



**PLANNING COMMISSION
MEETING**
July 6, 2023
4:00 PM

PUBLIC MEETING NOTICE

PLANNING COMMISSION

Mayor Blaser, Chairperson
Ryan Austin, Alderperson
Lee Thao
Eric Daven
Ben Goodreau
Thaddeus Kubisiak
Jeff Marutz

AGENDA ITEM RECIPIENTS

Sue Schill, City Attorney
Erika Esser, Secretary
Jennifer Gossick, City Clerk

Notice is hereby given of a meeting of the Wisconsin Rapids Planning Commission to be held in the Council Chambers at City Hall, 444 West Grand Avenue, Wisconsin Rapids, on **Thursday, July 6, 2023, at 4:00 PM**. The meeting will be streamed live on the City of Wisconsin Rapids Facebook page and will also be broadcast live on Charter Cable Channel 985 and Solarus HD Cable Channel 3. If a member of the public wishes to access this meeting live via Zoom audio conferencing, you must contact the City Clerk at least 24 hours prior to the start of the meeting to coordinate your access. This meeting is also available after its conclusion on the City's Facebook page and Community Media's YouTube page, which can be accessed at www.wr-cm.org. It is possible that members of the Planning Commission may appear remotely via video or audioconferencing for this meeting.

AGENDA

1. Approval of the report from the June 5, 2023, Plan Commission meeting.
2. **23-000484; Badger Land Survey, LLC** – request for a Certified Survey Map to combine two lots at 1811 25th Ave. S. (Parcel ID 3404630 & 3404625) and dedicate right-of-way on 25th Avenue.
3. **23-000500; Keller, Inc.** – request for architectural review for a commercial façade improvement to a principal structure and accessory structure at 4200 8th Street South (Parcel ID 3414135).
4. **23-000465; City of Wisconsin Rapids** – request for a planned development district amendment for a minor alteration to expand a patio area, add a walkway extension, and install a shade sail structure at 220 Third Avenue South (Parcel ID 3402596).
5. **23-000463; City of Wisconsin Rapids** – public hearing and action on a request to amend Chapter 11 – Zoning Ordinance, specifically Article 15 - Fencing, including modifications to various sections including general requirements, dimensional requirements, and fence materials.

6. Adjourn

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at this meeting is not possible due to a disability or other reasons, notification to the city clerk's office at least 24 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the clerk at (715) 421-8200 to request accommodations.

PUBLISH: June 19th and 26th, 2023

NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE that the City of Wisconsin Rapids Planning Commission will hold a **Public Hearing on Thursday, July 6, 2023, at 4:00 PM** within the Council Chambers at City Hall, 444 West Grand Avenue, Wisconsin Rapids. Participation at the public hearing is encouraged. The public can also submit comments prior to the hearing by contacting the Community Development Department at 715-421-8228 or CommunityDevelopment@wirapids.org. The following items will be heard and possibly acted on:

1. Public hearing and action on a request from the City of Wisconsin Rapids to amend Chapter 11-Zoning Ordinance, specifically Article 15 Fencing, including modifications to various sections including general requirements, dimensional requirements, and fence materials.

Further details regarding the specific requests can be obtained within the Community Development Department at City Hall, or by calling the department at 715-421-8228.

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk's office at least 48 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the Clerk at (715) 421-8200 to request accommodations.

Jennifer Gossick,
Wisconsin Rapids City Clerk



City of Wisconsin Rapids
444 West Grand Avenue
Wisconsin Rapids, WI 54495
Ph: (715) 421-8228

REPORT OF THE PLANNING COMMISSION MEETING

June 5, 2023

The Planning Commission met at 4:00 p.m. on June 5, 2023 in the Council Chambers at City Hall. It was also streamed live on the City of Wisconsin Rapids Facebook page and broadcast live on Charter Cable Channel 985 and Solarus HD Cable Channel 3. Members present included Chairperson Shane Blaser, Lee Thao, Jeff Marutz, Ben Goodreau, and Thaddeus Kubisiak; Ryan Austin attended via Zoom. Eric Daven was excused. Others present included Community Development Director Kyle Kearns, Associate Planner Carrie Edmondson, Alderperson Dennis Polach, Alderperson Tom Rayome, and Michael Nelson.

The meeting was called to order at 4:00 p.m.

1. Approval of the report from the May 11, 2023, Plan Commission meeting.

Motion by Goodreau to approve the report from the May 11, 2023 Plan Commission meeting; second by Thao.

Motion carried (6 – 0)

2. **23-000359; Michael Jan Nelson** – action on a request for an amendment to the City's Comprehensive Plan, specifically map 7-2 Future Land Use Map, to reclassify the parcel located at 420 First Avenue South (Parcel ID 3402629) from a Commercial land use classification to a Residential land use classification.

Carrie Edmondson provided background on the proposal and a summary of the request. Staff recommended approval of the amendment to the City's Comprehensive Plan. Ms. Edmondson noted that the public hearing would take place at the Common Council meeting.

Motion by Goodreau to approve the request for an amendment to the City's Comprehensive Plan, specifically map 7-2 Future Land Use Map, to reclassify the parcel located at 420 First Avenue South (Parcel ID 3402629) from a Commercial land use classification to a Residential land use classification; second by Austin.

Motion carried (6 – 0)

3. **23-000359; Michael Jan Nelson** – public hearing and action on a request for a zoning map amendment to rezone the parcel located at 420 First Avenue South (Parcel ID 3402629) from B-3 Neighborhood Commercial District to R-2 Mixed Residential District.

Carrie Edmondson provided a synopsis of the request. Approval was recommended being that it is consistent with the City's Comprehensive Plan and other planning documents.

Public hearing opened at 4:09 p.m.

Speaking in favor: none

Speaking against: none



City of Wisconsin Rapids
444 West Grand Avenue
Wisconsin Rapids, WI 54495
Ph: (715) 421-8228

Public hearing closed at 4:10 p.m.

Thad Kubisiak asked if it would be possible to re-zone the parcel back to B-3 in the future if it were to be requested and Kyle Kearns responded.

