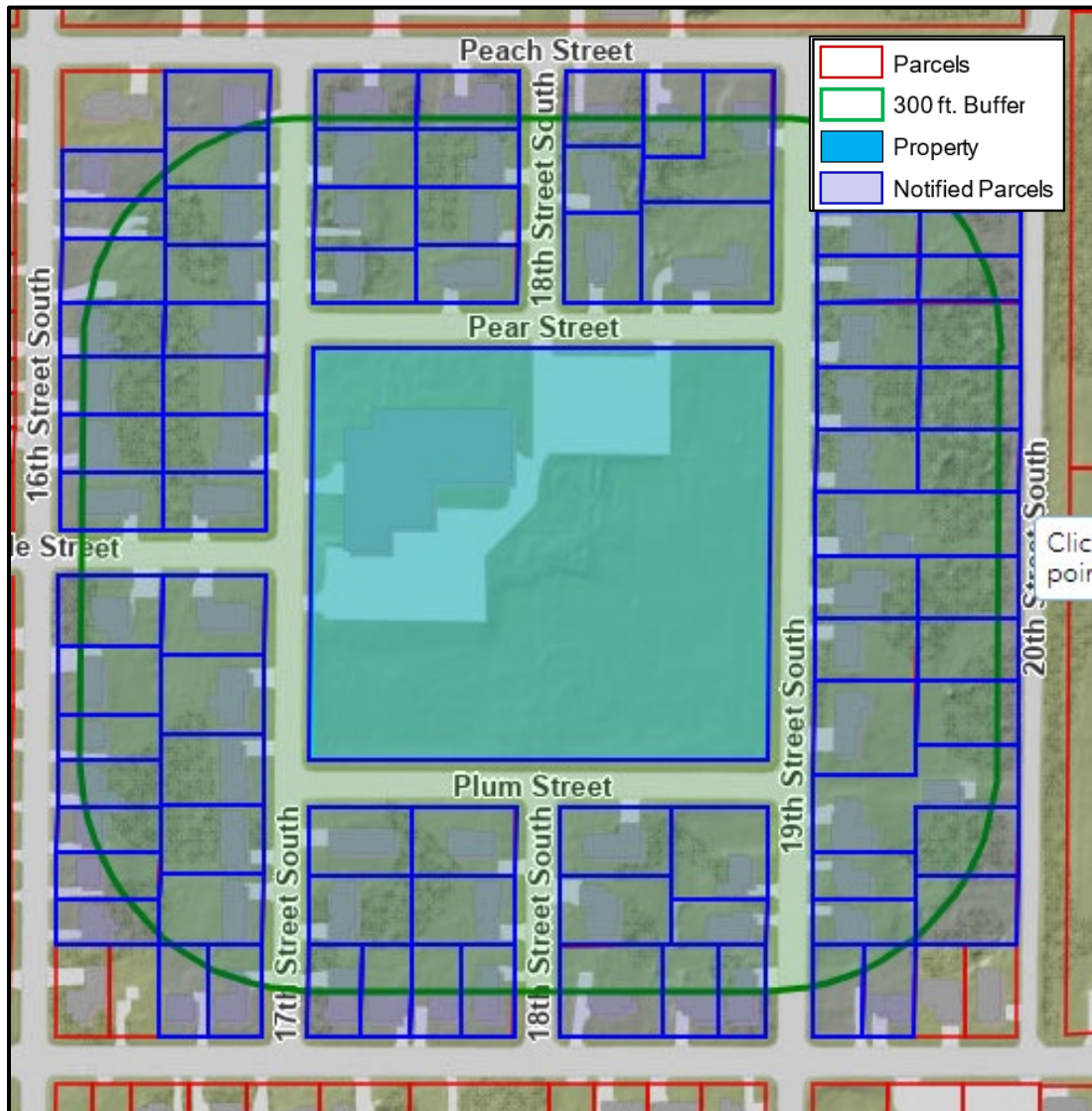
The applicant is requesting to expand recreational facilities at the Pitsch Early Learning Center, including the following:

1. Install new playground equipment
2. Install 4 picnic tables
3. Install asphaltic surface

The use is categorized as an educational facility, pre-K through 12 in Chapter 11 – Zoning and requires a conditional use permit in the I-1 Institutional District. The site is surrounded by Mixed Residential (R-2).

The conditional use permit standards of review are analyzed below, and more information can be found within the attached application and plans.

Exhibit Map



Conditional Use Permit Standards of Review 11.05.55 Basis of decision

Generally. When reviewing conditional uses other than nonconforming conditional uses, the review authority shall consider the following factors:

1) the size of the parcel on which the proposed use will occur;

Analysis: The property is currently being utilized for the early learning center, which includes outdoor recreational facilities. Furthermore, the proposed improvements will expand the outdoor recreation on site as described above.

Findings: The property is over 7 acres in size and is sufficient to accommodate the proposed recreational site improvements.

2) the presence of and compatibility with other uses on the subject property, if any;

Analysis: The Pitsch Early Learning Center and accessory recreational uses already exist on the property. Proposed improvements are not likely to increase use and traffic on the site.

Findings: The proposed improvements compliment the learning center use and should not be detrimental to such use.

3) the location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses);

Analysis: See the above analysis and findings. The proposed improvements will occur near the center of the property. The surrounding properties are residential.

Findings: New playground equipment will be installed adjacent to existing pavement. The location of the improvements are appropriate for the intended use.

4) effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;

Analysis: The outdoor recreational improvements are accessory in nature to the early learning center and would not require increases to parking under the code. Parking is not proposed to be added. There is an existing parking lot on the property. There are no existing crosswalks in this area.

Findings: The layout of the improvements will ensure patrons remain primarily internal on the property.

5) the suitability of the subject property for the proposed use;

Analysis: See the above standards regarding lot size and other site specifics.

Findings: The improvements will have minimal impact when considering scale, and the property will remain suitable for the proposed use.

6) effects of the proposed use on the natural environment;

Analysis: The proposed improvements including the addition of an impervious area will occur on what is currently bare ground. The playground surface will consist of a 4" layer of drainage stone.

Findings: The approximate surface area for the asphaltic surface will be 300 square feet. The exact square footage for the impervious area was not provided on the plans but estimated from site drawing measurements. Overall, there will be minimal impact to existing green space. Staff would recommend all stormwater requirements, state and local, be met.

7) effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances;

Analysis: See the above analysis. The use already exists on the property but would be expanded.

Findings: The use is on a property where it already occurs, in addition to the school use. Furthermore, the property lies on a local street.

8) effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts; and

Analysis: The surrounding area is fully developed.

Findings: The use should not impede the normal development and improvement of the surrounding area.

9) any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.

Analysis: Notices regarding the request were sent to neighbors within a 300-foot boundary of the property.

Findings: Concerned citizens can attend the meeting and provide input at the public hearing. At the time of this report, a few citizens have inquired about the project.

Site Plan & Architectural Standards of Review

1) Use

Analysis: An educational facility (pre-k through 12) and associated accessory uses are a conditional use within the (I-1) Institutional District.

Findings: See the conditional use permit standards above. Note that a building plan – architectural review (AR), site plan review (SP), plan of operation (PO), and zoning permit (ZP) are required for nonresidential accessory structures.

2) Dimensional Standards

Analysis: Building setbacks for the facilities appear to meet the minimums (25 feet street and 10 feet side and rear). The impervious surface ratio is unknown, but it appears that the standard is evidently met given the size of the site.

Findings: The applicable dimensional standards appear to be met.

3) Ingress/Egress

Analysis: The existing driveways on 17th Street S and Pear Street will remain to be utilized for the recreational facility improvements.

Findings: Driveway standards are met, as the addition does not change ingress/egress to the site.

4) Parking

Analysis: The proposed recreational site improvements are accessory in nature to the principal learning center use and do not require additional parking stalls.

Findings: If any additional parking is to be added, an updated parking lot site plan shall be submitted, meeting applicable parking requirements, to be reviewed and approved by the Community Development Department.

5) Landscaping

Analysis: The property is currently being utilized as a learning center with existing recreational facilities. Additionally, a parking lot exists to serve the elementary school and isn't proposed or required to be expanded. However, the asphalt surface creates an approximate total of 300 square feet of hard surface.

Findings: Street frontage plantings are not required, as the learning center use is already established on the property. Building landscaping is not required as well, given the improvements are accessory in nature. Furthermore, no changes to the parking lot are proposed, and therefore do not trigger parking lot landscaping.

6) Architectural Review

Not applicable. Playground facilities and shelters are considered accessory structures.

7) Lighting & Photometric Plan

Not applicable. No lighting is proposed for the site improvements.

In summary, the proposed use should not be detrimental to the neighborhood and seems appropriate for the area and property, as it is not a substantial change to the existing use(s). While the intensity of the outdoor recreational uses is increasing, it should not be detrimental to the area. Therefore, staff would recommend approving the conditional use permit amendment for the improvements as proposed, subject to the conditions outlined on page one.



Conditional Use Application
City of Wisconsin Rapids, Wisconsin

Version: January 3, 2019

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The City's zoning regulations identify land uses that may be allowed in each of the zoning districts either by right or as a conditional use. By definition, a conditional use is a land use that may or may not be appropriate on a given parcel depending on a wide range of factors that relate to the proposed use and the particular circumstances relating to the parcel and surrounding properties.

If you submit an application, do not contact any member on the Planning Commission or the Common Council until after a final decision has been made.

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at https://wisconsinrapids.zoninghub.com/

Application fee: \$250.00 for principal and accessory uses; \$100.00 for temporary uses and \$50.00 for administrative renewals

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Aldersperson notification Before you submit your application, you will need to send a letter to the Aldersperson of the district of where the request is taking place, explaining the request. Please attach the notification letter with your application materials.

Office Use Only

Date Received
Received By
Fee
Case #
Aldermanic District
Plan Commission Date

1. Applicant information

Applicant name Craig Broeren - Wisconsin Rapids Public Schools
Street address 510 Peach St
City, state, zip code Wisconsin Rapids, WI, 54494
Daytime telephone number 715-424-6701
Email craig.broeren@wrps.net

2. Agent contact information Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

Agent 1: Name Geno Carlson, Company Point of Beginning, Inc., Street address 4941 Kirschling Ct, City, state, zip code Stevens Point, WI, 54481, Daytime telephone number 715-344-9999, Email genoc@pobinc.com
Agent 2: (Blank form)

3. Type of application (select one)

New conditional use

Yes No Are there any other current conditional use approvals for the property?

If yes, provide the year of issuance and a short description.

An amendment of a previously approved conditional use

4. Subject property information

Physical address 501 17th St

Parcel number(s) 3406281

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

No
 Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

No
 Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|--|--|---|
| <input type="checkbox"/> RR Rural Residential | <input type="checkbox"/> R-8 Manufactured Home Park | <input type="checkbox"/> M-1 General Industrial |
| <input type="checkbox"/> R-1 Single-family Residential | <input type="checkbox"/> B-1 Downtown Commercial | <input type="checkbox"/> M-2 Heavy Industrial |
| <input type="checkbox"/> R-2 Mixed Residential | <input type="checkbox"/> B-2 General Commercial | <input checked="" type="checkbox"/> I-1 Institutional |
| <input type="checkbox"/> R-3 Multi-family Medium Density Residential | <input type="checkbox"/> B-3 Neighborhood Commercial | <input type="checkbox"/> P-1 Park and Recreation |
| <input type="checkbox"/> R-4 Multi-family High Density Residential | <input type="checkbox"/> B-5 Mixed Use Commercial | <input type="checkbox"/> C-1 Conservancy |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> Planned Development (PDD) | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Floodplain |
| <input type="checkbox"/> Downtown Design | <input type="checkbox"/> Shoreland-Wetland | <input type="checkbox"/> Wellhead Protection |

6. **Current use** Describe the current use of the subject property.

Pitsch Early Learning Center

7. **Proposed use** Describe the proposed conditional use or the proposed amendment.

Pitsch Early Learning Center

8. **Evaluation criteria** The factors listed below will be used in evaluating this application. Your responses are important.

1. The size of the parcel on which the proposed use will occur.

7.40 ac

2. The presence of and compatibility with other uses on the subject property if any.

Consistent - replacement of playground equipment

3. The location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses).

School use only - use is contained within the subject property.

4. Effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site.

No change.

5. The suitability of the subject property for the proposed use.

Consistent with current use.

6. Effects of the proposed use on the natural environment.

Minor reduction in manicured/maintained green space.

7. Effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances.

No change.

8. Effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts.

No impact.

9. Any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.

N/A

9. **Supplemental materials** Attach the following to this application form.

1. A project map with the information listed in Appendix F of the zoning code.
2. Proposed construction plans (if applicable)
3. The letter you sent to the Alderperson for the district in which the project is located.

10. **Attachments** List any attachments included with your application.

See attached site development plans.

11. **Other information** You may provide any other information you feel is relevant to the review of your application.

12. **Mandatory meeting with staff**

When did you meet with the Community Development Director?

By Phone: 04/18/2024

Month/year

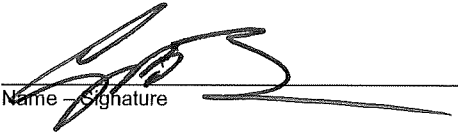
13. Applicant certification

- I understand that I, or any of my agents, may not discuss this application with any member of the Planning Commission or the Common Council until after a final decision is rendered.
- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Craig G. Broeren, Superintendent, WRPS

Name – print



Name – Signature

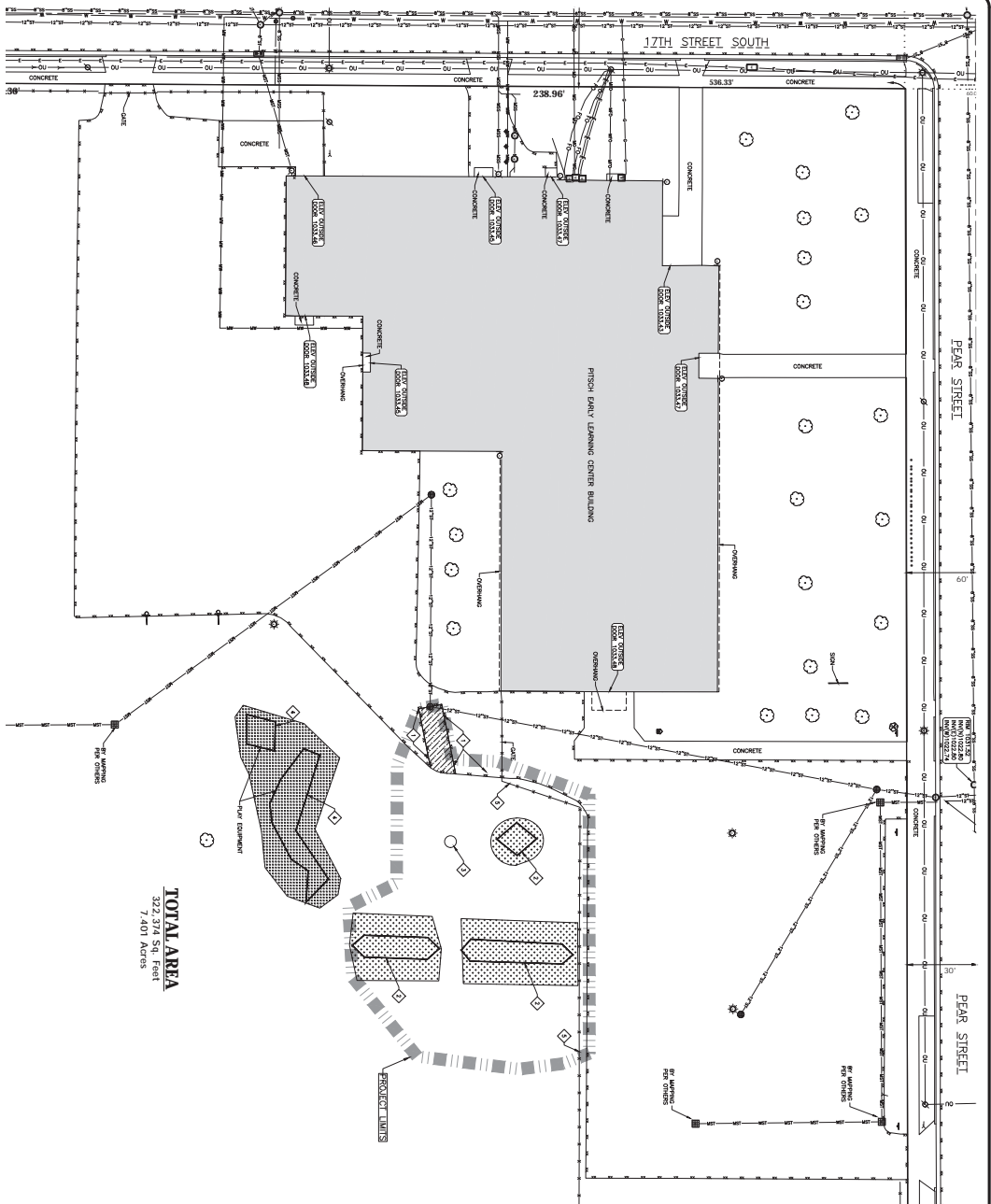
4/18/24

Date

Name – print

Name – Signature

Date



TOTAL AREA
322,374 Sq. Feet
7.401 Acres

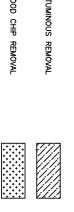
GENERAL NOTES:

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF WORK.
2. ALL DEMOLITION UTILITIES SHALL BE REMOVED FROM THE SITE AND DEPOSITED IN A LOCAL WAREHOUSE EXCEPT FOR GAS, OIL, AND FUEL TANKS. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR REMOVAL PROTECTION PRIOR TO THE START OF DEMOLITION WORK.
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10. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR REMOVAL PROTECTION PRIOR TO THE START OF DEMOLITION WORK.

KEYNOTES:

1. SHARD EXISTING BRICKWORK REMOVAL
2. REMOVE & SALVAGE EXISTING PAVEMENT EQUIPMENT
3. REMOVE EXISTING PAVEMENT EQUIPMENT
4. REMOVE EXISTING PAVEMENT EQUIPMENT
5. MAINTAIN EXISTING CHAIN LINK FENCE

DEMOLITION HATCH PATTERNS:



POINT OF BEGINNING IS LOCATED AT THE INTERSECTION OF 17TH STREET SOUTH AND PEAR STREET. THE POINT OF BEGINNING IS SHOWN BY A TRIANGLE. THE POINT OF BEGINNING IS SHOWN BY A TRIANGLE. THE POINT OF BEGINNING IS SHOWN BY A TRIANGLE.