Motion by Blaser to approve the request for a zoning map amendment to rezone the parcel located at 420 First Avenue South (Parcel ID 3402629) from B-3 Neighborhood Commercial District to R-2 Mixed Residential District; second by Goodreau.

Motion carried (6 – 0)

4. Adjourn

Motion by Kubisiak to adjourn the meeting; second by Thao.

Motion carried (6 – 0)

Meeting adjourned at 4:13 p.m.

Respectfully Submitted by Erika Esser, Secretary



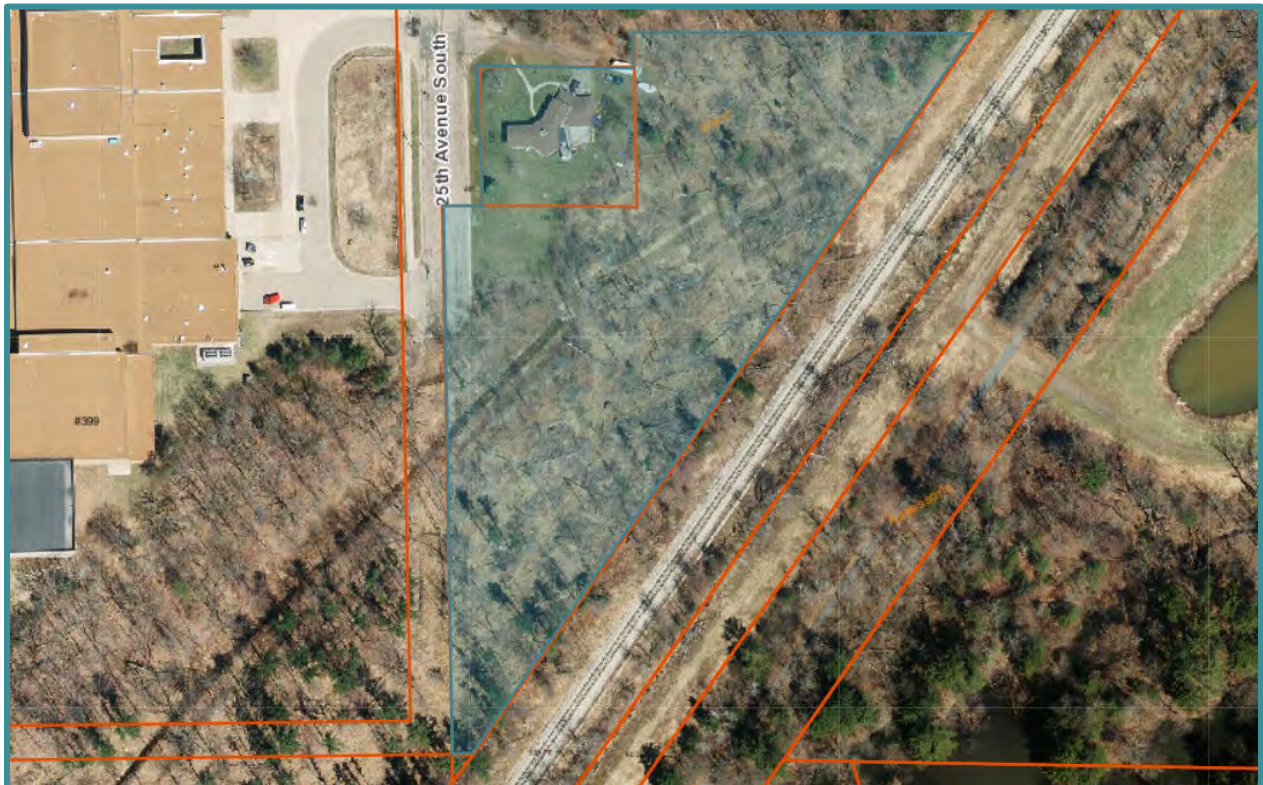
City of Wisconsin Rapids
444 West Grand Avenue
Wisconsin Rapids, WI 54495
Ph: (715) 421-8228

Memo

To: Plan Commission
From: Kyle Kearns, Community Development Director
Carrie Edmondson, Associate Planner
Date: 6/27/2023
Subject: **23-000484; Badger Land Survey, LLC.** – request for a Certified Survey Map to combine two lots at 1811 25th Ave. S. (Parcel ID 3404630 & 3404625), and dedicate right-of-way on 25th Avenue.

The request from Badger Land Survey, LLC. is to combine two lots under the same ownership at the request of the owner. The lot reconfiguration is reviewed and approved administratively, however there is a public land dedication required. The City's Official Street Map requires 25th Avenue South as an 80-foot right-of-way. Therefore, the Engineering Department has required 40 feet of public land dedication from Parcel ID 3404625 along 25th Avenue South to bring the parcel to consistency with the Official Street Map. A vicinity map has been provided below showing the location of the existing lots. Staff would recommend approval of the requested CSM, including public land dedication to meet the 80-foot right-of-way distance.

Vicinity Map





CSM Review Application
City of Wisconsin Rapids, Wisconsin

Page 7 of 53
Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
Ph: (715) 421-8228

Overview: All certified survey maps shall be prepared in accordance with Sections 236.34 and 236.20(5)(a) of the Wisconsin Statutes, and Chapter 12 of the Revised Municipal Code of the City of Wisconsin Rapids. Certified survey maps shall be reviewed by the City Plan Commission within 40 days as described below.