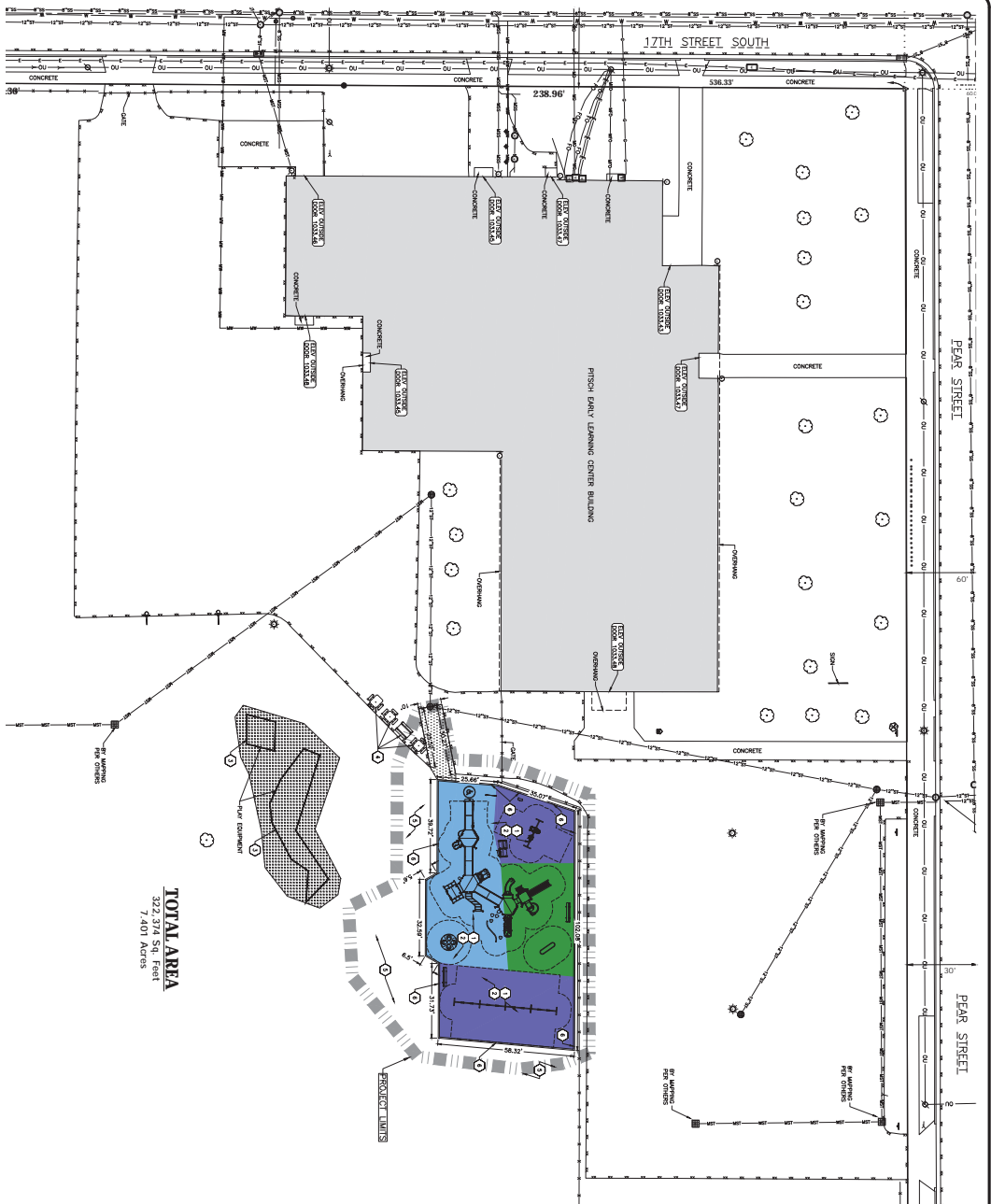
POB
Point of Beginning
C1.0

Civil Engineering
Land Surveying
Landscape Architecture
Page 61 of 108
2021 K&B Engineering, Inc.
Stevens Point, WI 54481
715.344.9999 (PH) 715.344.9922 (FX)

WISCONSIN RAPIDS PUBLIC SCHOOLS
PITSCH EARLY LEARNING CENTER
CITY OF WISCONSIN RAPIDS
WOOD CO., WISCONSIN

ISSUED FOR CONSTRUCTION
DEMOLITION PLAN

DATE	03/19/24
DESIGNER	DMC
PROJECT NO.	23-004
SHEET NO.	61 OF 108



GENERAL NOTES:

1. CONTRACTOR SHALL LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO COMMENCEMENT OF WORK.
2. SPARE TIME AND LOGS TO BE RETURNED IN THE FIELD BY THE CONSTRUCTION MANAGER.
3. LOCAL, STATE AND FEDERAL REGULATIONS SHALL BE OBSERVED AND ENFORCEMENT SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
4. LOCAL, STATE AND FEDERAL REGULATIONS SHALL BE OBSERVED AND ENFORCEMENT SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
5. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT MUST BE LOCATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT MUST BE LOCATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
6. VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION.
7. PROTECT EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.
8. PROTECT EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.
9. PROTECT EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.
10. ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDING, FERTILIZED AND CURED BY THE CONTRACTOR.
11. ACCORDANCE WITH THE PROJECT SPECIFICATIONS, THE WORK TO BE DONE BY THE CONTRACTOR SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, THE WORK TO BE DONE BY THE CONTRACTOR SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

KEYNOTES:

1. INTERNAL PLAYGROUND EQUIPMENT (BY SITE PLAYGROUND VENDOR)
2. 2" x 4" FRAMING STUDS w/ PLAYGROUND SURFING BY SITE PLAYGROUND VENDOR.
3. GENERAL CONTRACTOR, GENERAL CONTRACTOR TO EXCAVATE TO PROPOSED SURFACE (SEE GENERAL NOTE #11)
4. INSTALL 4" POLYMER TABLETS (BY PLAYGROUND VENDOR)
5. SEED/MULCH DISTURBED GREEN SPACE (BY OWNER)
6. 6"x12" REINFORCED CONCRETE AT PLAYGROUND (SEE GENERAL NOTE #11)

PAVEMENT HATCH PATTERNS:



POINT OF BEGINNING IS THE POINT OF BEGINNING OF THE PROJECT AS SHOWN ON THE PLAN. THE POINT OF BEGINNING IS THE POINT OF BEGINNING OF THE PROJECT AS SHOWN ON THE PLAN. THE POINT OF BEGINNING IS THE POINT OF BEGINNING OF THE PROJECT AS SHOWN ON THE PLAN.



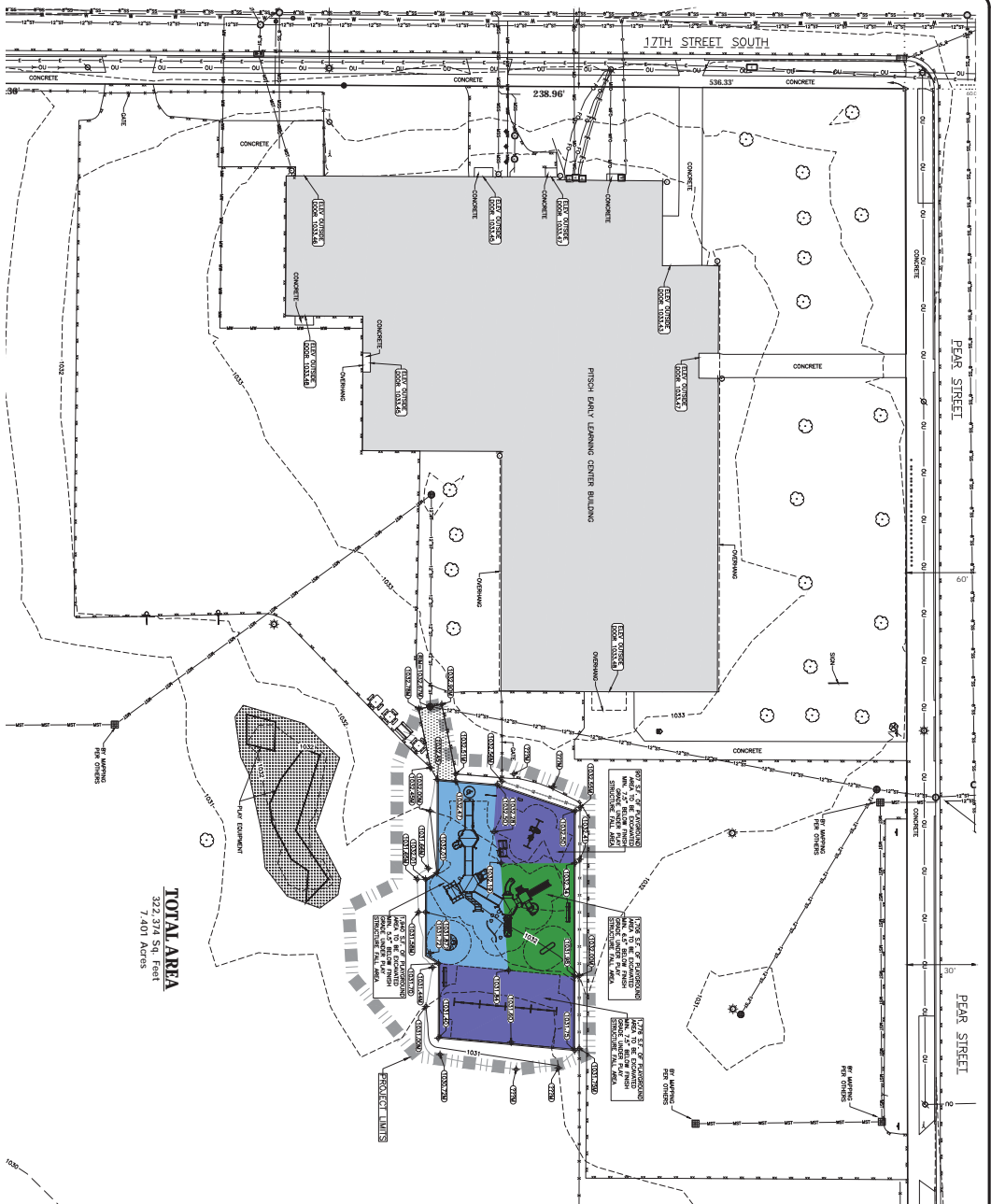
POB
Point of Beginning
SHSHEET
C2.0

Civil Engineering
Land Surveying
Landscape Architecture
Page 62 of 108
2021 to 2022
Stevens Point, WI 54481
715.344.9999 (PH) 715.344.9922 (FX)

WISCONSIN RAPIDS PUBLIC SCHOOLS
PITSCH EARLY LEARNING CENTER
CITY OF WISCONSIN RAPIDS
WOOD CO., WISCONSIN

ISSUED FOR CONSTRUCTION
LAYOUT PLAN

DATE	DESCRIPTION
03/19/24	DATE
23/24	DATE

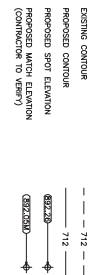


TOTAL AREA
322,374 SQ. Feet
7.401 Acres

GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED UTILITIES PRIOR TO COMMENCEMENT OF WORK.
2. EXISTING, NEW AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE CONTRACTOR WITH LOCAL MUNICIPAL ENGINEER.
3. MAINTENANCE AND REPAIRS OF EXISTING UTILITIES, INCLUDING REPAIRS TO EXISTING UTILITIES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. EXISTING UTILITIES SHALL BE PROTECTED AND NOT REMOVED UNLESS OTHERWISE SPECIFIED IN ALL DIMENSIONS AND NOTES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
6. ALL UTILITIES SHALL BE PROTECTED AND NOT REMOVED UNLESS OTHERWISE SPECIFIED IN ALL DIMENSIONS AND NOTES.
7. ALL UTILITIES SHALL BE PROTECTED AND NOT REMOVED UNLESS OTHERWISE SPECIFIED IN ALL DIMENSIONS AND NOTES.
8. EXCESS TOPSOIL SHALL BE REMOVED FROM SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER, CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
9. ALL UTILITIES AND INTERFERENCE SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.

GRADING LEGEND:



POINT OF BEGINNING FOR THE SURVEY IS THE CORNER OF THE SECTION 16, TOWNSHIP 10N, RANGE 10E, COUNTY OF WISCONSIN, STATE OF WISCONSIN. THE SURVEY WAS MADE BY THE SURVEYOR ON THE 15TH DAY OF APRIL, 2024.



POB
Point of Beginning
SHEET C3.0

Civil Engineering
Land Surveying
Landscape Architecture
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2024
Stevens Point, WI 54481
715.344.9999 (PH) 715.344.9922 (FX)

WISCONSIN RAPIDS PUBLIC SCHOOLS
PITSCH EARLY LEARNING CENTER
CITY OF WISCONSIN RAPIDS
WOOD CO., WISCONSIN

ISSUED FOR CONSTRUCTION
GRADING PLAN

DATE	03/19/24
DESIGNED BY	DMC
CHECKED BY	DMC
APPROVED BY	DMC

Administrative Staff Report

Gregg & Lori Hepp

Special Exception – Accessory building in front of a principal building

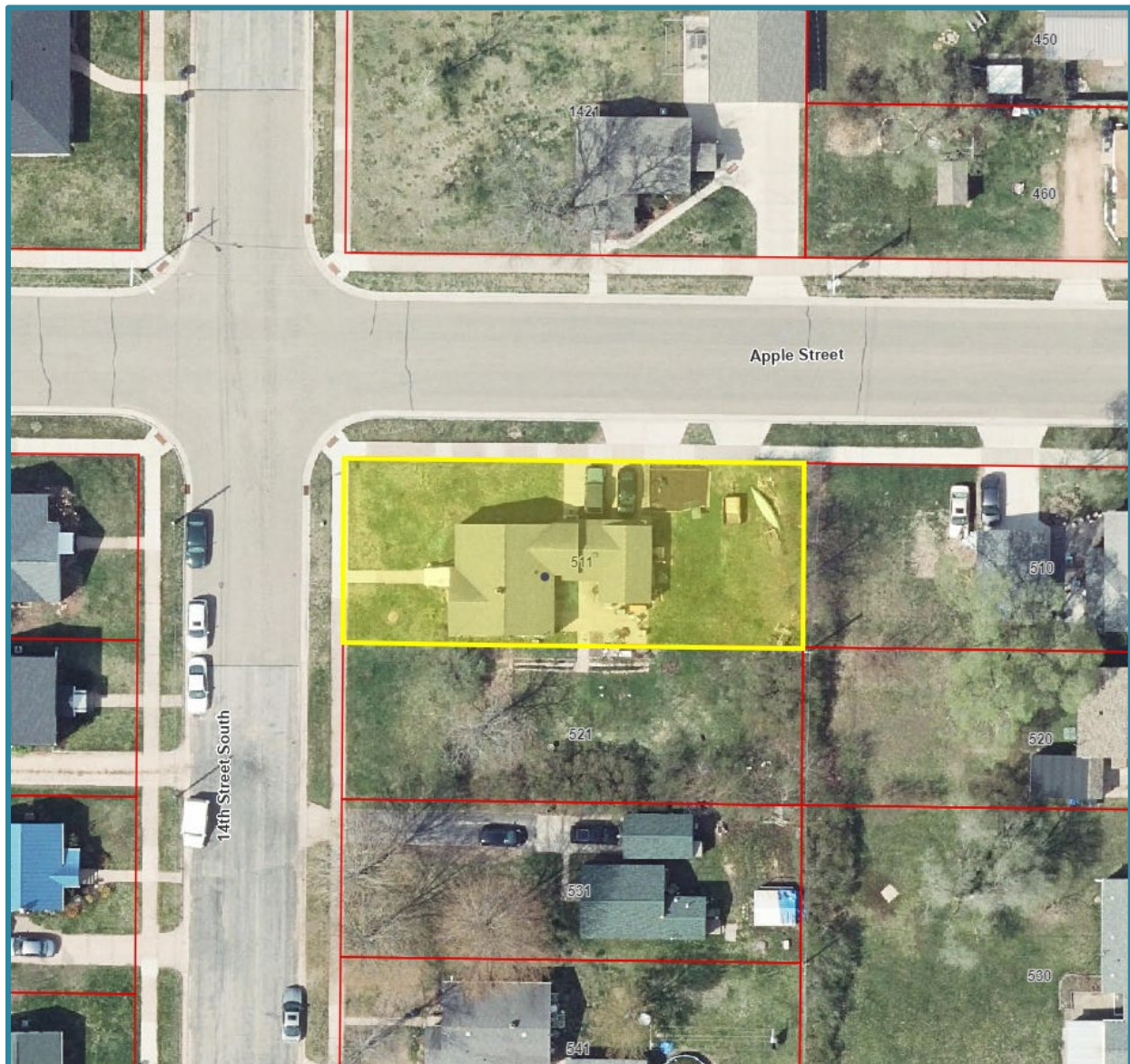
511 S 14th Street

April 30, 2024



<p>Applicant(s):</p> <ul style="list-style-type: none"> Gregg C. Hepp & Lori J. Hepp <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns, Director Lizabeth Edwardsen, Associate Planner <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3406904 <p>Lot Information:</p> <ul style="list-style-type: none"> Effective Frontage: 189 Effective Depth: 135 Square Footage: 7,405 Acreage: 0.17 acres <p>Zone(s):</p> <ul style="list-style-type: none"> Mixed Residential (R-2) <p>Council District:</p> <ul style="list-style-type: none"> District 6 – Polach <p>Master Plan:</p> <ul style="list-style-type: none"> Residential <p>Current Use:</p> <ul style="list-style-type: none"> Single-Family Residence <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 – Zoning 	<p>Request</p> <p>24-000301; Greg C. Hepp & Lori J. Hepp - request for a special exception to allow an accessory building in front of a principal building in the Mixed Residential (R-2) District at 511 S 14th Street (Parcel ID 3406904).</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Special exception application Plans <p>Findings of Fact</p> <ol style="list-style-type: none"> The property is located within the Mixed Residential (R-2) District. A 998 square foot single-family dwelling and attached 308 square foot garage currently exists on the property. There are currently no existing detached accessory buildings on the property. The Mixed Residential (R-2) District front yard setback minimum for a detached accessory building is 5 feet behind the front face of the principal building, but not less than 25 feet. The request includes a special exception to place an accessory building in front of a principal building, minimizing the front yard setback minimum. The accessory building is 24' by 26'. The Planning Commission may approve a special exception to allow an accessory building in front of the principal building through the special exception process. <p>Staff Recommendation</p> <p>Approve the request for a special exception to allow the detached accessory building in front of a principal building in the Mixed Residential (R-2) District at 511 S 14th Street (Parcel ID 3406904).</p> <p>Conditions:</p> <ol style="list-style-type: none"> The detached accessory building must meet all other required building standards for the Mixed Residential (R-2) District.
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Vicinity Map



Background

The applicant is requesting a special exception to allow an accessory building in front of a principal building in the Mixed Residential (R-2) District. The detached accessory structure would be constructed in the corner side yard, facing Apple Street.

The allowance for special exception is outlined in the City of Wisconsin Rapids Zoning Code 11.06.117 as follows:

Except as permitted in this section, a detached accessory building must be located at least 5 feet behind the front face (i.e., face of the building closest to the street) of the principal building (Exhibit 6-6). In the case of a corner lot, the accessory building shall meet the minimum setback requirements from all streets. Pursuant to the procedures and requirements in Article 5, the Planning Commission may approve a special exception to allow an accessory building in front of the principal building.

The 2018 Chapter 11 – Zoning revision likely included the dimensional standard for placement of accessory building on a lot to ensure that attached accessory structures were subsidiary to the home and not the dominating feature of new single-family residences. Standards of review and analyzed in greater detail below.

Furthermore, a setback average was performed under section 11.06.106(f) which reduced the required front yard setback for the accessory structure to 21 feet instead of 25 feet. This would permit the applicant to construct the garage 2-3 feet behind the existing attached garage, rather than the required 5 feet, if granted the requested exception.

Standards of Review 11.05.134 Basis of decision

The review authority shall consider the following factors:

(1) the size of the property in comparison to other properties in the area;

The living area of the home is consistent with other residences in the immediate block and neighborhood. The property itself is a rectangular lot 0.17 acres in size. The applicant desires to construct a detached accessory structure similar to those on surrounding properties.

(2) the extent to which the issuance of the special exception would be in keeping with the overall intent of this chapter;

The dimensional standard creating restriction for the placement of an accessory structure on a lot was likely to counteract the growing predominance of garages within residential development. The home was constructed in 1947 and consists of a smaller overall footprint that was typical at that time.

(3) whether there are any unique circumstances and the nature of those circumstances that warrant the issuance of the special exception;

The original home footprint of 998 square feet is modest and the existing 308 square foot garage is under the 400 square foot required minimum garage and does not leave a substantial amount of square footage for storage.

(4) the nature and extent of anticipated impacts to the natural environment that could potentially occur if the special exception was granted;

There are no anticipated impacts to the natural environment.

(5) the nature and extent of anticipated positive and negative effects on properties in the area;

The net effect is largely neutral. The proposed accessory building would be consistent with the pattern of development in the community, as surrounding properties contain detached accessory structures placed in front of principal buildings. In addition, a driveway already exists that would provide ingress/egress to the accessory building. The Plan Commission has the ability to review and approve the proposal subject to the special exception process.

(6) actions the applicant will undertake to mitigate the negative effects, if any, of the proposed special exception;

There are not anticipated negative effects.

(7) a factor specifically listed under a section of this chapter authorizing the issuance of a special exception; and

The special exception process is authorized under City of Wisconsin Rapids Zoning Code 11.06.117.

(8) any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.

None

In summary, the proposal is consistent with the surrounding neighborhood and community. Based on the above review and findings, staff is recommending approval of the special exception request to allow a detached accessory building in front of a principal building.