(2) Any division of land other than a subdivision within the city or its extraterritorial plat approval jurisdiction, or which a plat has not been approved and recorded, shall be surveyed and a certified survey map of such division approved and recorded as required by Section 12.09 of this Municipal Code and the Wood County Land Subdivision Ordinance and Chapter 236, Wisconsin Statutes. (MC#1000)

The provisions of this section shall not apply to:

- (a) Transfers of interests in land by will or pursuant to court order.
- (b) Leases for a term not to exceed 10 years, mortgages or easements.
- (c) Combining of two or more adjacent, previously surveyed parcels of land, under the same ownership, placed under one parcel number, for tax assessment purposes only. (MC#1000)

When it is proposed to divide land into two or more parcels, lots, outlots or building sites, or any combination thereof (not requiring a subdivision plat) any of which is five acres or less in size, or when it is proposed to divide a block, lot or outlot into more than two parcels or building sites within a recorded plat, or when it is proposed to combine previously surveyed and recorded parcels with other surveyed or unsurveyed parcels, the subdivider shall utilize a Certified Survey Map prepared in accordance with Section 236.34, Wisconsin Statutes, and this ordinance. In cases where lots are being created from a large tract of land, tracts over twenty acres in size need not be mapped. However, tracts of lands of five acres or less in size shall not be left as unplatted lands. Creation of land-locked parcels shall not be allowed.

General instructions: Complete this application and submit one copy along with the proposed Certified Survey Map to the Zoning Administrator for review. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>.

Application fee: \$50.00 plus \$10.00 per PC number of lots

Application submittal deadline: Applications may be submitted at any time, but are recommended to be submitted two weeks prior to a Plan Commission Meeting. The City Plan Commission meets regularly the first Monday of the month.

OFFICE USE ONLY

Application Number: _____ Fee Paid: \$ _____ Fee Received By: _____ Date Received: _____

Parcel Number: 3404630 + 3404625 Property Address: 1811 25th Ave S

Property Owner / <u>Applicant</u> (circle)		Agent, if any
Name	BADGER LAND SURVEY, LLC	
Street address	2610 WEST GRAND AVE	
City, state, zip code	WISCONSIN RAPIDS, WI 54494	
Daytime telephone	715-424-5900	
E-mail address	kevin@badgerlandsurvey.com	

CSM Number (if any): _____

Description and reason for the proposed Certified Survey Map:

2 into 1

Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

<input type="checkbox"/> RR Rural Residential	<input type="checkbox"/> R-8 Manufactured Home Park	<input type="checkbox"/> M-1 General Industrial
<input type="checkbox"/> R-1 Single family Residential	<input type="checkbox"/> B-1 Downtown Commercial	<input type="checkbox"/> M-2 Heavy Industrial
<input checked="" type="checkbox"/> R-2 Mixed Residential	<input type="checkbox"/> B-2 General Commercial	<input type="checkbox"/> I-1 Institutional
<input type="checkbox"/> R-3 Multi-family Medium Density Residential	<input type="checkbox"/> B-3 Neighborhood Commercial	<input type="checkbox"/> P-1 Park and Recreation
<input type="checkbox"/> R-4 Multi-family High Density Residential	<input type="checkbox"/> B-5 Mixed Use Commercial	<input type="checkbox"/> C-1 Conservancy

Applicant certification

- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner and/or Applicant:

Erin Whipple
Name – print

Erin Whipple
Name – Signature


6/9/23
Date

Name – print

Name – Signature

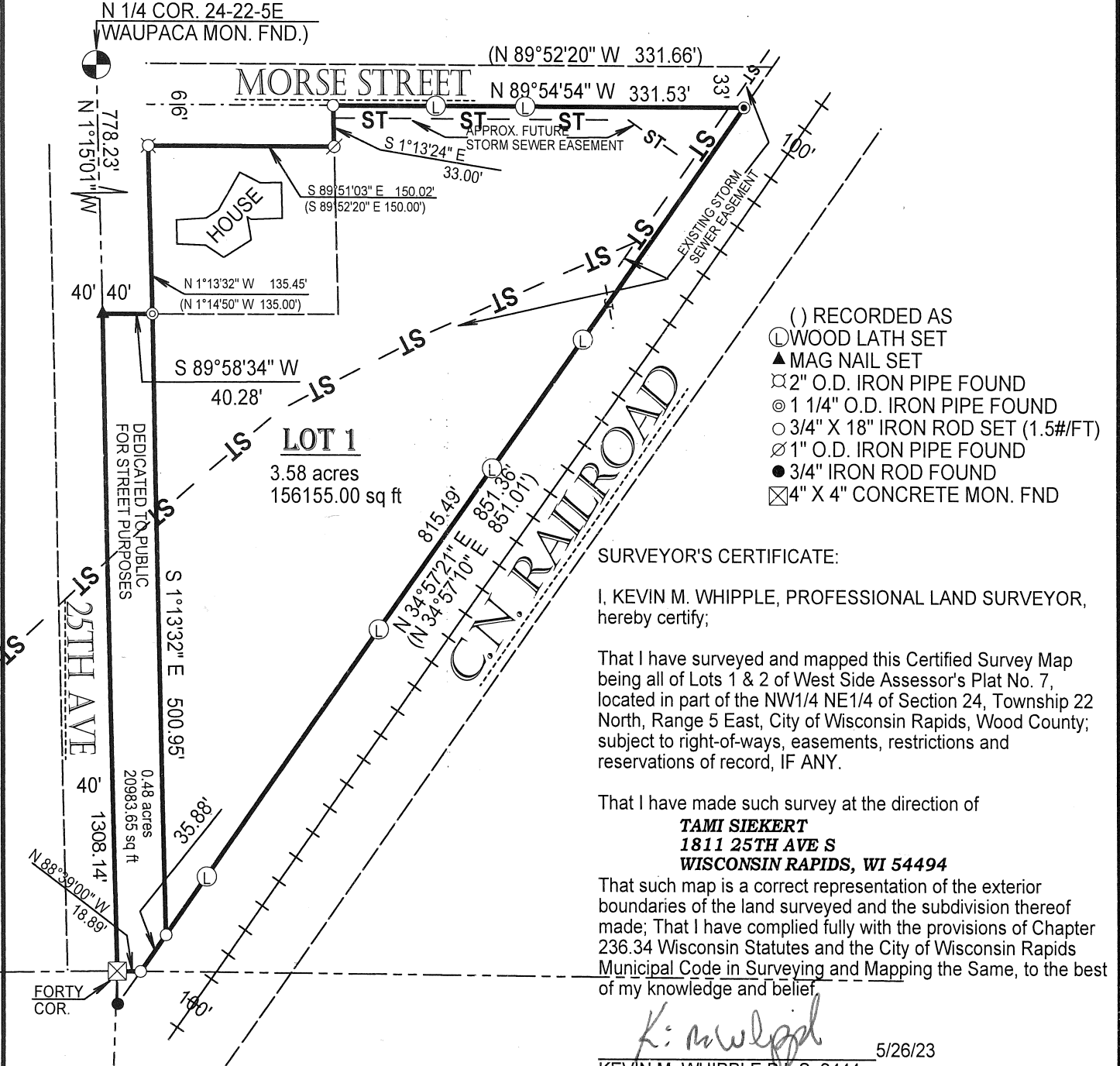
Date

This map DOES NOT transfer property ownership. Sale or transfer of property requires a recorded deed.