Special Exception
City of Wisconsin Rapids, Wisconsin
 Version: January 3, 2019

Community Development Department
 444 West Grand Avenue
 Wisconsin Rapids, WI 54495-2780
 P: (715) 421-8228 Fax: (715) 421-8291

Overview: Upon written petition, the Planning Commission may, on a case-by-case basis, grant a special exception for those development standards specifically noted as special exceptions in the zoning code. (See section 3 of this application for a listing). In making its decision, the Planning Commission must consider a variety of factors. General evaluation criteria apply to all special exceptions and special evaluation criteria may also apply.

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

Application fee: \$75.00

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Office Use Only

Date Received _____

Received By _____

Fee _____

Case # _____

Aldermanic District _____

Plan Commission Date _____

1. Applicant information

Applicant name Gregg Hepp

Street address 511 14th St S

City, state, zip code Wisc Rapids WI 54494

Daytime telephone number 715-213-8335

Email gheppster@gmail.com

2. Agent contact information Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Agent 1	Agent 2
Name	_____	_____
Company	_____	_____
Street address	_____	_____
City, state, zip code	_____	_____
Daytime telephone number	_____	_____
Email	_____	_____

3. Type of special exception. Select the special exception you are requesting.

- s. 11.06.35 Allow removal of a principal building, while retaining the accessory building
- s. 11.06.108 Allow spires, steeples, copulas, and chimneys on institutional, commercial, and industrial buildings
- s. 11.06.108 Allow roof-mounted solar systems that exceed building height limitations
- s. 11.06.117 Allow accessory building in front of principal building
- s. 11.06.118 Allow a greater amount of parking in front of a building in the B-2 and B-3 districts
- s. 11.06.203 Allow overhead doors to face a public street (Architectural Review)
- s. 11.17.03 Allow a lesser standard for parking requirements
- s. 11.17.03 Allow more parking than what is required
- s. 11.18.43 Allow more outdoor lighting when needed to ensure public safety
- Appendix B (3.07) Allow the use of other exterior building materials on a single-family residence

3. Whether there are any unique circumstances and the nature of those circumstances that warrant the issuance of the special exception.

To be consistent with my 2 neighbors garages

4. The nature and extent of anticipated impacts to the natural environment that could potentially occur if the special exception was granted.

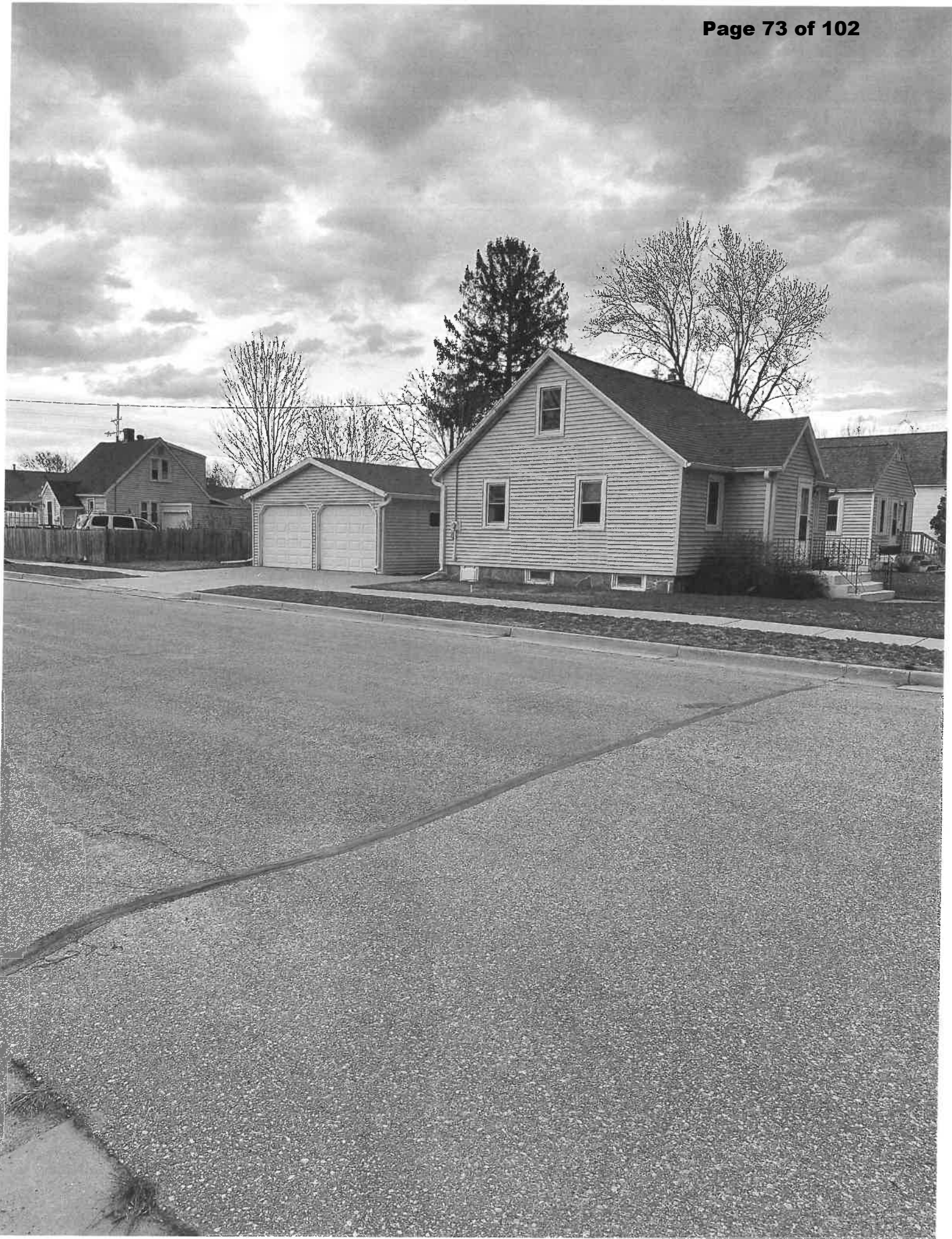
5. The nature and extent of anticipated positive and negative effects on properties in the area.

6. Actions the applicant will undertake to mitigate the negative effects, if any, of the proposed special exception.

7. A factor specifically listed under a section of this chapter authorizing the issuance of a special exception.

8. Any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.





Administrative Staff Report

**Conditional Use Permit -
Vehicle Repair Shop Addition
Plan Commission Review
2141 West Grand Avenue
May 1, 2024**



<p>Applicant(s):</p> <ul style="list-style-type: none"> Nieman’s Service Inc <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns, Director of Community Development Lizabeth Edwardsen, Associate Planner <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3403426 3403425 3403428 <p>Lot Information:</p> <ul style="list-style-type: none"> Effective Frontage: 766.35 Effective Depth: 259.95 Square Footage: 64,033.2 Acreage: 1.47 <p>Zone(s):</p> <ul style="list-style-type: none"> General Commercial (B-2) District <p>Council District:</p> <ul style="list-style-type: none"> District 2 - Veneman <p>Master Plan:</p> <ul style="list-style-type: none"> Mixed Use <p>Current Use(s):</p> <ul style="list-style-type: none"> Commercial and Vacant <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 - Zoning 	<p>Request</p> <p>24-000247: Nieman’s Service Inc. – public hearing and action on a request for a conditional use permit to construct a building addition for a towing business (vehicle repair shop) at 2141 West Grand Avenue (Parcel ID 3403426), 2111 West Grand Avenue (Parcel ID 3403425), and an unaddressed parcel on 21st Avenue South (Parcel ID 3403428).</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Application Plans Renderings <p>Findings of Fact</p> <ol style="list-style-type: none"> The property is 1.47 acres and located within the (B-2) General Commercial District. The request is to construct a 2,500 square foot building addition onto the existing 3,586 square foot building. Vehicle repair shops, including towing facilities, are a conditional use in the (B-2) General Commercial District. <p>Staff Recommendation</p> <p><u>Postpone</u> due to lack of details within the submission unless further details are provided prior to or at the Planning Commission Meeting.</p> <p>If approved, staff would recommend, at a minimum, the following conditions:</p> <ol style="list-style-type: none"> The proposed driveway on 21st Avenue South shall not exceed 36 feet in width at the property line and shall be reviewed and approved by the engineering department. The applicant shall provide evidence of a reduced parking need for the towing business. This approval includes a reduced parking ratio, under section 11.17.03(h)(R)(3). The applicant shall submit an updated site plan with appropriate dimensions for the parking stalls, driveways, etc. to be reviewed and approved by the Community Development Department. A lighting plan must be submitted for review and approval by the Community Development Department. A landscape plan must be submitted for review and approval by the Community Development Department. Overhead doors are permitted to face 21st Avenue South. Façade materials on the building addition shall match those on the existing building and meet the 50 percent decorative requirement. A
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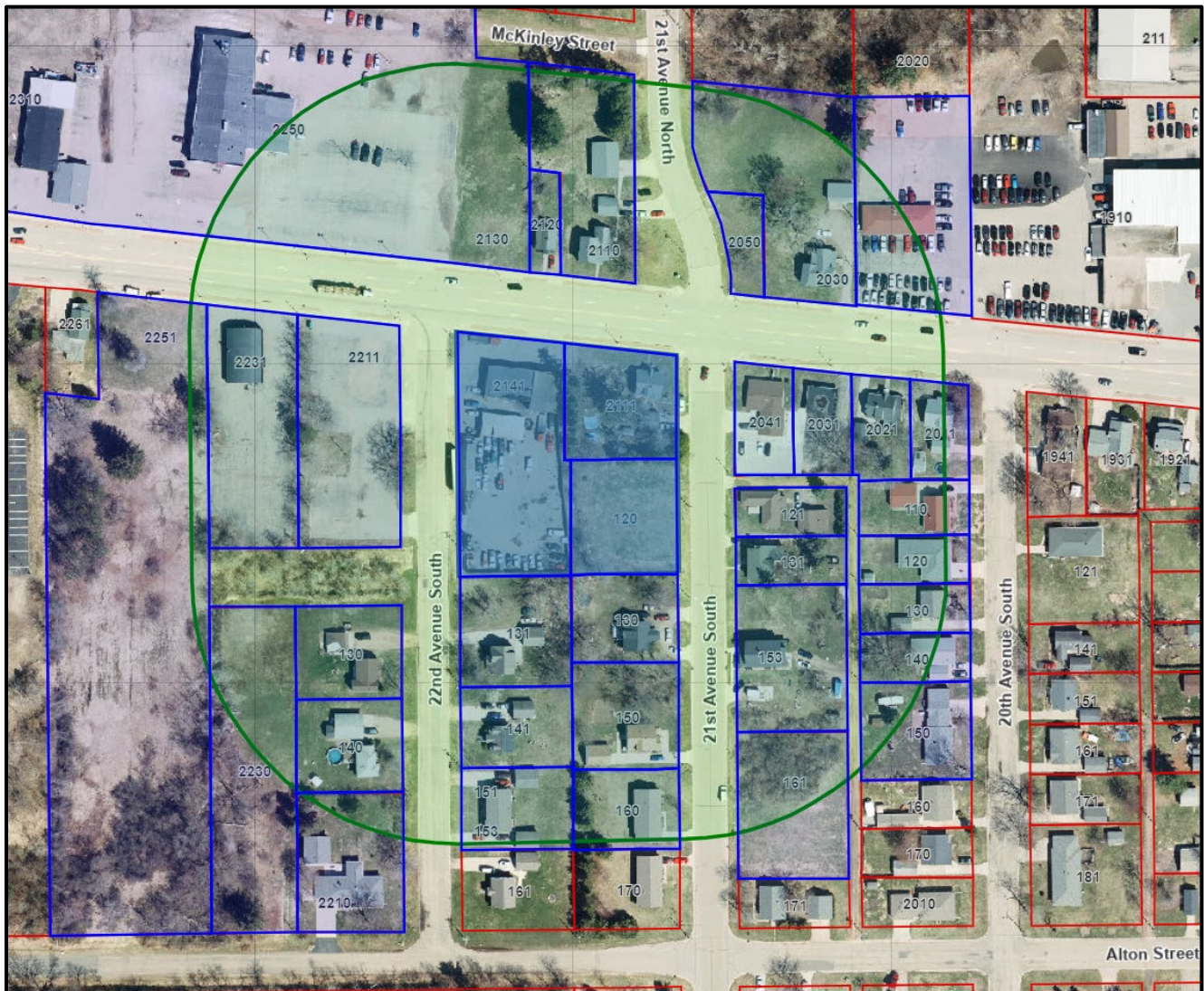
revised architectural plan must be submitted for review and approval by the Community Development Department.

- 9. Applicable building and stormwater permit (state and local) shall be obtained.
- 10. Minor modifications to the plan shall be permitted to be reviewed and approved by the Community Development Department.

Vicinity Map



Exhibit Map



Background

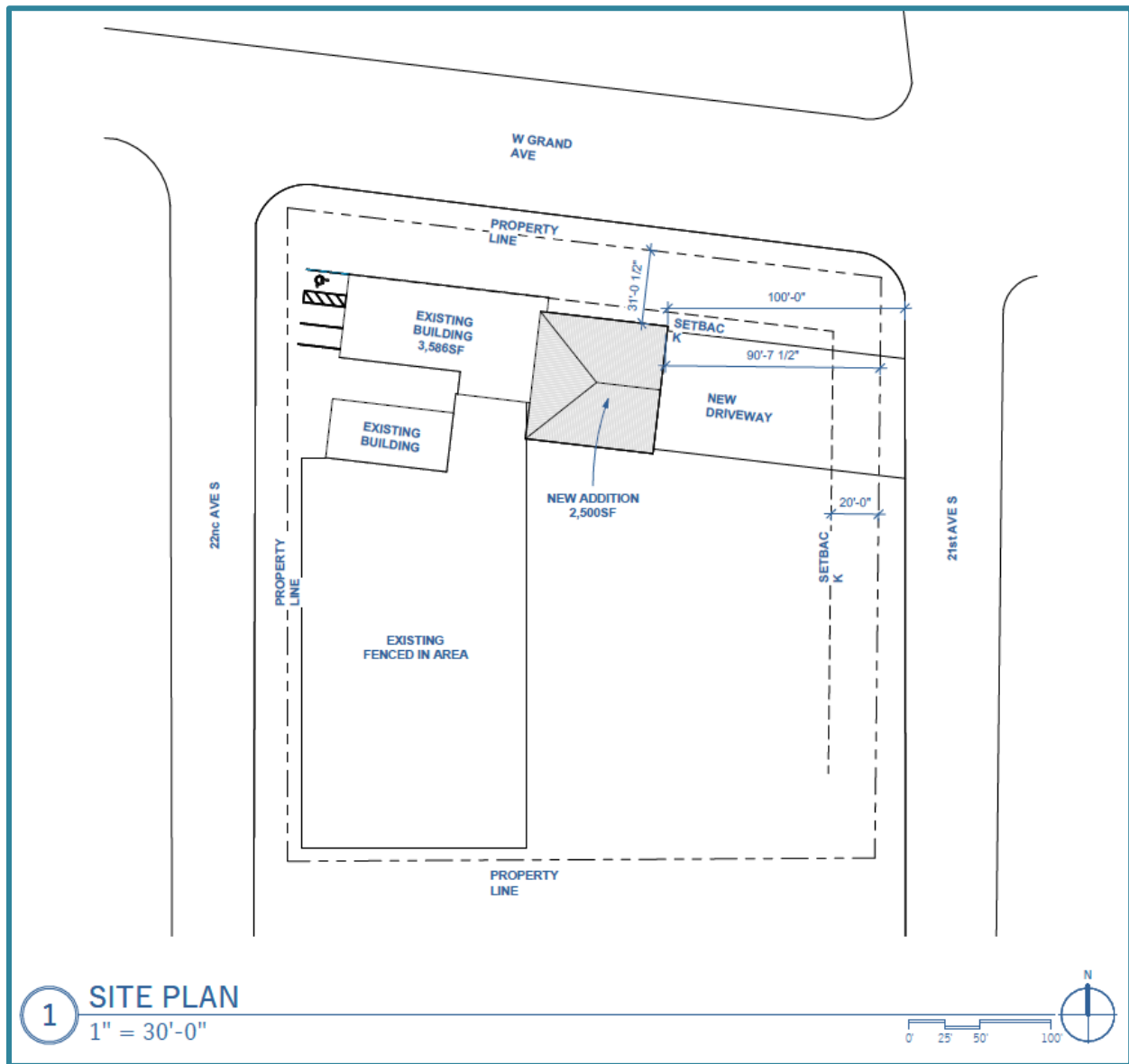
Nieman's Service, Inc. owns the three parcels and currently operates a vehicle repair shop at 2141 West Grand Avenue (Parcel ID 3403426). In March 2024 the properties underwent a 2-foot street dedication along West Grand Avenue at 2141 West Grand Avenue (Parcel ID 3403426) and 2111 West Grand Avenue (Parcel ID 3403425) via certified survey map to combine three parcels. Two of the parcels (3403425 and 3403428) are currently vacant.

A vehicle repair shop is a conditional use in the (B-2) General Commercial District and is described as follows:

11. Appendix B. 7.05 Vehicle repair shop

Description: A place where motor vehicles, such as cars, motorcycles, and light trucks, are typically left overnight for maintenance, service, or repair. Typical services include transmission repair, body work and painting, towing, vehicle upholstery, engine repair and overhauls, and similar activities.

The subject site is favorable for the vehicle repair shop expansion. It is a generously sized parcel for an addition and will provide adequate space for the proposed structure. Ingress/egress for the addition will be on 21st Avenue South. Access to the vehicle repair shop currently exists on West Grand Avenue and 22nd Avenue South.



The conditional use permit standards of review are analyzed below, and more information can be found within the attached application and plans.

Conditional Use Permit Standards of Review 11.05.55 Basis of decision

Generally. When reviewing conditional uses other than nonconforming conditional uses, the review authority shall consider the following factors:

- 1) the size of the parcel on which the proposed use will occur;**

Analysis: The three parcels in total equal 1.47 acres.

Findings: The property combined is sufficient to accommodate the 2,500 square foot building addition. Additionally, dimensional requirements for the building are met.

2) the presence of and compatibility with other uses on the subject property, if any;

Analysis: The vehicle repair shop use already exists on the property.

Findings: The proposed addition will be complimentary in nature. The addition will be used to store towing vehicles.

3) the location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses);

Analysis: Surrounding properties are zoned (B-2) General Commercial District and consist of commercial and residential uses.

Findings: An operating vehicle repair shop already exists on the site and provides an important service to the community. The use integrates well into the existing mix of uses and provides a suitable transition between the surrounding residential and commercial properties and is consistent with the intent of this zoning district.

4) effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;

Analysis: Access to the site from 21st Avenue South is sufficient. There are two other points of access to the existing building on West Grand Avenue and 22nd Avenue South. There are two parking spaces and one ADA compliant space proposed for the site. An unmarked pedestrian crosswalk exists for 21st Avenue South and 22nd Avenue South. Sidewalk exists along West Grand Avenue adjacent to the parcels, but does not extend along 21st Avenue South or 22nd Avenue South.

Findings: The use is primarily not intended to serve pedestrian traffic, as it is a towing service; however, a sidewalk exists on the lots along West Grand Avenue that customers may use to access the site. There is also adequate space to add parking as needed with any future development.

5) the suitability of the subject property for the proposed use;

Analysis: The site is generously sized, is adequately served by transportation infrastructure, and near a variety of residential and commercial uses. The lot size and proposed development configuration will provide an adequate buffer.

Findings: The size, scale, and orientation of the site provide a suitable space for an addition to the vehicle service shop. The site is conveniently located near developed properties, transportation infrastructure, and utilities. The proposed scale of development will allow for retention of plantings and open space that will buffer the surrounding properties.

6) effects of the proposed use on the natural environment;

Analysis: Impervious development of at least 2,500 square feet is proposed. The new driveway will also create an impervious surface. The square footage is currently unknown and will need to be provided by the applicant. Regardless, a substantial amount of existing green space is proposed to be set aside for preservation on the site.

Findings: The percentage of impervious area for the proposed project is unknown. However, the site plan appears to show that the maximum allowed of 80 percent will not be surpassed. Greenspace adjacent to 21st Avenue will be retained. It is unknown if any trees will be removed on the site. Therefore, the project as proposed creates a healthy balance of proposed development, while retaining many natural features. Staff would recommend all stormwater requirements, state and local, be met.

7) effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances;

Analysis: Operational considerations would be consistent with the existing hours of the towing service, which is 24 hours.