 BADGER - LAND SURVEY, LLC 2610 WEST GRAND AVE. WISCONSIN RAPIDS, WI. 54495	PHONE: (715) 424 - 5900 FAX: (715) 424 - 5901 E-MAIL: blsurvey@wctc.net www.badgerlandsurvey.com	PREPARED FOR: TAMI SIEKERT 1811 25TH AVE S WISCONSIN RAPIDS, WI 54494
	IF THE SURVEYORS SEAL IS NOT AED IN COLOR, THIS MAP IS A COPY AND SHOULD BE ASSUMED TO CONTAIN UNAUTHORIZED ALTERATIONS, THE CERTIFICATION DOES NOT APPLY TO COPIES.	DRAWN BY: AP

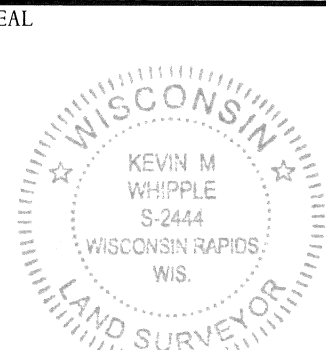
WOOD COUNTY CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOTS 1 & 2 OF WEST SIDE ASSESSOR'S PLAT NO. 7, LOCATED IN PART OF THE NW1/4 NE1/4 OF SECTION 24, TOWNSHIP 22 NORTH, RANGE 5 EAST, CITY OF WISCONSIN RAPIDS, WOOD COUNTY, WISCONSIN.



SHEET 1 OF 2

KEVIN M. WHIPPLE P.L.S. 2444
Drafted By: AUSTIN PLANTE
Field work completed on 5/18/23

BASIS FOR BEARINGS: THE WEST LINE OF THE NW1/4 NE1/4 ASSIGNED A BEARING OF S 1°15'01" E FOR THIS MAP	SCALE: 1" = 120' 0' 60' 120' 240'
There are no objections to this plat with respect to Chapter 12, Municipal Code, and amendments thereto. Certified this _____ day of _____ 20____ PLANNING COMMISSION CITY OF WISCONSIN RAPIDS Secretary * City Engineer	

VOL. _____ PAGE _____

WOOD COUNTY CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOTS 1 & 2 OF WEST SIDE ASSESSOR'S PLAT NO. 7, LOCATED IN PART OF THE NW1/4 NE1/4 OF SECTION 24, TOWNSHIP 22 NORTH, RANGE 5 EAST, CITY OF WISCONSIN RAPIDS, WOOD COUNTY, WISCONSIN.

OWNERS CERTIFICATE OF DEDICATION:

I, TAMI SIEKERT, as owner, hereby certify that I caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on this CERTIFIED SURVEY MAP. I also certify that this plat is required by s. 236.10 or s.236.12 to be submitted to the following for approval or objection.
City of Wisconsin Rapids, Common Council

Witness the hand and seal of said owner's this _____ day of _____ 20__.

TAMI SIEKERT(OWNER)

STATE OF WISCONSIN)SS
WOOD COUNTY)

Personally came before me this _____ day of _____, 20__, the above named owners, to me known to be the persons who executed the forgoing instrument and acknowledge the same.

NOTARY PUBLIC
My commission expires _____

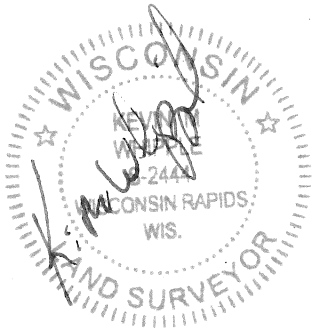
RESOLUTION

Resolved that this CERTIFIED SURVEY MAP, located in the City of Wisconsin Rapids, is hereby approved by the COMMON COUNCIL of the City of Wisconsin Rapids, Wood County, Wisconsin, and is hereby approved.

DATED _____ SIGNED _____
MAYOR

I, hereby certify that the above resolution was adopted by the City of Wisconsin Rapids Common Council at a regular meeting on the _____ day of _____, 20__.

DATED _____ SIGNED _____
CITY CLERK



Administrative Staff Report

Keller, Inc.
Architectural Review
4200 8th Street South
June 27, 2023



<p>Applicant(s):</p> <ul style="list-style-type: none"> Keller, Inc. <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns, Community Development Director Carrie Edmondson, Associate Planner <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3414135 <p>Lot Information:</p> <ul style="list-style-type: none"> Effective Frontage: 134 feet Effective Depth: 218 feet Square Footage: 54,839 Acreage: 1.259 Acres <p>Zone(s):</p> <ul style="list-style-type: none"> "B-2" General Commercial District <p>Council District:</p> <ul style="list-style-type: none"> District 7 - Delaney <p>Master Plan:</p> <ul style="list-style-type: none"> Commercial <p>Current Use:</p> <ul style="list-style-type: none"> Financial Services and Drive-up Service Window <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 - Zoning 	<p>Request</p> <p>23-000500; Keller, Inc. – request for architectural review for a commercial façade improvement to a principal structure and accessory structure at 4200 8th Street South (Parcel ID 3414135)</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Application Building Renderings Site Plan <p>Findings of Fact</p> <ol style="list-style-type: none"> The project is to remove and replace the existing façade (all sides) with new materials. Additionally, façade improvements (all sides) to the drive-through kiosk are proposed. The new building façade is primarily constructed out of stone veneer, ACM panels, wood siding, and timber accents. The existing brick will remain. The new drive through kiosk façade will include complementary materials. The property is zoned "B-2" General Commercial District. Financial services and drive-up service window uses are permitted in the B-2 District A building plan – architectural review (AR), plan of operation (PO), site plan (SP), and zoning permit (ZP) are required. <p>Staff Recommendation</p> <p>Approve the request from the applicant for architectural review to construct a new building and drive through kiosk façade at 4200 8th Street South (Parcel ID 3414135)</p> <p>subject to the following condition(s):</p> <ol style="list-style-type: none"> Cut-off lighting fixtures shall be used for the west and south elevation façades. Light from the business shall not exceed 0.2 foot-candles at a neighboring commercial property lines. Any landscaping destroyed as a result of project construction shall be replaced with comparable materials. Applicable permits through the City shall be obtained. Community development staff shall have the authority to approve minor modifications to the plans.
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Vicinity Map



Site Photos

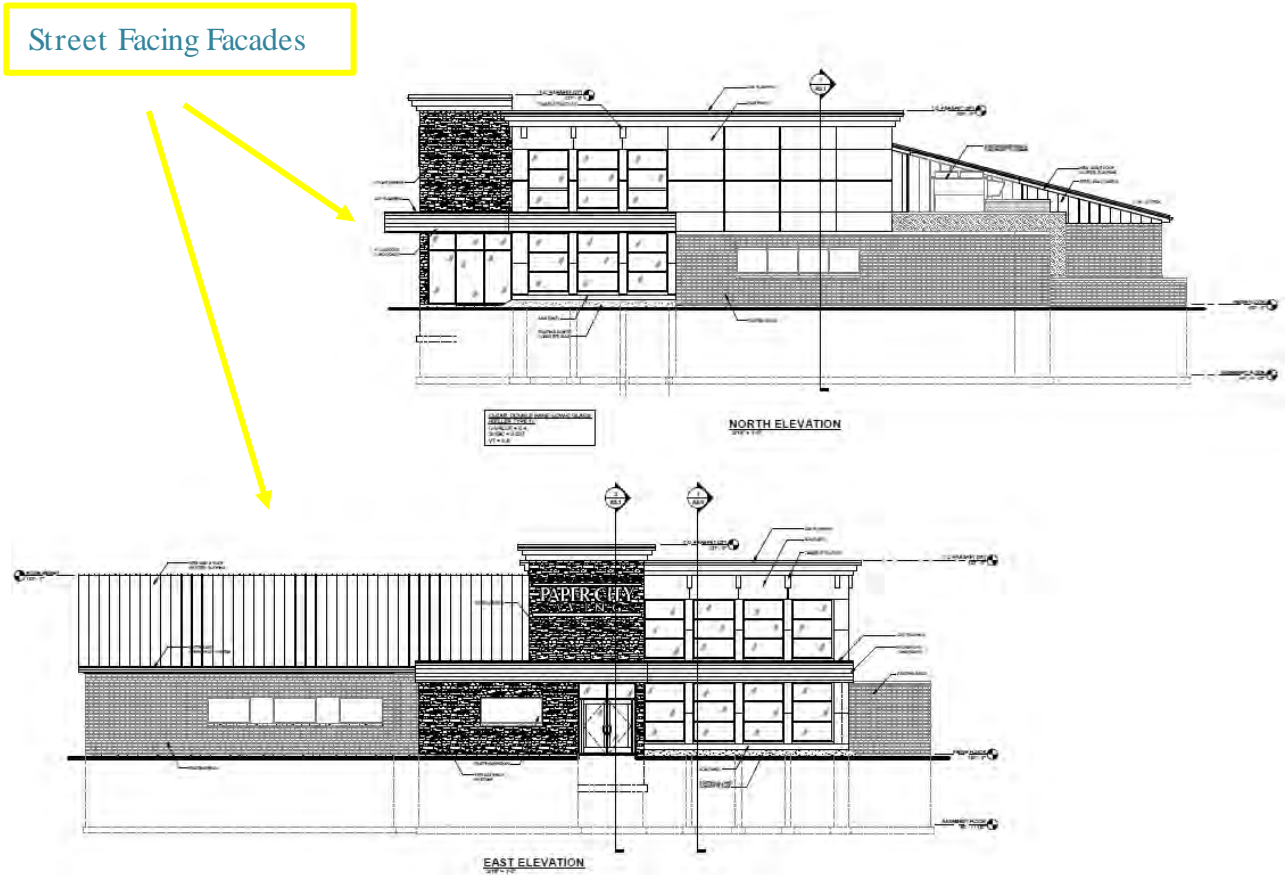


Background

Paper City Savings has a long-standing history of business operation in the City of Wisconsin Rapids and is proposing to construct a new façade for all building sides. In addition, a complementary façade improvement is planned for the existing drive-through kiosk located on the western portion of the site. No additional site improvements are proposed in conjunction with the proposal. Therefore, Plan Commission will be performing only an architectural review of the proposal.



Per Section 11.05.115 Basis of decision for architectural review, the review authority shall determine whether the building complies with all applicable provisions of this chapter (Chapter 11 – Zoning). A full analysis of these standards in relation to the proposed project is described in greater detail below:



Architectural Standards of Review

1) Use

Analysis: A financial services use and a drive-up service window use are permitted in the B-2 District. The uses exist currently, and the principal building and accessory building are undergoing extensive remodeling.

Findings: Note that a building plan – architectural review (AR) and zoning permit (ZP) are required.