Findings: The use would include operational hours and traffic that would be somewhat inconsistent with the surrounding commercial and residential uses.

8) effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts; and

Analysis: The proposed development is consistent with what would be expected on a large vacant parcel. The use would be consistent with many types of development that could be sited on surrounding properties.

Findings: The proposal will not create any limitation on the development of surrounding properties. The proposed use would be complementary with surrounding residential and commercial uses.

9) any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.

Analysis: Notices regarding the request were sent to neighbors within a 300-foot boundary of the property.

Findings: Concerned citizens can attend the meeting and provide input at the public hearing. One citizen called to obtain further details about the project.

Site Plan & Architectural Standards of Review

1) Use

Analysis: The vehicle repair shop and proposed addition are a conditional use in the General Commercial (B-2) District.

Findings: See the conditional use permit standards above. Note that a building plan – architectural review (AR), site plan review (SP), plan of operation (PO), and zoning permit (ZP) are required for a worship facility and for a civic use facility.

2) Dimensional Standards

Analysis: Building setbacks and lot coverage requirements appear to be met. Impervious surface coverage in square feet is not provided on the site plan; however, after review of the existing coverage from aerial imagery and the site plan, it appears to not exceed 80 percent.

Findings: The applicable dimensional standards appear to be met.

3) Ingress/Egress

Analysis: Vehicles will enter and exit the addition on the site from a driveway on 21st Avenue South. The proposed driveway appears to exceed the maximum width of 36 feet. Overhead doors for the addition will face 21st Avenue South. Chapter 11 – Zoning prohibits overhead doors from facing a public street, however the Planning Commission may permit overhead doors to face a public street when it has made a finding that there is no feasible alternative location for such doors. The addition will be used to store tow trucks, which will regularly back in and out of the driveway; therefore, overhead doors facing 21st Avenue South, a minor collector street, is preferable to the doors facing West Grand Avenue, a standard arterial road that sees heavier volume of traffic at a higher speed.

Findings: Vehicles ingress and egress as outlined will provide adequate access and sufficient space for vehicles exiting and entering the site. Staff would recommend a condition be added to reduce the driveway width at the property line and curb to 36 feet. Staff are recommending that the Planning Commission approve a special exception to allow overhead doors to face 21st Avenue South.

4) Parking

Analysis: The current site plan proposes two parking spaces and one ADA compliant space. Parking stall dimensions have not been provided. The vehicle parking requirement under the definition of Vehicle Repair Shop, would require a total of 15 parking stalls due to 6 service bays; however, staff recognizes that the applicant is not repairing customer vehicles. The vehicle repair shop is a towing service. Therefore, staff recommends a lesser amount of parking stalls be required for this business. This recommendation is subject to approval by the Planning Commission.

11.17.03 (h)(r)(3) Pursuant to the procedures and requirements in Article 5, the Planning Commission may authorize the use of a lesser parking standard for a particular land use as a special exception provided sufficient evidence is provided that shows actual off-street parking demand for that use is less than the standard set forth in Appendix B.

Findings: Staff are requesting an updated site plan drawing that shows the parking stall dimensions. Furthermore, staff would recommend additional details attesting to the number of parking stalls needed for the business. Staff is recommending that Planning Commission recognize a reduced number of parking stalls, more appropriate to the use, under section 11.17.03(h)(R)(3).

5) Landscaping

Analysis: A landscaping plan has not been submitted. Street frontage landscaping for the addition will be required. Staff has requested that the landscaping occur on the lot the addition is being built upon. Building foundation landscaping will be required as well. Parking lot landscaping will not be required, as it appears the parking lot is not being expanded.

Landscape point requirements are below:

Points Type	Required	Provided
Street Frontage	144.9	-
Building Foundation	80	-
Parking Lot	N/A, unless parking is added	N/A, unless parking is added

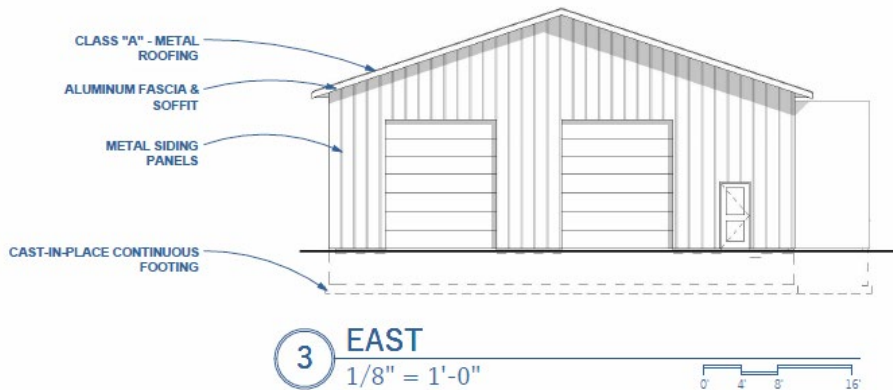
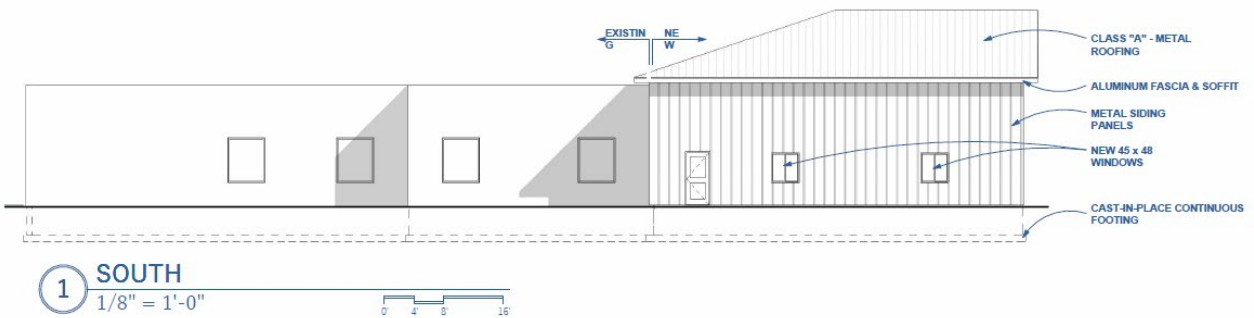
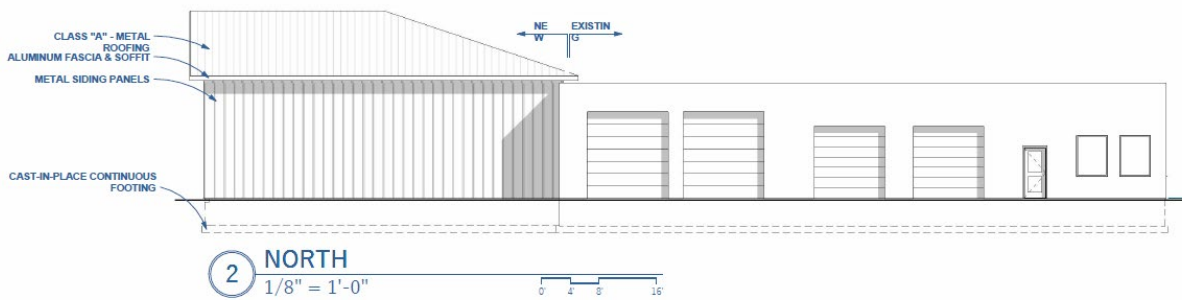
Findings: Staff are requesting that a landscaping plan be submitted.

6) Architectural Review

Analysis: The proposed addition will have metal roofing and siding and aluminum fascia and soffit. Two large overhead doors face east towards 21st Avenue South. Moreover, windows and a service door are proposed on the south side of the building. Section 11.06.203 prohibits overhead doors from facing the street, however Planning Commission can approve exceptions.

(11) Overhead doors shall not face a public street. The Planning Commission may permit overhead doors to face a public street, but only when it has made a finding that there is no feasible alternative location for

such doors. Consistent with the requirements in Article 5, the Planning Commission may approve a special exception to allow an overhead door to face a public street when there is no feasible alternative.



Findings: The design and architecture of the addition does not meet the architectural standards outlined in Chapter 11 – Zoning. Staff has recommended that the applicant submit an updated rendering that meets the 50 percent requirement for decorative exterior façade of a new building. This could be achieved with windows facing north, along with decorative stone or EIFS materials. Staff would recommend approving the overhead doors facing 21st Avenue South, as they are along a side street rather than West Grand Avenue.

7) Lighting & Photometric Plan

Analysis: A lighting and photometric plan has not been submitted.

Findings: Staff are requesting the applicant to submit a lighting and photometric plan to ensure the following requirements are met.

Table 18-1. Specific lighting requirements

	Single family, duplex, and twin home	Multi-family (3 or more dwelling units)	Commercial, industrial, and institutional	Athletic fields and public outdoor venues
Fixture type [1,2]	1,000 lumens or less – no limitation More than 1,000 lumens - cutoff or shielded	1,000 lumens or less – no limitation More than 1,000 lumens - cutoff or shielded	1,000 lumens or less – no limitation More than 1,000 lumens - cutoff or shielded	No limitation
Light trespass [3,4]	The intensity of illumination projected onto another property shall not exceed 0.1 footcandle.	The intensity of illumination projected onto another property shall not exceed 0.1 footcandle.	The intensity of illumination projected onto a residential property shall not exceed 0.1 footcandle and 0.2 footcandles onto another commercial, industrial, or institutional use.	The intensity of illumination projected onto a residential property shall not exceed 0.1 footcandle and 0.5 footcandles on a commercial, industrial, or institutional use

In summary, the proposed vehicle repair shop addition is suitable for the proposed site and consistent with surrounding development, however detail is missing from the plan submittal. Therefore, staff recommend postponing the item, due to lack of details within the submission. If further information and details are provided prior to or at the Planning Commission Meeting staff may recommend approval at such time, subject to conditions outlined on page one of the staff report. The development will meet the growing needs of the business and provide community amenities and should not be injurious to the neighborhood or general welfare of the community if further details are provided.



Conditional Use Application
 City of Wisconsin Rapids, Wisconsin
 Version: January 3, 2019

Community Development Department
 444 West Grand Avenue
 Wisconsin Rapids, WI 54495-2780
 P: (715) 421-8228 Fax: (715) 421-8291

Overview: The City's zoning regulations identify land uses that may be allowed in each of the zoning districts either by right or as a conditional use. By definition, a conditional use is a land use that may or may not be appropriate on a given parcel depending on a wide range of factors that relate to the proposed use and the particular circumstances relating to the parcel and surrounding properties. Conditional uses are therefore considered on a case-by-case basis. As part of the review process, the Planning Commission and Common Council conduct a joint public hearing to solicit input from the general public and other interested parties. When reviewing conditional use applications, the Planning Commission serves in an advisory capacity to the Common Council, which makes the final decision. The recommendation of the Planning Commission and the decision of the Village Board are based on the evidence and testimony received as part of the application and through the public hearing process.

If you submit an application, do not contact any member on the Planning Commission or the Common Council until after a final decision has been made.

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

Application fee: \$250.00 for principal and accessory uses; \$100.00 for temporary uses and \$50.00 for administrative renewals

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Aldersperson notification Before you submit your application, you will need to send a letter to the Aldersperson of the district of where the request is taking place, explaining the request. Please attach the notification letter with your application materials.

Office Use Only

Date Received _____
 Received By _____
 Fee _____
 Case # _____
 Aldermanic District _____
 Plan Commission Date _____

1. Applicant information

Applicant name Nieman's Service Inc
 Street address 2141 W Grand Ave
 City, state, zip code Wisc Rapids WI 54495
 Daytime telephone number 715-423-4250
 Email office@niemanstowing.com

2. Agent contact information Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	<u>Agent 1</u>	<u>Agent 2</u>
Name	_____	_____
Company	_____	_____
Street address	_____	_____
City, state, zip code	_____	_____
Daytime telephone number	_____	_____
Email	_____	_____

3. Type of application (select one)

New conditional use

Yes No Are there any other current conditional use approvals for the property?

If yes, provide the year of issuance and a short description.

Vehicle Repair / Towing

An amendment of a previously approved conditional use

4. Subject property information

Physical address _____

Parcel number(s) _____

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

No
 Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

No
 Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

The subject property is located in the following base zoning district(s). (check all that apply)

- RR Rural Residential
- R-1 Single-family Residential
- R-2 Mixed Residential
- R-3 Multi-family Medium Density Residential
- R-4 Multi-family High Density Residential
- R-8 Manufactured Home Park
- B-1 Downtown Commercial
- B-2 General Commercial
- B-3 Neighborhood Commercial
- B-5 Mixed Use Commercial
- M-1 General Industrial
- M-2 Heavy Industrial
- I-1 Institutional
- P-1 Park and Recreation
- C-1 Conservancy

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- Planned Development (PDD)
- Downtown Design
- Shoreland
- Shoreland-Wetland
- Floodplain
- Wellhead Protection

6. **Current use** Describe the current use of the subject property.

Auto Refin and towing

7. **Proposed use** Describe the proposed conditional use or the proposed amendment.

Refin

8. **Evaluation criteria** The factors listed below will be used in evaluating this application. Your responses are important.

1. The size of the parcel on which the proposed use will occur.

1.45 Acres

2. The presence of and compatibility with other uses on the subject property if any.

Surrounding lots are commercial

3. The location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses).

Adjacent to Refin shop / existing use

4. Effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site.

Doors on east end of building because its a safety issue coming in off Grand Ave

5. The suitability of the subject property for the proposed use.

Use is already occurring on the land

6. Effects of the proposed use on the natural environment.

none

7. Effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances.

none operating hours M-F 9-5

8. Effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts.

no effects to the surrounding property

9. Any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.

none

9. Supplemental materials Attach the following to this application form.

- 1. A project map with the information listed in Appendix F of the zoning code.
- 2. Proposed construction plans (if applicable)
- 3. The letter you sent to the Alderperson for the district in which the project is located.

10. Attachments List any attachments included with your application.

~~cond~~ ~~note~~ Building Plans

11. Other information You may provide any other information you feel is relevant to the review of your application.

12. Mandatory meeting with staff

When did you meet with the Community Development Director?

3-24

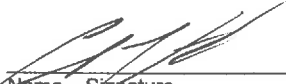
Month/year

13. Applicant certification

- I understand that I, or any of my agents, may not discuss this application with any member of the Planning Commission or the Common Council until after a final decision is rendered.
- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Chris Neuman
Name – print


Name – Signature

3-28-24
Date

Name – print

Name – Signature

Date

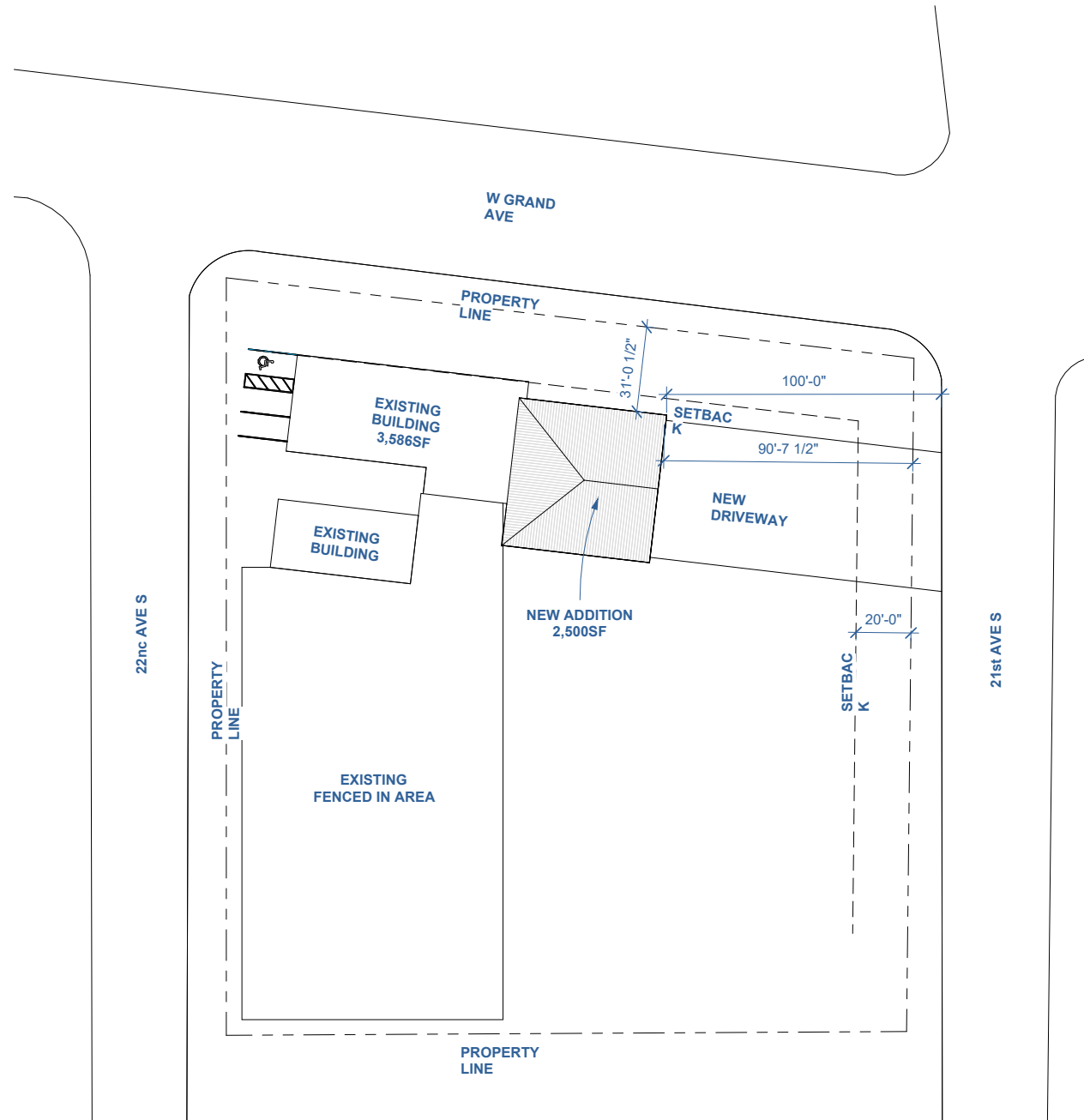
New Residential or Commercial Construction For Nieman's Towing & Recovery

2141 W Grand Ave, Wisconsin Rapids WI 54495



ARC CENTRAL LLC
ARCHITECTURE, CONSTRUCTION
MANAGEMENT, INTERIOR DESIGN
715-572-2698
arccentralinc@outlook.com

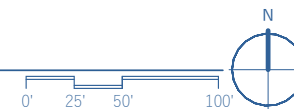
Code Data	
Governing Code	Wisconsin Enrolled, 2015 International Building Code
Occupancy Classification - 303.1	STORAGE - S1
Allowable Height - TABLE 504.4	S-1 OCC, NON-SPRINKLED, VB = 1 STORY
Allowable Area - TABLE 506.2	S-1 OCC, NON-SPRINKLED, VB = 9,000 sf
Actual Building Area	Storage S-1, 2,500SF Addition
Type of Construction - TABLE 601	TYPE VB, WOOD FRAME
Occupant Capacity 1004.1.2	STORAGE- S1, 6,086 / 500 = 13
Required Exit Width - Table 1005	S1 - 13 OCC, 72" PROVIDED = 5" PER OCC.
Exit Access Travel Distance 1017.2	Self-Storage, S1 Occupancy, Non-Sprinkled - 200ft
Sanitary Facilities, Table 2902.1	EXISTING



DRAWING INDEX	
COVER SHEET	
T100	TITLE SHEET & SITE PLAN
ARCHITECTURAL	
A100	DEMOLITION & EXISTING
A101	FIRST FLOOR NEW
A201	EXTERIOR ELEVATIONS
A301	CROSS SECTIONS & SECTION DETAILS
STRUCTURAL	
S100	FOUNDATION PLAN & DETAILS
S101	ROOF FRAMING PLAN
S102	SHEAR WALL SHEATHING DETAILS
ELECTRICAL	
E101	POWER & LIGHTING PLAN
CALCULATIONS	
STRUCTURAL	PAGES 1-4
WIND-LOAD	PAGES 5-11
GENERAL	
G101	LEGEND & ACCESSIBILITY DETAILS
G102	ACCESSIBLE TOILET ROOM DETAILS
G103	ACCESSIBLE SITE DETAILS