2) Dimensional Standards

Analysis: The B-2 district requires 10,000 square feet, and the lot is 54,839 square feet. The building footprint is not proposed to be expanded. The building coverage ratio is 15 percent meeting the 60 percent maximum permitted and impervious surface is approximately 77.9 percent which meets the 80 percent maximum permitted. The finished building height to the top of the parapet is 27 feet, meeting the maximum allowed height of 45 feet. The accessory structure is 13 feet 3 inches in height, meeting the maximum allowed height of 15 feet. The existing building and accessory building are both nonconforming structures as minimum setback distances do not appear to be met along Dove Avenue.

Findings: The existing structures are nonconforming and future additions would be required to meet existing dimensional requirements. However, no expansion is proposed at this time.

3) Ingress/Egress

Analysis: The existing driveways on Dove Avenue to access the eastern bank parking lot will remain. In addition, the two existing points of two-way ingress and egress from Dove Avenue to access the drive through kiosk and western parking lot will remain.

Findings: Driveway standards are met, as the proposed improvements do not change ingress/egress to the site. Staff would suggest that a pedestrian crosswalk be installed from the western parking lot to the bank entrance for employee and customer safety to be consistent with the following supplemental standard for a drive-up service window:

“(a) Crosswalks. A pedestrian crosswalk shall be marked on the pavement when the lane for a drive-up service window is situated between on-site parking and a building entrance.”

4) Parking

Analysis: The use requires 1 parking space for each 300 square feet of gross floor area. Therefore, the approximately 7,747 square foot building would require 26 stalls. At present, there are a total of 39 parking stalls. A total of two ADA approved accessible parking stalls are required. There is one marked ADA approved accessible parking stall.

Findings: The existing configuration is sufficient to meet parking requirements. However, ADA accessibility requirements are not met. Current requirements, including accessibility, would be required to be met in the case that parking lot reconstruction is proposed.

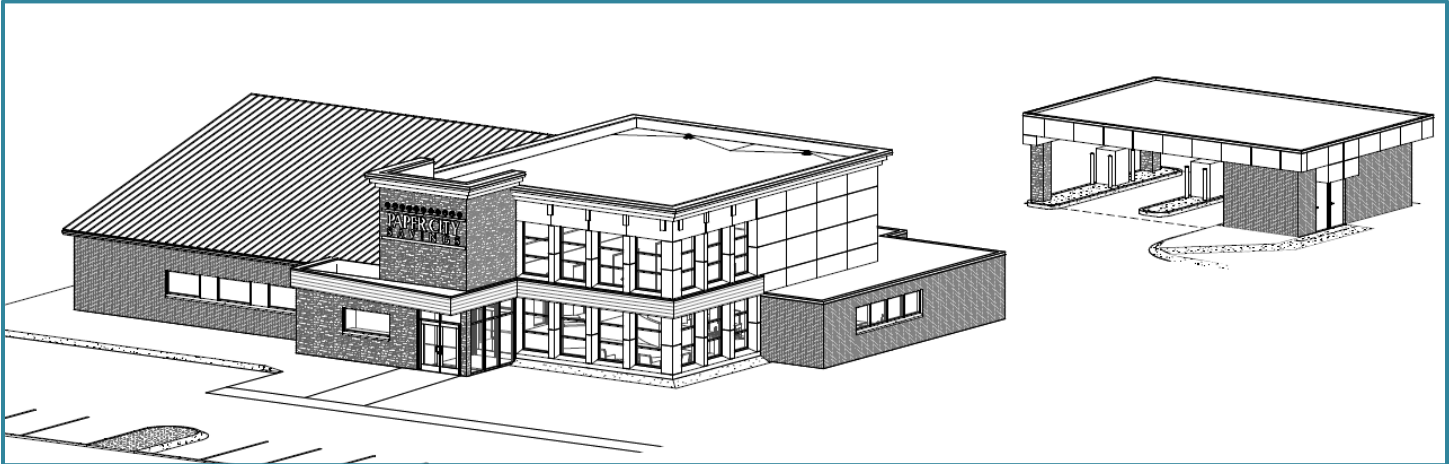
5) Landscaping

Analysis: Chapter 11 – Zoning requires that landscape standards be met with construction of a principal building, expansion of a principal building by more than 500 square feet, or expansion of a parking area. Therefore, landscape requirements do not apply for this project.

Findings: No landscape requirements apply for this project as proposed. However, staff has added a condition requiring that any landscaping destroyed as a result of project construction shall be replaced with comparable plantings.

6) Architectural Review

Analysis: Renderings have been submitted, showing façade elements of stone veneer, aluminum composite metal (ACM) panels, 6 inch V-Groove Longboard siding, and timber structure accents. The existing brick will be retained. A new steel gable roof is proposed. These façade elements will be carried through to the accessory structure that houses the drive-through kiosk.



Findings: From an architectural standpoint, the façade improvements as proposed will significantly improve the aesthetic appeal of the bank building and drive-through kiosk. They will create a more attractive and inviting element from 8th Street South. The two street facing facades include well over the required 50 percent finished façade requirements. Additionally, the variation in recesses and protrusions both vertically and horizontally create interest and dimension. This will be a substantial overall aesthetic improvement within a critical City corridor.

7) Lighting & Photometric Plan

Analysis: Regulations for onsite lighting are related to light trespass (foot-candles) beyond the property line and total lighting levels (lumens). Lighting from the business use should not exceed 0.2 foot-candles at a neighboring commercial property lines.

Findings: The exterior façade improvements will likely not create a large amount of light, and therefore an updated lighting plan may not be required. A condition has been added requiring cut-off lighting fixtures for the south and west elevation, and that the lighting from the business not exceed 0.2 foot-candles at a neighboring commercial property lines.

In summary, the proposed façade improvements to both the building and drive-through kiosk will provide a much needed update and will provide a substantially improved aesthetic on the site. This is a key commercial corridor within the City and this architectural update at a focal corner will help to elevate the overall aesthetics of the corridor. Therefore, staff would recommend approval of the architectural review, subject to the items mentioned above and summarized on page one of the staff report.



Site Plan & Plan of Operation Application
City of Wisconsin Rapids, Wisconsin
 Version: January 3, 2019

Community Development Department
 444 West Grand Avenue
 Wisconsin Rapids, WI 54495-2780
 P: (715) 421-8228 Fax: (715) 421-8291

Overview: The Planning Commission reviews site plans and plans of operation for those land uses specifically requiring such review as listed in the land-use matrix (Appendix A of the zoning code).

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

Application fee: \$175.00 for new; \$125.00 for amendment of prior approval

Note. Site plan/plan of operation review and architectural review can be combined into one application fee.

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Office Use Only

Date Received 6/15/23
 Received By CE
 Fee \$175.00
 Case # 23-000500
 Aldermanic District 7-Delaney
 Plan Commission Date 7/6/23

1. Applicant information

Applicant name Keller, Inc
 Street address 224575 Lilac Ave.
 City, state, zip code Wausau, WI 54401
 Daytime telephone number 715-849-3141
 Email vnystrom@kellerbuilds.com

2. Agent contact information Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	<u>Agent 1</u>	<u>Agent 2</u>
Name	<u>Vern Nystrom</u>	
Company	<u>Keller, Inc.</u>	
Street address	<u>224575 Lilac Ave.</u>	
City, state, zip code	<u>Wausau, WI 54401</u>	
Daytime telephone number	<u>715-445-1117</u>	
Email	<u>vnystrom@kellerbuilds.com</u>	

3. Type of application (check all that apply)

- ☒ Site plan Complete Part A, B and D
- ☐ Plan of operation Complete Part A, C and D
- ☐ New project
- ☐ Amendment of prior approval (if any)

If an amendment, the date of last approval (if any) _____

Part A. About the Property

4. Subject property information

Physical address 4200 8th St. S. Wisconsin Rapids, WI 54494

Parcel number(s) 3414135

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

☒ No

☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

☒ No

☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

The subject property is located in the following base zoning district(s). (check all that apply)

☐ RR Rural Residential

☐ R-1 Single-family Residential

☐ R-2 Mixed Residential

☐ R-3 Multi-family Medium Density Residential

☐ R-4 Multi-family High Density Residential

☐ R-8 Manufactured Home Park

☐ B-1 Downtown Commercial

☒ B-2 General Commercial

☐ B-3 Neighborhood Commercial

☐ B-5 Mixed Use Commercial

☐ M-1 General Industrial

☐ M-2 Heavy Industrial

☐ I-1 Institutional

☐ P-1 Park and Recreation

☐ C-1 Conservancy

The subject property is also located in the following overlay zoning district(s). (check all that apply)

☐ Planned Development (PDD)

☐ Downtown Design

☐ Shoreland

☐ Shoreland-Wetland

☐ Floodplain

☐ Wellhead Protection

Part B. Site Plan (See the standards and requirements in Division 6 of Article 6.)

6. Building type. Which of the following building types best describes the building?

☐ Townhouse

☐ Multi-family

☐ Institutional

☒ Commercial

☐ Work/live

☐ Industrial

☐ Parking structure

Please refer to Appendix D for any design requirements that may apply.

7. Encroachments.

Aside from driveways connecting to the street, will any part of the proposed project encroach into a public right-of-way?

- ☒ No
☐ Yes

If yes, please explain.

8. Site parameters (area in square feet or acres)

Subject property 1.2625 acres
 Building coverage 8435 SF
 Outdoor storage _____
 Stormwater facilities _____
 Impervious surfaces _____
 Landscaping and other undeveloped areas _____
 Wetlands N/A
 100-year floodplain _____

Impervious surfaces include buildings, parking areas and driveways, sidewalks, decks, patios, and other types of 'hard' surfaces.

Attach appropriate documentation if there are any wetlands.

9. Street access

Name	New Access	Change to Existing Access	No Change to Existing Access
Dove Ave.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

10. Traffic generation

Will the proposed project create 500 trips per day or more?

- ☒ No
☐ Yes Attach a traffic impact report to this application. See s. 11.06.151 of the zoning code for additional details.

Will the proposed project create 300 trips per day or more, but less than 500?

- ☒ No
☐ Yes The city may require a traffic impact report as described in s. 11.06.151 of the zoning code. Please contact the Community Development Department for further guidance

11. Parking (See the standards and requirements in Article 17 of the zoning code.)

Minimum number of required spaces

Calculate for each 300 sq ft of gross area of parking

See Appendix B of the zoning code for parking requirements for the proposed land users.

Proposed number of spaces

66

If the number of proposed spaces exceeds what is required by more than 15 percent, the Planning Commission may grant a special exception to allow oversized parking areas. (See s. 11.17.03(r) of the zoning code.)

ADA van accessible spaces

1

Other ADA accessible spaces

Number of electric charging stations (if any)

-

Charging stations are not required, but are recommended.

Bicycle parking spaces

-

Bike parking is not required, but is recommended. (See s. 11.17.06 of the zoning code.)

Number of spaces in front of the building

18

The number of spaces in front of the building may be limited depending on the zoning district. (See Appendix C of the zoning code.)

Number of spaces on the side(s) of the building

-

Number of spaces to the rear of the building

48

12. Outdoor lighting (See the standards and requirements in Article 18 of the zoning code.)

	Number of Fixtures	Lumens
Building 1		
Building 2	-	-
Building 3	-	-
Parking lot 1		
Parking lot 2		
Parking lot 3		
Other	-	-
Other	-	-
Total		

Maximum lighting levels at each property boundary line (in footcandles):

Attach a photometric plan to this application along with manufacturer's cut sheets for the different kinds of light fixtures.

Height of parking lot lights above grade (if any):

-

13. Fencing. Will the proposed project include fencing?

☒ No

☐ Yes (See Article 15 of the zoning code for the standards and requirements that apply.)

If yes, please describe and/or attach a fencing plan.

14. Stormwater. Describe how stormwater generated on the site will be handled.

scuppers and downspouts for roof drainage tied to storm sewers. Commercial grade gutters and downspouts are included. Surfaced drained. Provide roof drains at both main building roof and canopy roof as required.