1 SITE PLAN
1" = 30'-0"



SITE PLAN & SHEET INDEX

PROPOSED ADDITION
FOR
Nieman's Towing & Recovery
2141 W Grand Ave, Wisconsin
Rapids WI 54495

REVISIONS	
01.01.24	Date
2.29.24	Date
3.14.24	Date

Prelim. Plan	Revision 1
Const. Docs	Revision 2
Approval	
Date	
Feb 7th 2024	
PROJECT NO.	24012



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DEMO PLAN

PROPOSED ADDITION
FOR
Nieman's Towing & Recovery
2141 W Grand Ave, Wisconsin
Rapid WI 54495

REVISIONS

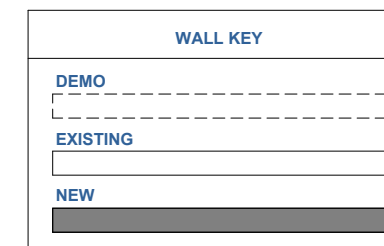
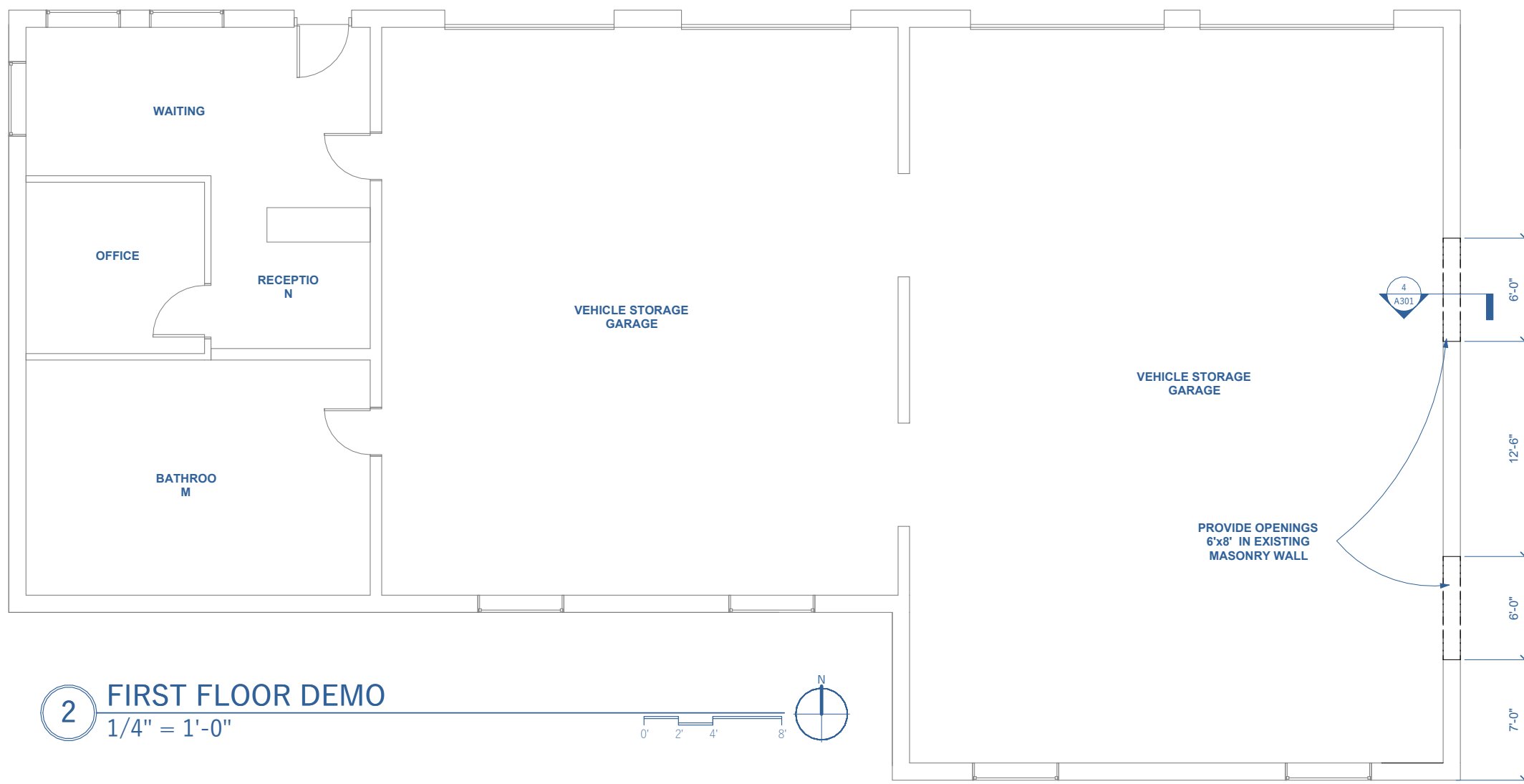
Date	Date
01.01.24	
2.29.24	
3.14.24	

Prelim. Plan
Const. Docs
Approval
Revision 1
Revision 2

DATE
Feb 7th 2024

PROJECT NO.
24012

A100

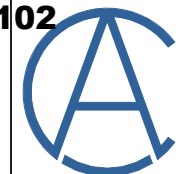


SHEET NOTE:

REMOVE ALL WALLS DOORS & WINDOWS SHOWN DASHED

2 FIRST FLOOR DEMO
1/4" = 1'-0"





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 arccentralllc@outlook.com

FIRST FLOOR PLAN

PROPOSED ADDITION
 FOR
 Nieman's Towing & Recovery
 2141 W Grand Ave, Wisconsin
 Rapids WI 54495

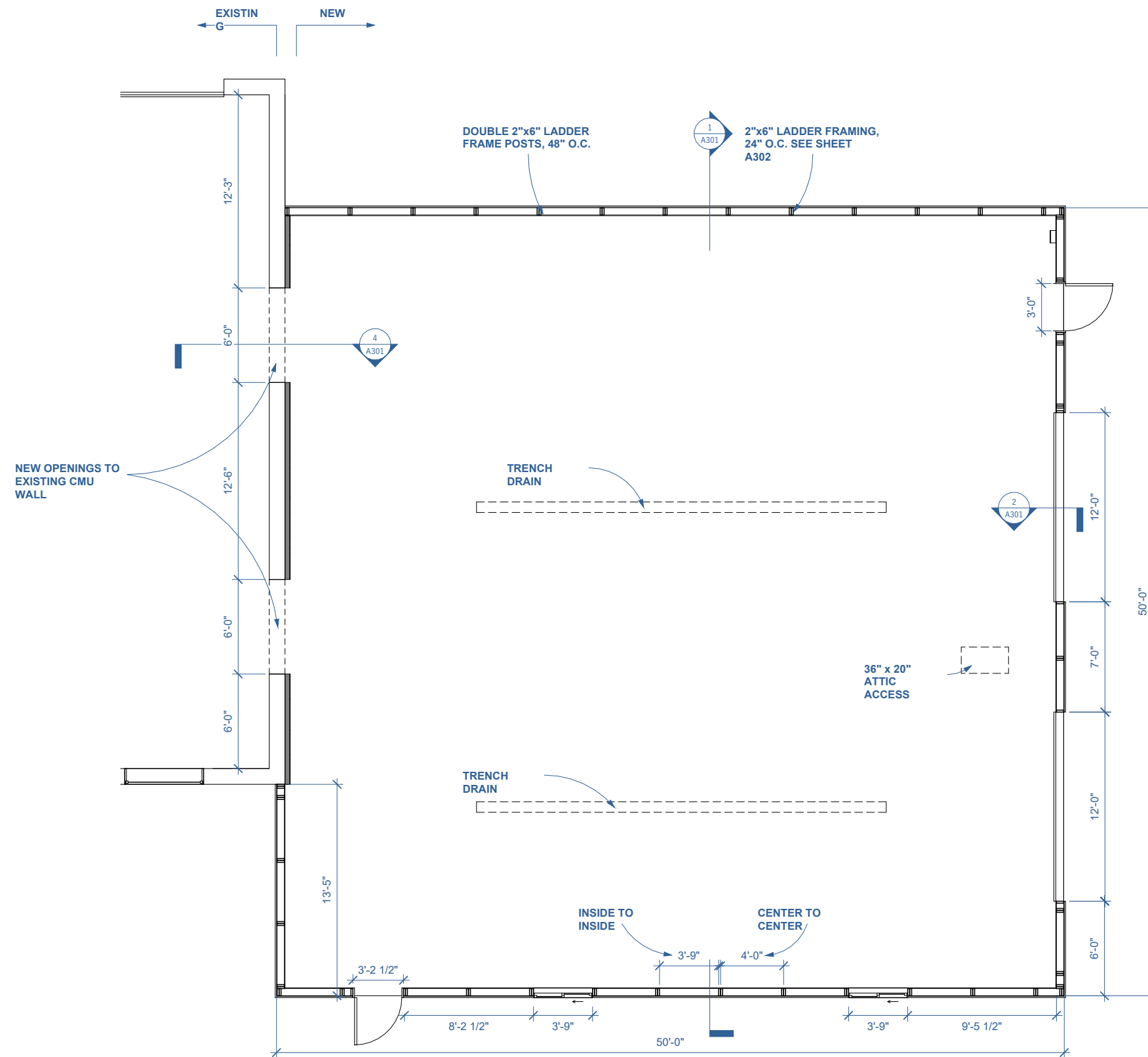
REVISIONS

Date	Date
01/01/24	
2/29/24	
3/14/24	

DATE	DATE
Feb 7th 2024	

PROJECT NO.
24012

A101



WALL KEY	
DEMO	
EXISTING	
NEW	

SHEET NOTE:
 REMOVE ALL WALLS DOORS &
 WINDOWS SHOWN DASHED

SHEET NOTES:

CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS PER IFC 906. INSTALL AND MAINTAIN PER IFC 906 AND NFPA 10.

F1 OCC = LOW HAZARD, CLASS "A" FIRE. PROVIDE 2-A EXTINGUISHERS AS SHOWN ON SHEET A100 PROVIDE EMERGENCY BATTERY POWERED EXIT LIGHTING OF 1.0 FOOTCANDLE MINIMUM AT ALL EXIT WALKING SURFACES TO AND INCLUDING EXIT DISCHARGE.

ROOM FINISHES SHALL BE CLASS C, PAINTED GYPSUM WALL BOARD, AND METAL SATISFY THIS REQUIREMENT

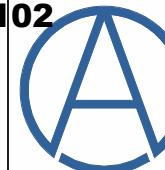
SITE GRADING SHALL COMPLY WITH IBC 1804.4. SLOPE SOIL SURROUNDING FOUNDATION 1" PER FOOT FOR A DISTANCE OF 10'-0" MINIMUM

ALL CAST-IN-PLACE CONCRETE SLABS FOOTINGS AND GRADE BEAMS SHALL BE MIXED TO ACHIEVE A COMPRESSIVE STRENGTH 4,000 PSI MINIMUM, AND SHALL BE AIR ENTRAINED.

CONCRETE MIX SHALL CONTAIN FIBRILLATED FIBERMESH REINFORCING, 1.5 LBS PER CUBIC YARD.

1 FIRST FLOOR NEW
 1/4" = 1'-0"





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PROPOSED ADDITION
 FOR
 Nieman's Towing & Recovery
 2141 W Grand Ave, Wisconsin
 Rapids WI 54495

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 2141 W Grand Ave, Wisconsin
 Rapids WI 54495

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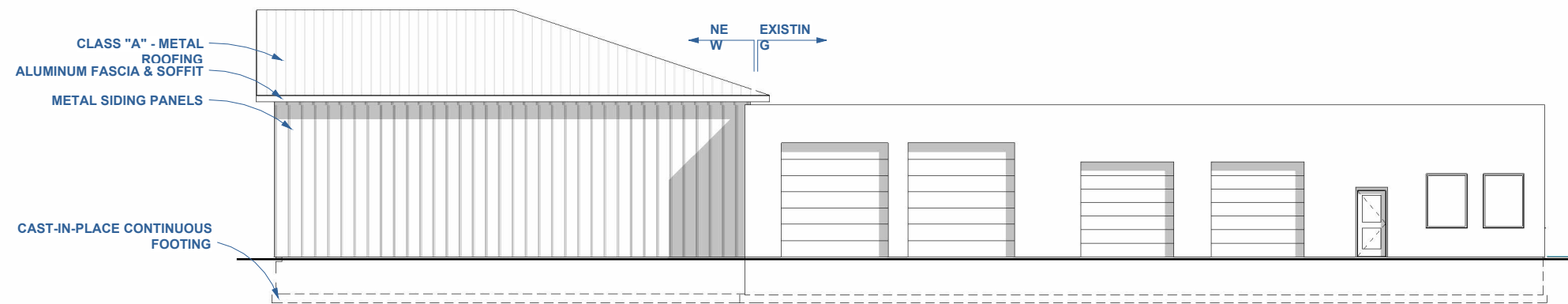
Date	Date
01.01.24	2.29.24
2.29.24	3.14.24

Prelim. Plan
 Const. Docs
 Approval
 Revision 1
 Revision 2

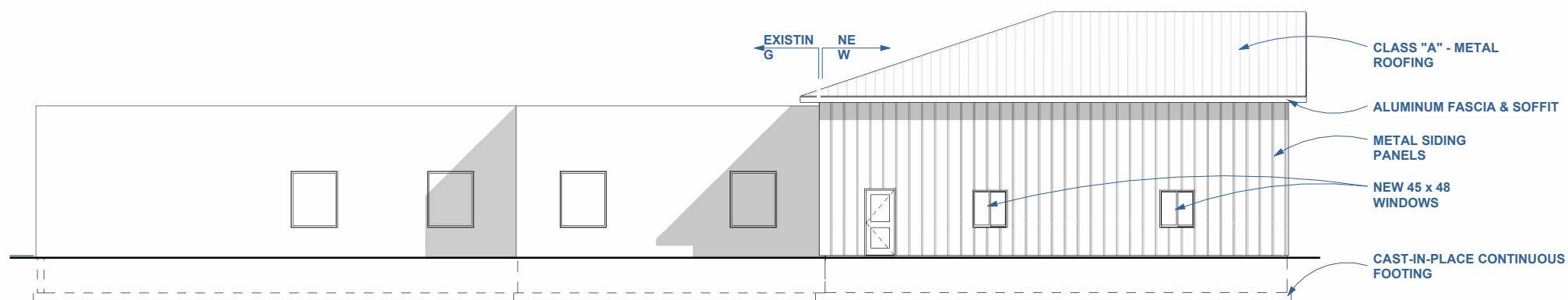
DATE
 Feb 7th 2024

PROJECT NO.
 24012

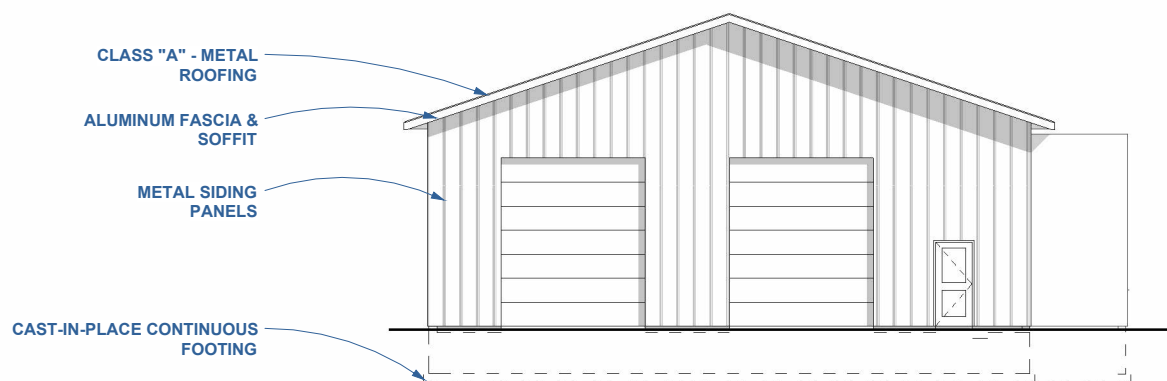
A201



2 NORTH
 1/8" = 1'-0"
 0' 4' 8' 16'



1 SOUTH
 1/8" = 1'-0"
 0' 4' 8' 16'



3 EAST
 1/8" = 1'-0"
 0' 4' 8' 16'

IECC 402.1 PRESCRIPTIVE METHOD FOR THERMAL ENVELOPE ASSEMBLIES

- BUILDING USES U-VALUE BASED METHOD, C402.1.4 CLIMATE ZONE 6
- ATTIC INSULATION = U - 0.021
- ROOF DECK INSUL ENTIRELY ABOVE DECK - U 0.032
- WOOD FRAMED WALLS, U - 0.051
- WALLS BELOW GRADE C - 0.119
- OPAQUE SWINGING DOORS U - 0.37
- BUILDING USES U-VALUE BASED METHOD, C402.4 CLIMATE ZONE 6
- OPERABLE FENESTRATION U - 0.43
- SHADING COEFFICIENT 0.40
- AIR LEAKAGE 0.3 PER 402.5.2
- MANUFACTURER'S DATA STICKER SHALL BE LEFT ON WINDOWS AND DOORS UNTIL FINAL INSPECTION

COMPONENT	R-VALUE @ CAVITY	COMPONENT	R-VALUE @ STUD
INSIDE AIR FILM	.68	INSIDE AIR FILM	.68
5/8" GYP WALL BRD	.45	5/8" GYP WALL BRD	.45
STUD CAVITY	19.	STUD	6.88
1/2" OSB SHEATHING	.5	1/2" OSB SHEATHING	.75
1/2" SIDING	.75	1/2" SIDING	.81
OUTSIDE AIR FILM	.81	OUTSIDE AIR FILM	.17
TOTAL	22.36	TOTAL	9.74

2"x6", 16" OC TOTAL WALL R-VALUE

$$\begin{aligned}
 &= .093 \times (9.74) + .907 \times (22.36) \\
 &= .905 + 20.28 \\
 &= 21.19 \text{ WALL R-VALUE} \\
 &1/21.19 = 0.047 \text{ WALL U-VALUE}
 \end{aligned}$$



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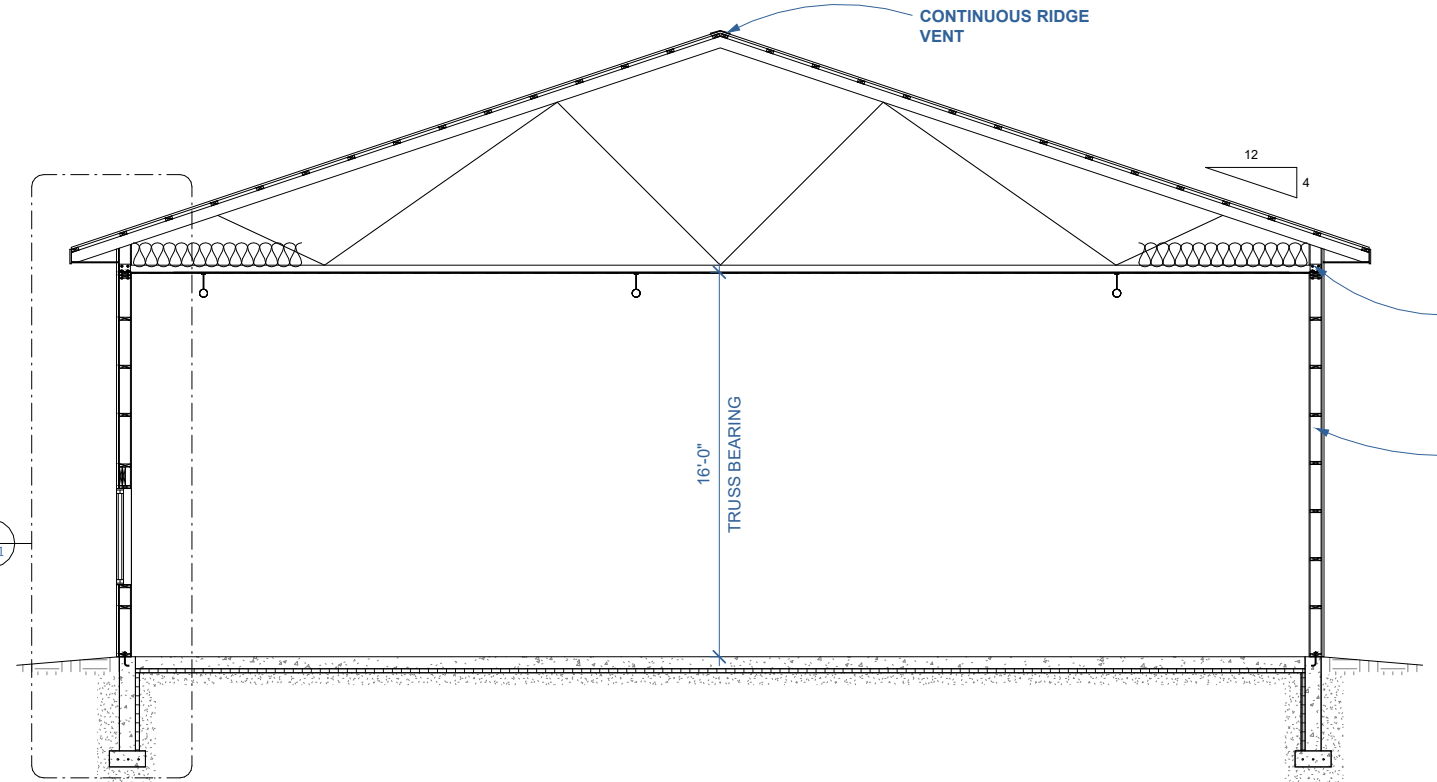
BUILDING & WALL
 SECTIONS

PROPOSED ADDITION
 FOR
 Nieman's Towing & Recovery
 2141 W Grand Ave, Wisconsin
 Rapids WI 54495

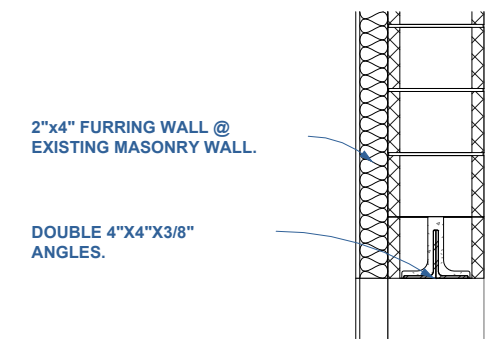
REVISIONS

NO.	DATE	DATE
01.01.24	2.29.24	3.14.24
Prelim. Plan	Const. Docs	Approval
Revision 1	Revision 1	Revision 2

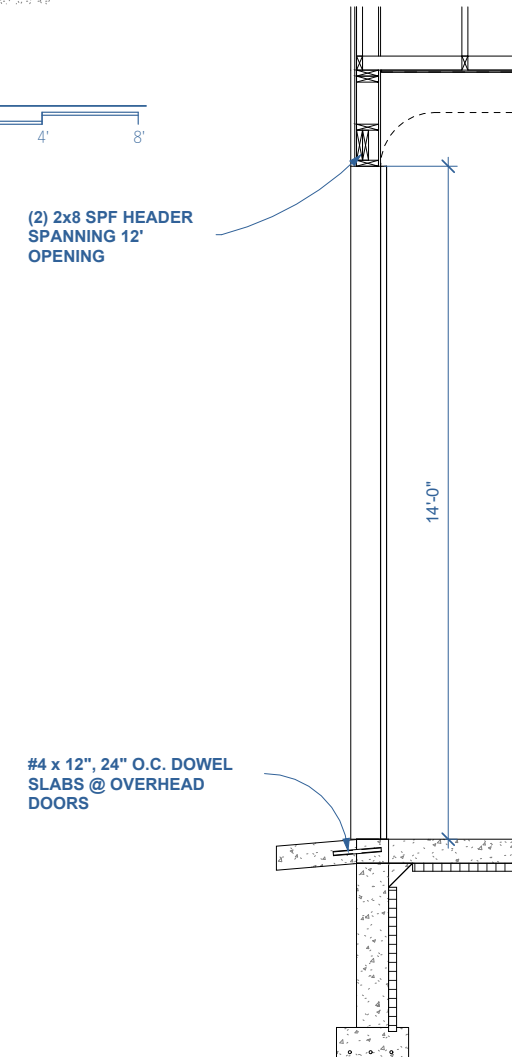
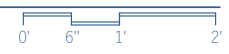
DATE
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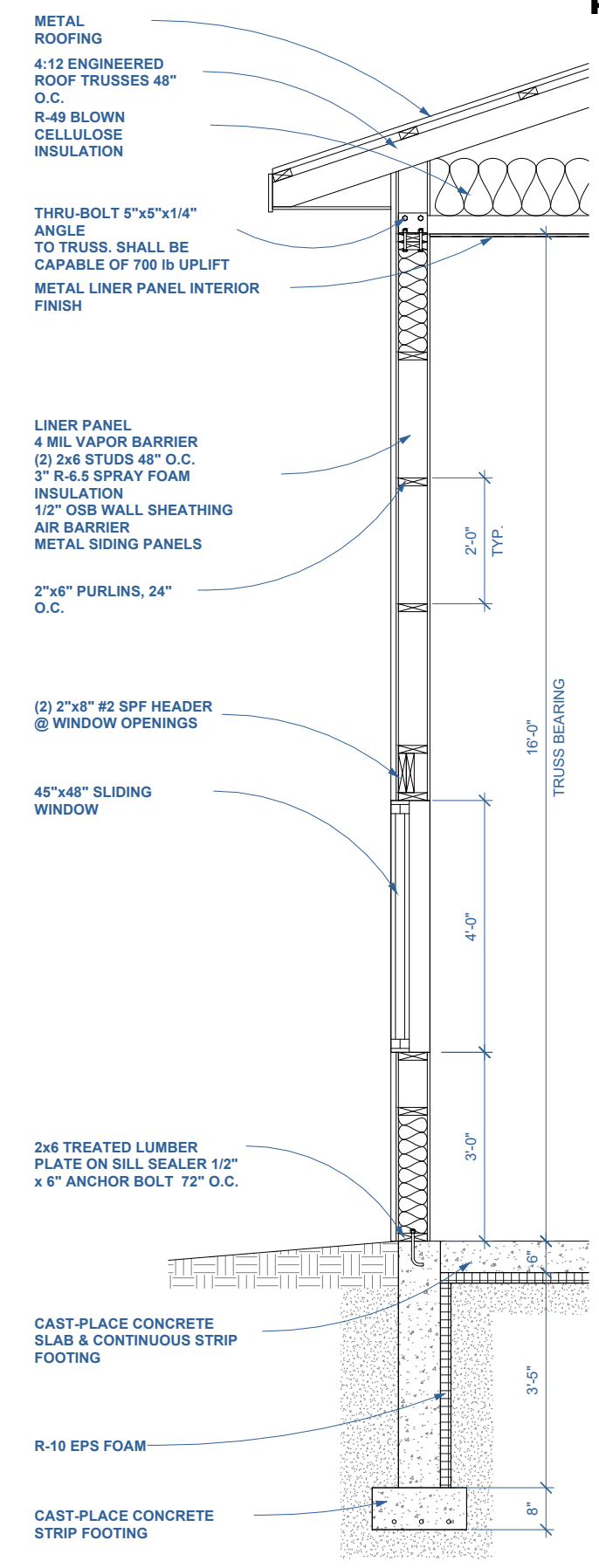
1 CROSS SECTION
 1/4" = 1'-0"



4 SECTION @ EXISTING MASONRY
 1" = 1'-0"

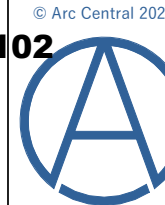


2 SECTION @ O.H. DOOR
 1/2" = 1'-0"



3 TYP WALL SECTION
 3/4" = 1'-0"





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FOUNDATION PLAN &
 DETAILS

PROPOSED ADDITION
 FOR
 Nieman's Towing & Recovery
 2141 W Grand Ave, Wisconsin
 Rapids WI 54495

REVISIONS

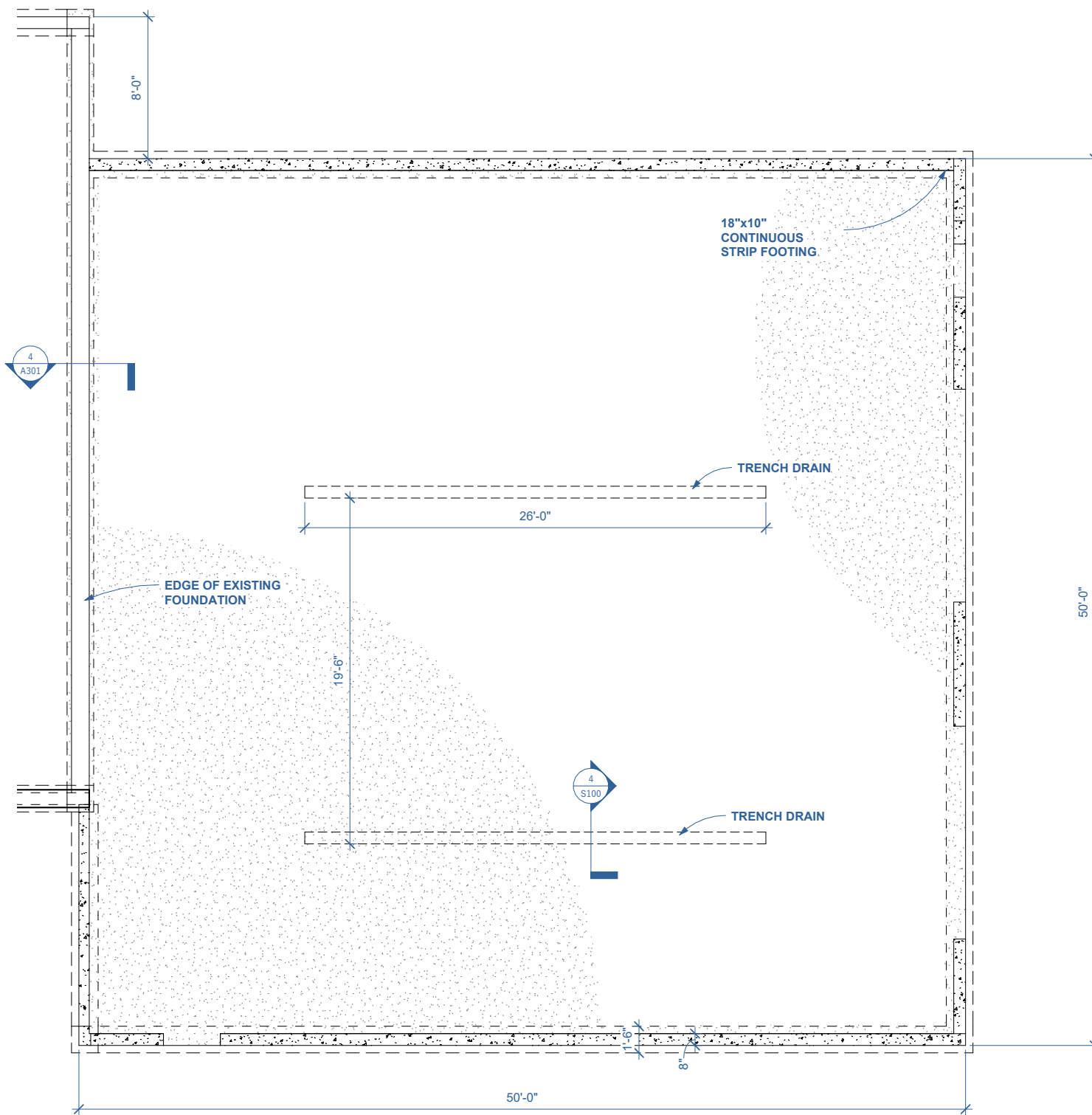
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3	14.24	

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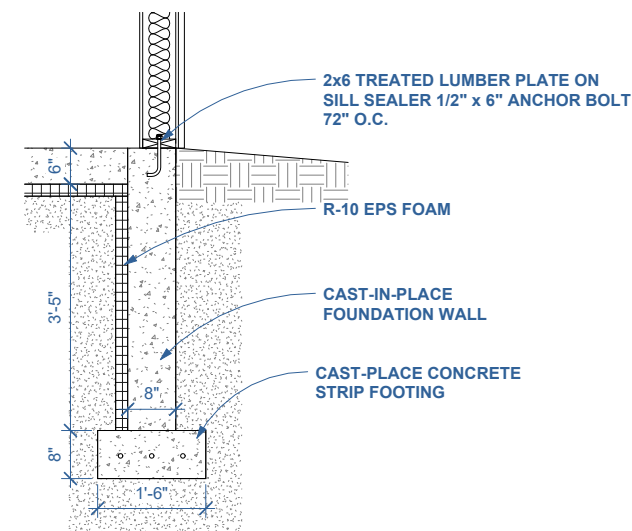
DATE
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PROJECT NO.
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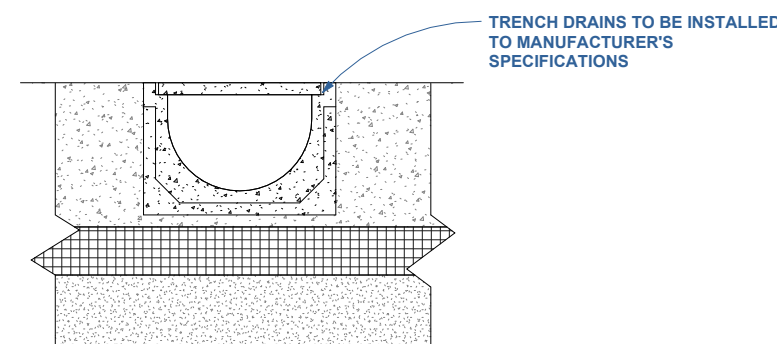
S100



2 FOUNDATION NEW
 1/4" = 1'-0"

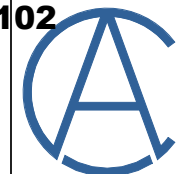


3 TYP FOUNDATION WALL
 3/4" = 1'-0"



4 TRENCH DRAIN DETAIL
 3" = 1'-0"





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 ARCHITECTURE, CONSTRUCTION
 MANAGEMENT, INTERIOR DESIGN
 715-572-2698
 arccentralllc@outlook.com

ROOF FRAMING PLAN AND
 DETAILS

PROPOSED ADDITION
 FOR
 Nieman's Towing & Recovery
 2141 W Grand Ave, Wisconsin
 Rapids WI 54495

REVISIONS

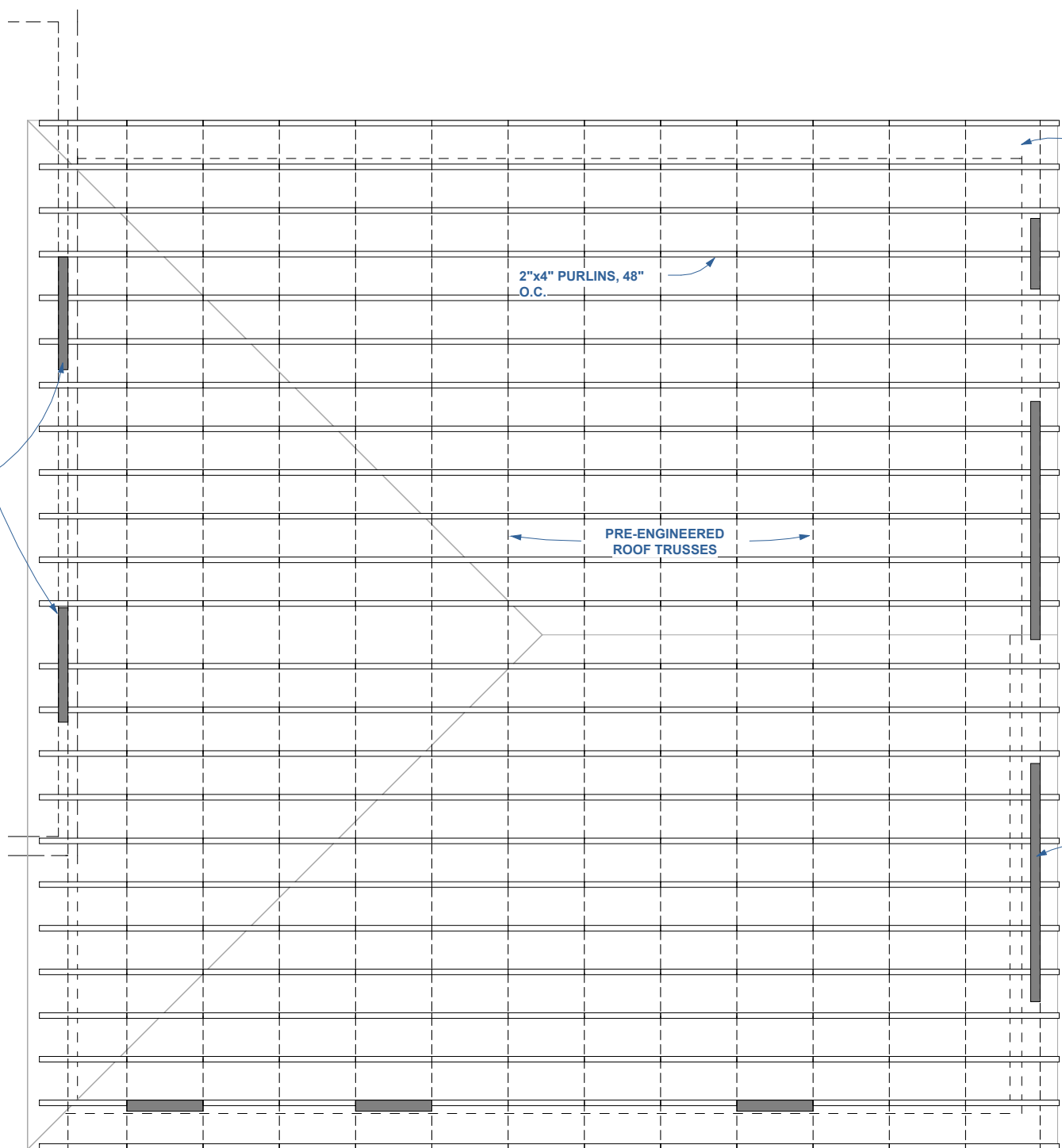
Date	Date
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2,29,24	
3,14,24	

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 Const. Docs
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PROJECT NO.
 24012

S101



CLASS "A" ROOFING AS SELECTED BY THE OWNER

2"x4" PURLINS, 48" O.C.

PRE-ENGINEERED ROOF TRUSSES

(2) 2"x8" HEADER SEE DETAIL 2/A301 TYPICAL OPENINGS

DOUBLE 4"x4"x3/8" ANGLES. SEE DETAIL 4/A301

TRUSS SUPPLIER SHALL PREPARE TRUSS COMPONENT SUBMITTAL INFORMATION FOR STATE APPROVAL TO INCLUDE CALCULATIONS AND DRAWINGS FOR SNOW LOADS AS FOLLOWS:

BUILDING IS LOCATED IN	WOOD COUNTY	
GROUND SNOW LOAD	Pg = 50 PSF	PER IBC 1608.2
IMPORTANCE FACTOR	Is = 1.0	CATEGORY II
EXPOSURE FACTOR	Ce = 1.0	EXPOSURE B
SLOPE FACTOR	Ps = 1.0	
THERMAL FACTOR	Ct = 1.0	HEATED STRUC
ROOF SNOW LOAD	___ = 0.7 x Pg x Ps x Ce x Is x Ct	
ROOF SNOW LOAD	35.0 = 0.7 x 50 x 1.0 x 1.0 x 1.0 x 1.0	

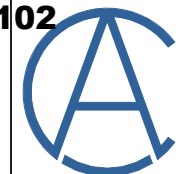
LATERAL LOADS SHALL BE BASED ON WIND SPEED OF 90 MPH, 20 PSF LATERAL LOAD

SHEET NOTE:

TRUSS MANUFACTURER TO PREPARE AND PROVIDE STAMPED COPIES OF TRUSS PLANS AND ENGINEERED CALCULATIONS TO THE ARCHITECT FOR SUBMITTAL TO THE STATE PRIOR TO INSTALLATION OF THE TRUSSES.

TRUSS MANUFACTURER TO INCLUDE UNBALANCED AND SNOWDRIFT LOADS IN THEIR CALCULATIONS. NEW TRUSS SYSTEM SHALL BE DESIGNED ACCORDINGLY.

1 Roof Framing
 1/4" = 1'-0"



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 715-572-2698
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SHEAR WALL SHEATHING
 DETAILS

PROPOSED ADDITION
 FOR

Nieman's Towing & Recovery
 2141 W Grand Ave, Wisconsin
 Rapids WI 54495

REVISIONS

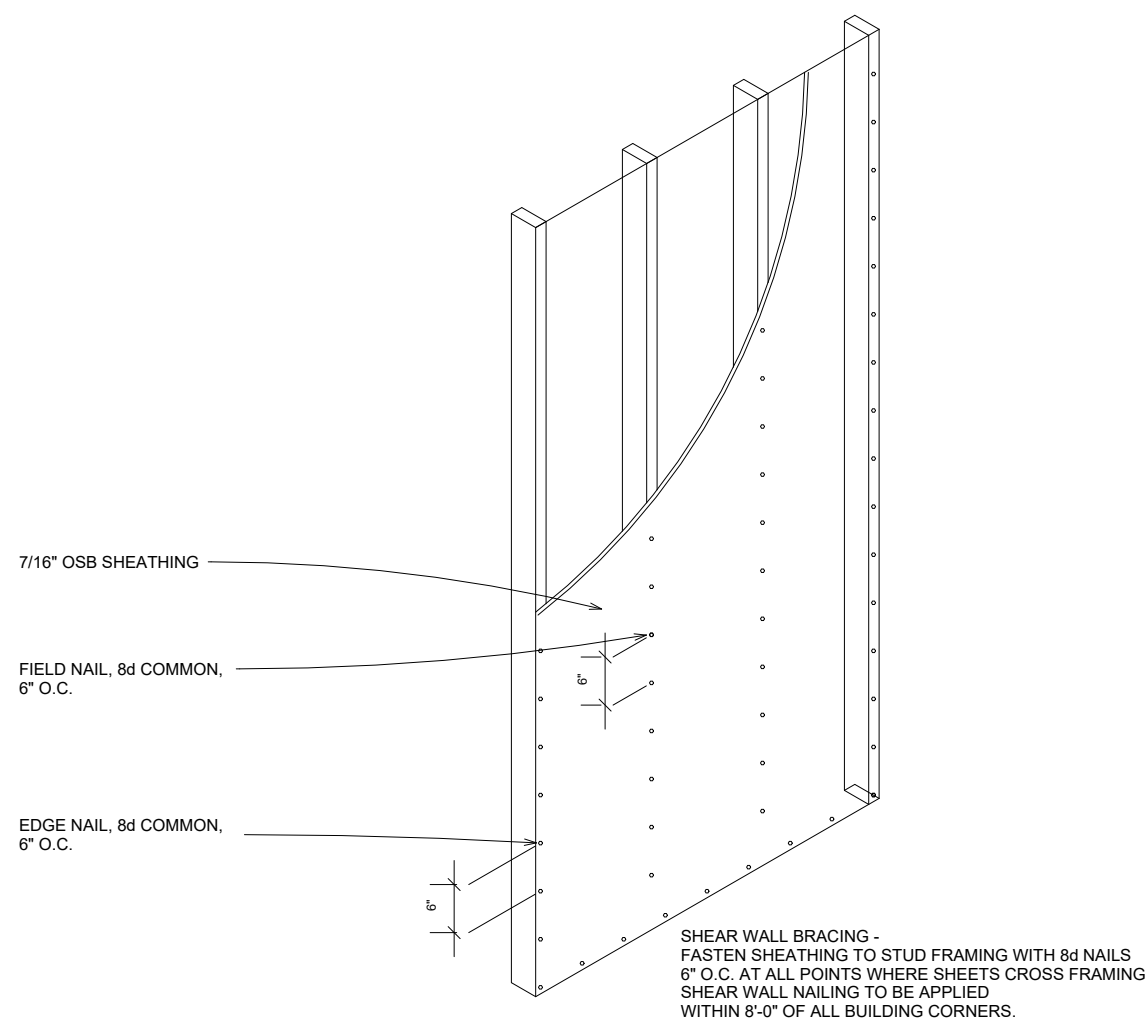
Date	Date
01.01.24	
2.29.24	
3.14.24	

Revision	Revision
1	
2	

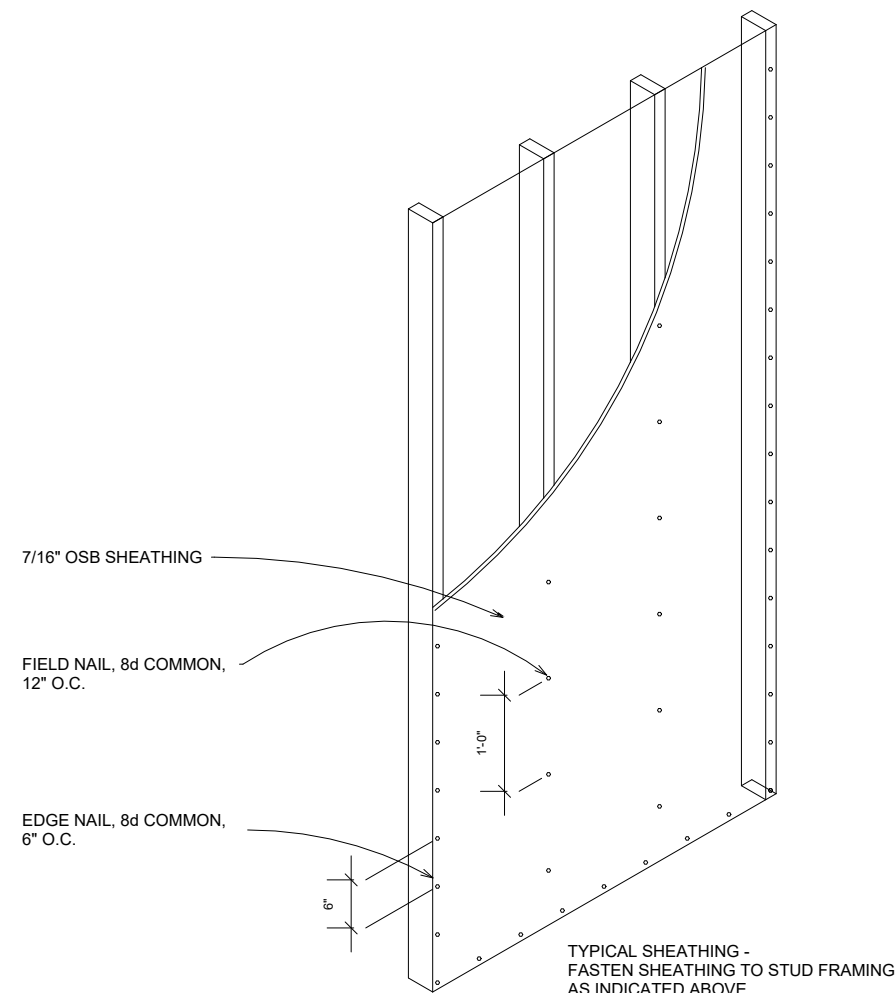
DATE

Feb 7th 2024

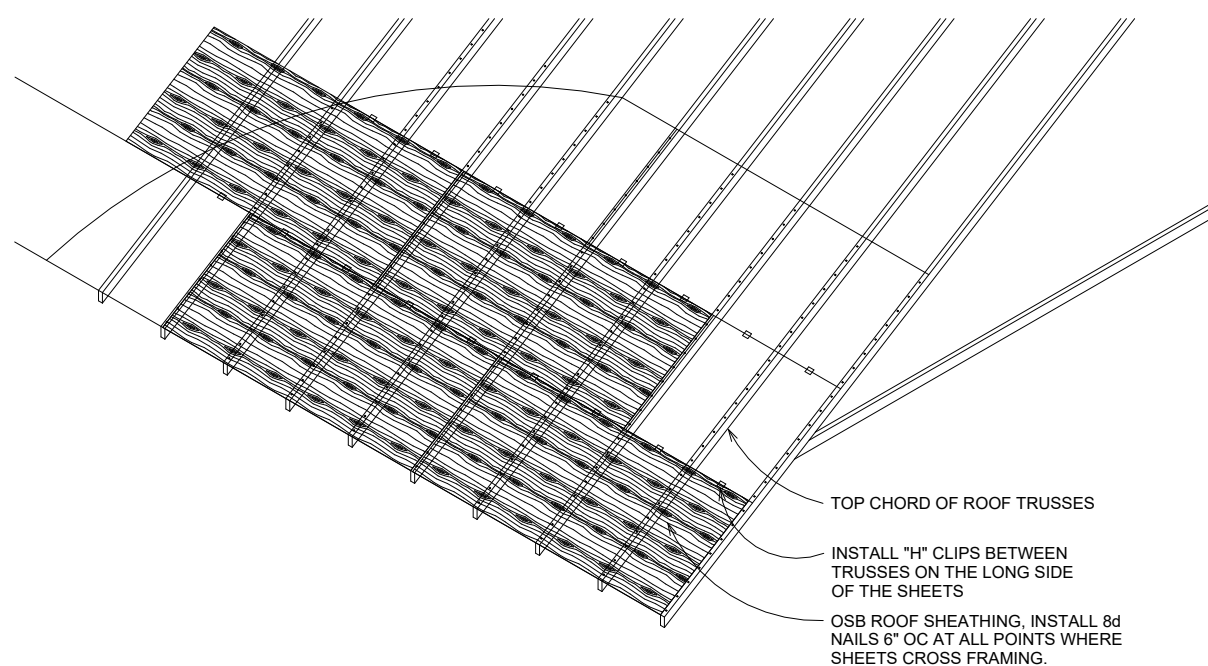
PROJECT NO.
 24012



1 SHEAR WALL SHEATHING
 1" = 1'-0"



2 TYP WALL SHEATHING
 1" = 1'-0"



3 ROOFING SHEATHING INSTALLATION
 1/2" = 1'-0"





ARC CENTRAL LLC
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MANAGEMENT, INTERIOR DESIGN
715-572-2698
arccentralinc@outlook.com

ELECTRICAL POWER &
LIGHTING PLANS

PROPOSED ADDITION
FOR
Niemann's Towing & Recovery
2141 W Grand Ave, Wisconsin
Rapids WI 54495

REVISIONS

Date	Date
01.01.24	
2.29.24	
3.14.24	

Prelim. Plan	Const. Docs	Approval	Revision 1	Revision 2

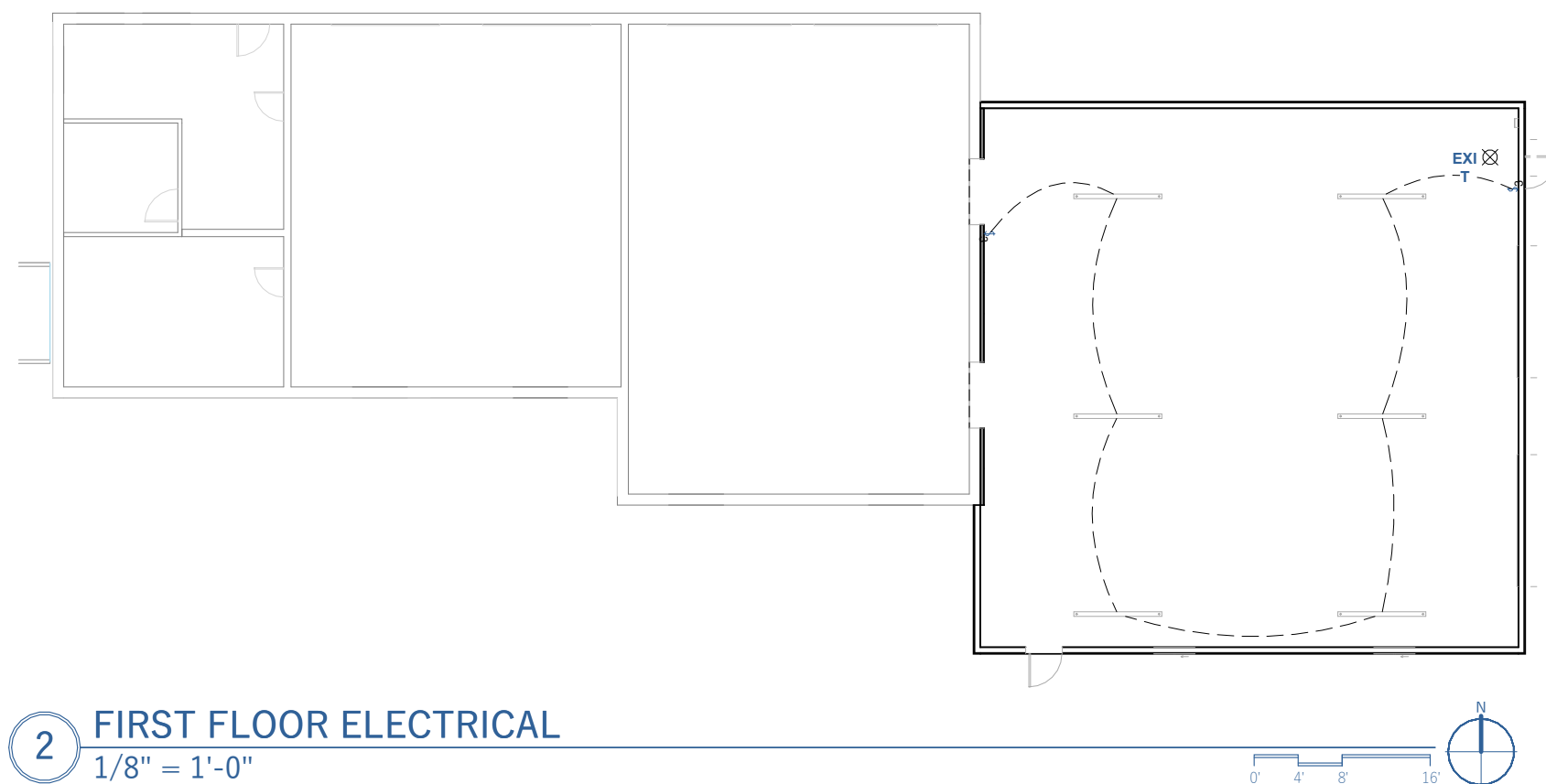
DATE

Feb 7th 2024

PROJECT NO.

24012

E101



EXIT SIGN PLACEMENT SHALL BE SUCH THAT NO POINT IN AN EXIT PASSAGE IS MORE THAN 100 FEET FROM THE NEAREST VISIBLE EXIT SIGN. EXIT LIGHTING SHALL BE BATTERY OPERATED IN CASE OF POWER OUTAGE FOR 90 MINUTES.

2 FIRST FLOOR ELECTRICAL
1/8" = 1'-0"



ARC CENTRAL LLC
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SYMBOLS AND LEGENDS

PROPOSED ADDITION
FOR
Niemann's Towing & Recovery
2141 W Grand Ave, Wisconsin
Rapid WI 54495

REVISIONS

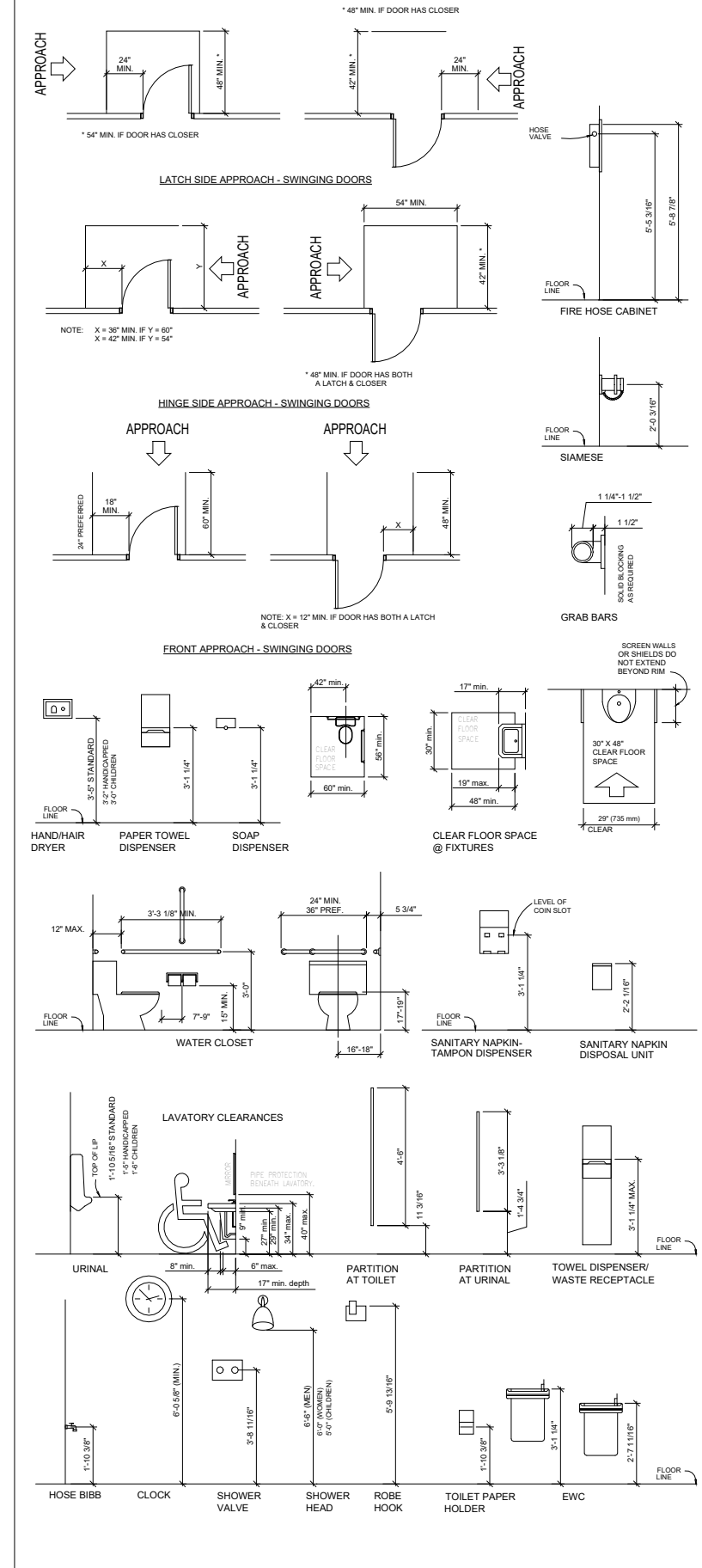
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Revision 2	

DATE
Feb 7th 2024
PROJECT NO.
24012

G101

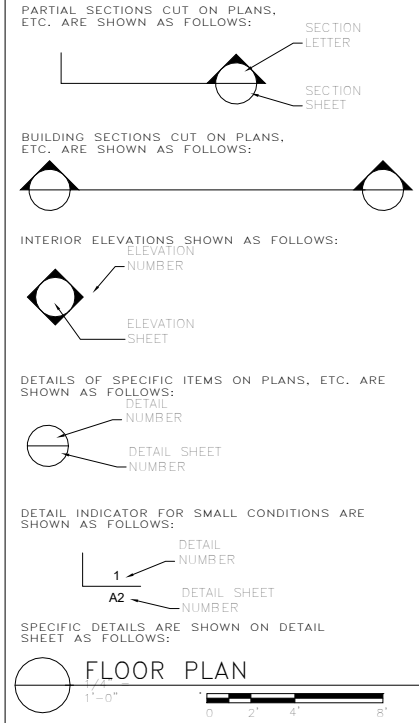
MOUNTING HEIGHTS & CLEARANCES



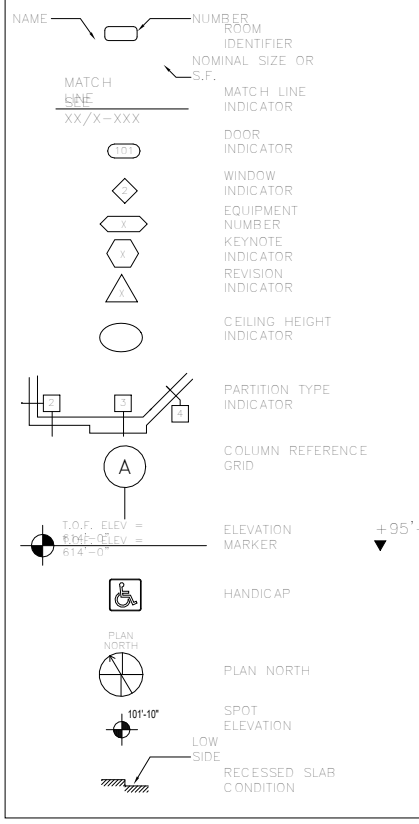
STANDARD ABBREVIATIONS

AB anchor bolt	MANUF manufactured
A/C air conditioning	MAX maximum
AFF above finished floor	MB mop basin
ALUM aluminum	MECH mechanical
ALT alternate	MEMB membrane
AP access panel	MFR manufacturer
ASPH asphalt	MIN minimum
	MISC miscellaneous
	MO masonry opening
	MTL metal
BD board	NIC not in contract
BLDG building	NO number
BLKG blocking	NOM nominal
BM beam, bench mark	NTS not to scale
BO by others	
BRG bearing	
BS both sides	
BTM bottom	
CF cubic feet	OC on center
CJ construction joint	OD outside diameter
CLG ceiling	OH overhead, overhang
CLJ control joint	OPG opening
CLK caulking	PART partition
CMU concrete masonry unit	PCF pounds per cubic foot
CO cleanout	PKT pocket
COL column	PLAS plastic
CONC concrete	PLBG plumbing
CONT continue, continuous	PLF pounds per lineal foot
CONTR contract(or)	PNL panel
CPT carpet(ed)	POLY polyethylene
CR curb ramp	PROJ project, projected
CT ceramic tile	PROP property
CY cubic yard	PSF pounds per square foot
	PSI pounds per square inch
	PT pressure treated
DBL double	PTD paint(ed)
DF drinking fountain	PVC polyvinyl chloride
DIA diameter	PVMT pavement
DIM dimension	PWD plywood
DN down	QT quarry tile
DR door, drain	
DS down spout	
DTL detail	
DW dishwasher	
DWALL drywall	
DWG drawing	
EA each	
EIFS exterior finish insulation system	
EL elevation	
ELEC electric(al)	
ELEV elevator	
EPDM ethylene, propylene, diene terpolymer	
EPI extruded polystyrene insulation	
EQUIP equipment	
EW each way	
EWC electric water cooler	
EXH exhaust	
EXIST existing	
EXP exposed, expansion	
EXT exterior	
FAC fire access cabinet	
FD floor drain	
FE fire extinguisher	
FIN finish	
FLR floor	
FLUR fluorescent	
FNDTN foundation	
FT foot	
FTG footing, fitting	
G gas	
GA gauge	
GALV galvanized	
GB grab bar	
GC general contract(or)	
GL glass, glazing	
GYP gypsum	
HB hose bib	
HC hollow core	
HDWR hardware	
HGT height	
HM hollow metal	
HORIZ horizontal	
HTG heating	
HVAC heating/ventilating/air conditioning	
HW hot water	
HYD hydrant	
ID inside diameter	
IE invert elevation	
IN inch	
INCL include(d), including	
INSUL insulate(d), insulation	
INT interior	
JST joist	
JT joint	
LAV lavatory	
LF lineal foot	
LL live load	
	angle
	centerline
	diameter
	square/foot
	plate

SECTIONS AND DETAILS



ARCHITECTURAL SYMBOLS



GENERAL NOTES
NOTES APPLY TO ENTIRE DOCUMENT SET.

SHEET NOTES
NOTES APPLY ONLY TO SHEET.

KEYNOTES
NOTES APPLY ONLY WHERE INDICATED BY SYMBOL.

ARCHITECTURAL MATERIAL INDICATIONS

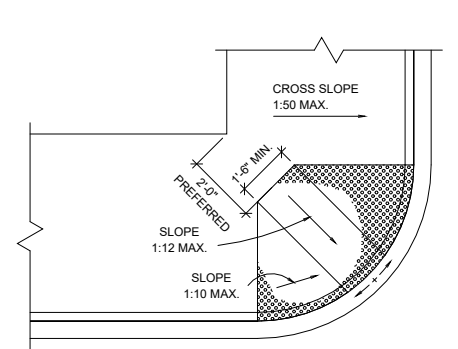
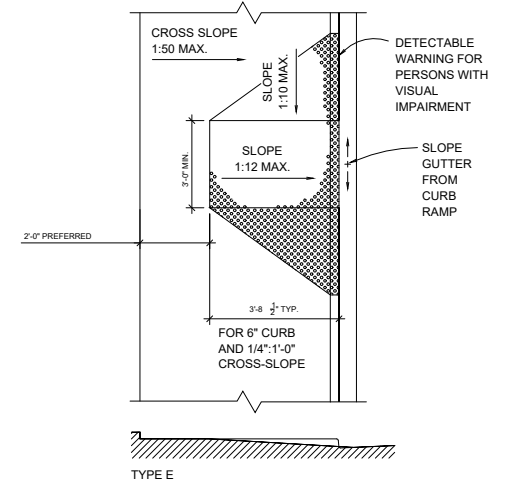
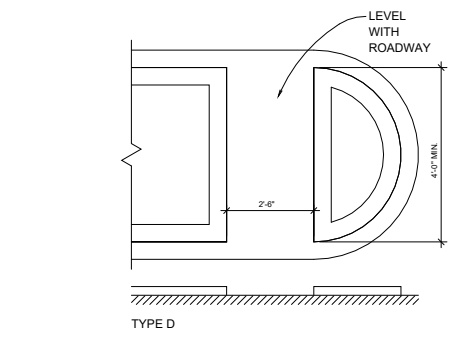
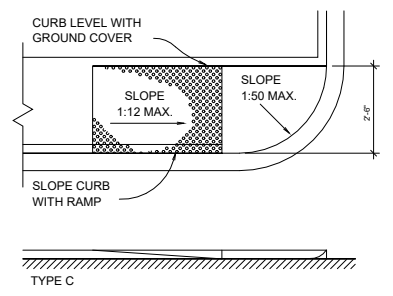
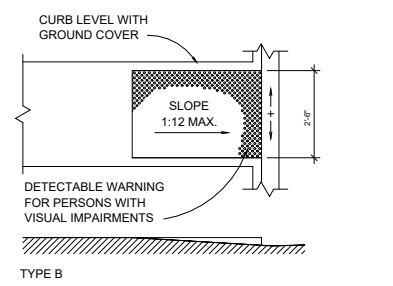
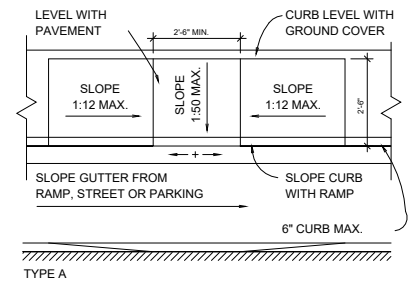
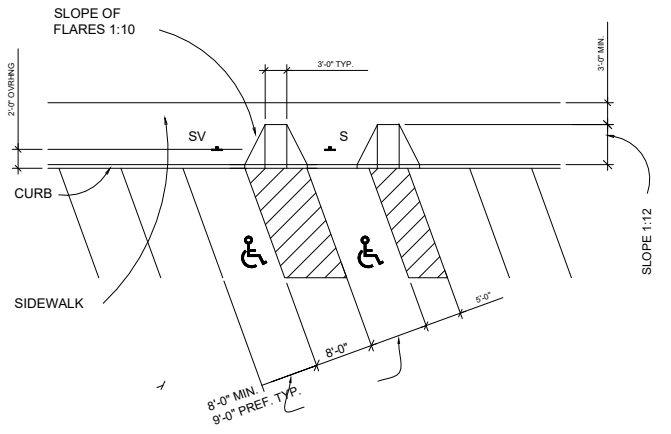
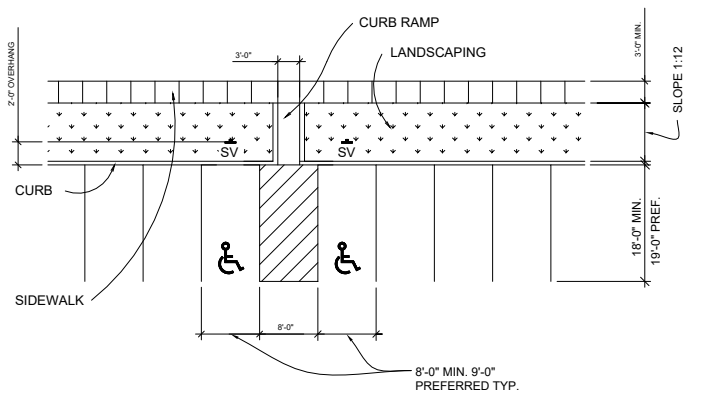
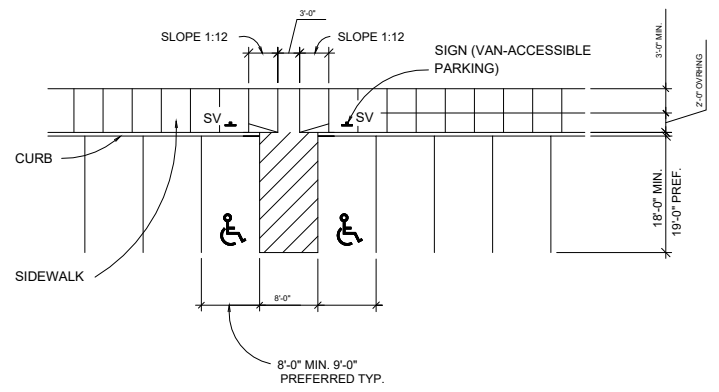
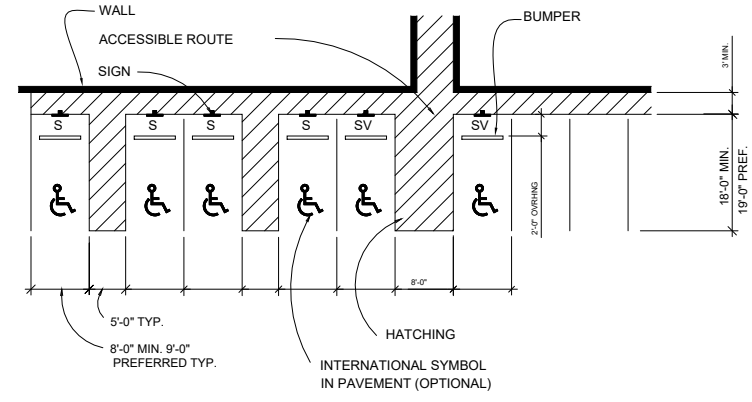
COMPACTED FILL	UNDISTURBED EARTH	DRAINAGE FILL
EARTHWORKS	CAST-IN-PLACE / PRECAST	GROUT
WALL DEFINITIONS	EXISTING CONSTRUCTION	NEW CONSTRUCTION
		DEMOLITION
CONCRETE	CONCRETE BLOCK	BRICK
		STONE
MASONRY	STEEL	ALUMINUM
		BRASS / BRONZE
METAL	FINISH	ROUGH
		PLYWOOD
WOOD	BATT/LOOSE FILL	RIGID
INSULATION	WOOD STUD	WOOD STUD (DETAIL)
		METAL STUD (DETAIL)
PARTITION INDICATIONS	GRASS	SWAMP
		GLASS
CIVIL INDICATIONS		MISC.

CIVIL SYMBOLS

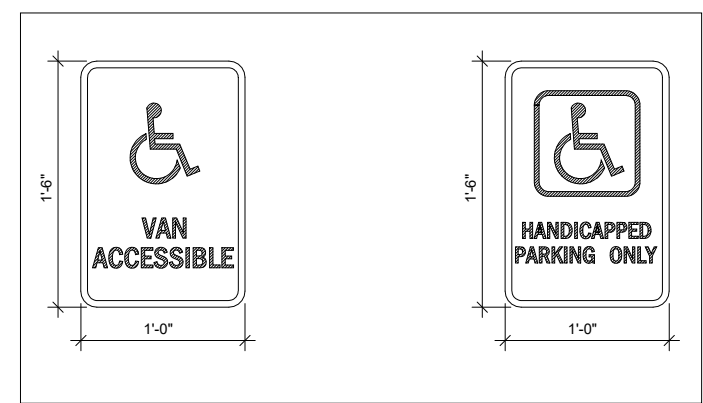
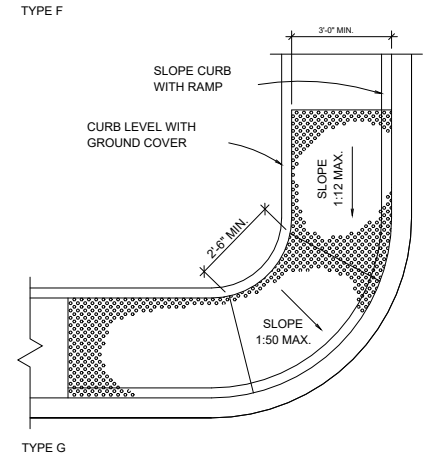
DATUM	SWALE LINE W/ DIR. OF FLOW
EXISTING GRADE ELEVATION	DIRECTION OF FLOW
NEW GRADE ELEVATION	UNIFORM PITCH
EXISTING CONTOUR	H.P. HIGH POINT
NEW CONTOUR	D.S. DOWNSPOUT
WATER MAIN	C.O. CLEANOUT FLUSH WITH GRADE
GAS MAIN	C.B. CATCH BASIN
ELECTRIC	M.H. MANHOLE
TELEPHONE	P.P. POWER POLE
FIRE PROTECTION	L.P. LIGHT POLE
STORM	F.H. FIRE HYDRANT
SANITARY	I.P. INLET PROTECTION
FENCE	C CHANNEL PROTECTION
SILT FENCE	TRACKING PROTECTION
RAILROAD TRACKS	EXIT TO GRADE
SETBACK LINE	CENTER LINE
PROPERTY LINE	CONSTRUCTION LIMIT
	ACCESSIBLE ROUTE

MISCELLANEOUS SYMBOLS

WC	WATER CLOSET	WM	WATER METER
WC/T	WATER CLOSET (TANK)	SS	SAFETY SHOWER
U	URINAL	HB	HOSE BIBB
LAV	LAVATORY	WH	WALL HYDRANT FLOOR DRAIN
SINK	SERVICE SINK	FD	FLOOR DRAIN
DF	DRINKING FOUNTAIN		EXIT LIGHT-WITH DIRECTIONAL ARROW(S)-SHADED AREA INDICATES FACE(S)
EWS	EYE WASH		EMERGENCY LIGHTS
	PROJECTION SCREEN	FE	SEMI RECESSED FIRE EXTINGUISHER
		FE	WALL MOUNTED FIRE EXTINGUISHER



NOTE
If the 4 ft 0 in. preferred dimension cannot be met for type F, the 1:10 slope becomes 1:12 maximum.



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Feb 7th 2024		
PROJECT NO.		
24012		

MEMO

To: Plan Commission

From: Kyle Kearns, Director of Community Development
Lizebeth Edwardsen, Associate Planner

Date: April 29, 2024

RE: **City of Wisconsin Rapids – 24-000276:** Public hearing and action on a request from the City of Wisconsin Rapids to amend Chapter 11-Zoning Ordinance, specifically Appendix C, Zoning Districts and Dimensional Standards, to adjust R-3 district standards for single family uses.

Appendix C of the City’s Zoning Ordinance (Chapter 11) regulates dimensional standards for buildings. The table below summarizes the requirements for the R-3 district.

Dimensional Standards:

Lot Standards	Additional Details	Illustration Symbol	
Lot area, minimum	s. 11.06.102	A	10,000 square feet for two-family; 3,000 square feet per dwelling unit for multi-family
Lot width, minimum	s. 11.06.103	B	75 feet for two-family; 120 feet for multi-family
Street frontage, minimum	s. 11.06.104	C	50 feet for two-family; 85 feet for multi-family
Water frontage, minimum	s. 11.06.105	-	75 feet
Building Setbacks			
Front yard setback, minimum	s. 11.06.106	D	25 feet for principal buildings; 5 feet behind the front face of the principal building for detached accessory building, but not less than 25 feet [1,2,3]
Side yard setback, minimum	s. 11.06.106	E	7 feet on one side and 10 feet on the other for duplexes; 15 feet on each side for buildings with 3 or more dwelling units; 3 feet for detached accessory building
Rear yard setback, minimum	s. 11.06.106	F	20 percent of lot depth for one or two-family principal building; one-half the height or one-half of the depth of the building for multi-family; 3 feet for detached accessory building without an alley; 5 feet for detached accessory building with an alley
Building Standards			
Building height, maximum	s. 11.06.108	-	2 stories, but not more than 35 feet for principal building; 1 story, but not more than 18 feet for detached accessory building
Building coverage, maximum	s. 11.06.109	G	50 percent total; not greater than 500 square feet for detached accessory building (per dwelling unit)
Residential floor area, minimum	s. 11.06.111	-	700 square feet for each dwelling unit; 600 for efficiency
Number of detached accessory buildings, maximum	s. 11.06.115	-	2
Other			
Distance between driveway and property boundary line, minimum	-	H	5 feet
Distance between parking lot and property boundary line, minimum	-	I	5 feet

These dimensional standards ensure that cohesive development occurs within existing and new neighborhoods and to encourage added value due to the required sizes.

A previous amendment in 2023 allowed single family dwellings to become a permitted use in the Multi-Family Medium Density Residential (R-3) District. With this amendment, the dimensional standards were not updated to reflect this change. The current dimensional standards for the Multi-Family Medium Density Residential (R-3) District accommodate medium density housing consisting of multi-family buildings, and townhomes, with 3 to 15 dwelling units. These dimensional standards were not designed for single family uses.

Staff are now proposing to update the dimensional standards to accommodate single family uses, while allowing the current dimensional standards to still apply to multi-family uses. Staff is suggesting the following additions to Appendix C Multi-Family Medium Density Residential (R-3) District Dimensional

Multi-Family Medium Density Residential (R-3) District Dimensional Standards

Dimensional Standards:

Lot Standards	Added Details	Illustration Symbol	
Lot area, minimum	s. 11.06.102	A	7,500 square feet for single-family; 10,000 square feet for two-family (5,000 square feet per lot for twin home); 3,000 square feet per dwelling unit for multifamily
Lot width, minimum	s. 11.06.103	B	75 feet for single family and two-family (combined total for twin home) two-family; 120 feet for multi-family
Street frontage, minimum	s. 11.06.104	C	50 feet for single-family and two-family (combined total for twin home); 75 feet for multi-family
Water frontage, minimum	s. 11.06.105	-	75 feet
Building Setbacks			
Front yard setback, minimum	s. 11.06.106	D	25 feet for principal buildings; 5 feet behind the front face of the face of the principal building for detached accessory building, but not less than 25 feet. [1, 2, 3]
Side yard setback, minimum	s. 11.06.106	E	7 feet on one side and 10 feet on the other for single-family and duplexes; 15 feet on each side for buildings with 3 or more dwelling units; 3 feet for detached accessory building
Rear yard setback, minimum	s. 11.06.106	F	20 percent of lot depth for one or two-family principal building; one-half the height or one-half of the depth of the building for multi-family; 3 feet for detached accessory building without an alley; 5 feet for detached accessory building with an alley
Building Standards			
Building height, maximum	s. 11.06.108	-	2 stories, but not more than 35 feet for principal building; 1 story, but not more than 18 feet for detached accessory building
Building coverage, maximum	s. 11.06.109	G	Single-family and two-family – 40 percent total; not greater than 900 square feet for detached accessory building 50 percent total; not greater than 500 square feet for detached accessory building (per dwelling unit)
Residential floor area, minimum	s. 11.06.111	-	900 square feet, minimum; 800 square feet for duplex per unit; 700 square feet for each dwelling unit; 600 for efficiency

Floor area of attached garage, maximum	s. 11.06.112	-	Single-family and two-family – 50 percent of ground floor living area; the Planning Commission may allow more than 50 percent as a special exception provided the floor area over 50 percent is deducted from the allowable floor area of detached accessory buildings
Number of detached accessory buildings, maximum	s. 11.06.115	-	2
Other			
Distance between driveway and property boundary line, minimum	-	H	5 feet
Distance between parking lot and property boundary line, minimum	-	I	5 feet

4. If the lot width for an existing lot is less than what is required for a single-family, the side yard setback may be reduced proportionately to the ratio between the actual width and the required width, but not less than 75 percent of the required setback.