15. **Site plan.** Attach a site plan drawn to scale with the following information to the extent it applies to the proposed project. The items with an asterisk are required. Check those elements that are included.

Background Project Information	Buildings and Outdoor Storage/Activity Areas	Transportation Facilities (existing and proposed)
<input type="checkbox"/> Project name*	<input type="checkbox"/> Existing and proposed	<input type="checkbox"/> Streets
<input type="checkbox"/> Applicant name*	<input type="checkbox"/> Existing within 50 feet of subject property	<input type="checkbox"/> Driveways and road access onto public and private roads
<input type="checkbox"/> Preparation date/revision*	Required Setbacks	<input type="checkbox"/> Sidewalks and trails
<input type="checkbox"/> Name of preparer*	<input type="checkbox"/> Yard setbacks (front, side, rear and shore)	<input type="checkbox"/> Fire lanes (i.e. fire apparatus access)
	<input type="checkbox"/> On-site septic systems	<input type="checkbox"/> Clear visibility triangles (location and dimensions)
Survey Information	<input type="checkbox"/> On-site wells and off-site wells within 10 feet of the perimeter of the subject property	On-Site Parking (existing and proposed)
<input type="checkbox"/> North arrow and graphic scale*	Landscaping Features (existing and proposed)	<input type="checkbox"/> Access drives and parking spaces by size
<input type="checkbox"/> Address of subject property or legal description*	<input type="checkbox"/> Fences, buffers, and berms	<input type="checkbox"/> Location of accessible parking spaces
<input type="checkbox"/> Property boundaries*	<input type="checkbox"/> Paved and impervious surfaces by type	<input type="checkbox"/> Location and specifications/dimensions for accessibility ramps
<input type="checkbox"/> Acreage of subject property*	<input type="checkbox"/> Site amenities (benches, fountains, etc.)	<input type="checkbox"/> Type and location of on-site parking signs and traffic control signs
Project Development Information	<input type="checkbox"/> Existing trees and other prominent vegetation	<input type="checkbox"/> Surface materials for parking lot (e.g., concrete, bituminous concrete, pavers)
<input type="checkbox"/> Land use summary table by density/intensity and acreage*	<input type="checkbox"/> Trees/shrubs to be planted, including a plant list and specs	<input type="checkbox"/> Snow storage areas
<input type="checkbox"/> Easements/right-of-way (location, width, purpose, ownership)	<input type="checkbox"/> Trees/shrubs to be retained	<input type="checkbox"/> Areas designated for queuing of vehicles for drive-through facilities (e.g., car washes, drive-up service windows, etc.)
<input type="checkbox"/> Common areas/conservation areas (location, purpose, ownership)	Outdoor Lighting (existing and proposed)	<input type="checkbox"/> Pedestrian walks between the parking lot and the building
<input type="checkbox"/> Land to be dedicated to the public (boundaries, area, purpose)	<input type="checkbox"/> Location	<input type="checkbox"/> Designated areas of a parking area for pedestrian walks
Setting	<input type="checkbox"/> Fixture specifications	<input type="checkbox"/> Loading lanes and loading docks
<input type="checkbox"/> Property boundaries within 50 feet of the subject property	Stormwater Facilities (existing and proposed)	<input type="checkbox"/> Stormwater drainage
<input type="checkbox"/> Land uses within 50 feet of the subject property	<input type="checkbox"/> Location	<input type="checkbox"/> Distance between parking areas and adjoining properties if less than 20 feet
<input type="checkbox"/> Zoning district boundaries within 50 feet of the subject property	<input type="checkbox"/> Specifications for each facility	<input type="checkbox"/> Areas designated for bicycle parking
<input type="checkbox"/> Municipal boundaries within 50 feet of the subject property	Utilities (existing and proposed)	Signs (existing and proposed)
<input type="checkbox"/> Ground contours when slopes exceed 8 percent	<input type="checkbox"/> Location	<input type="checkbox"/> Location
<input type="checkbox"/> Wetlands	<input type="checkbox"/> Type (sewer, telephone, etc.) (buried or overhead, if applicable)	<input type="checkbox"/> Specifications for each sign including type, height, dimensions, lighting, and other factors considered during the review process
<input type="checkbox"/> Woodlands	<input type="checkbox"/> Size/capacity, if applicable	
<input type="checkbox"/> Wildlife habitat, including critical wildlife habitat		
<input type="checkbox"/> Environmentally sensitive features		
<input type="checkbox"/> Water resources (rivers, ponds, etc.) and ordinary high-water mark for navigable waters		
<input type="checkbox"/> Floodplain boundaries and elevations of the same		

Part C. Plan of Operation

16. Operating conditions

Hours of operation.

Estimated number of full-time employees

Estimated number of part-time employees

Maximum number of employees onsite at peak hours

Will the proposed business operation create any noise outside of the building?

Refer to s. 11.06.147 of the zoning code.

Will the proposed business operation create any emissions (e.g., fumes, smoke, steam, vapor, dust) to the atmosphere?

Refer to s. 11.06.148 of the zoning code.

Will the proposed business operation create any vibrations outside of the building?

Refer to s. 11.06.149 of the zoning code.

Will the proposed business operation involve any explosives or other flammable materials?

Refer to s. 11.06.150 of the zoning code.

Will the proposed business operation involve any radioactive materials?

Will the proposed business operation create special needs for wastewater disposal?

Will the proposed business operation require unusually high levels of public water?

17. Licensing. What kind of federal, state, county or city licensees will be required to operate the proposed business?

Part D. Other

18. Attachments List any attachments included with your application.

Plan Set

19. Other information You may provide any other information you feel is relevant to the review of your application.

20. Mandatory meeting with staff

When did you meet with the Community Development Director?

Month/year

21. Applicant certification

- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Paper City Savings Assoc.
Name - print Fred Siemens

Vern Nystrom

Name - print

[Signature]
Name - Signature

[Signature]
Name - Signature

6/15/23
Date

6/15/23

Date



PAPER CITY SAVINGS

WISCONSIN

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PROJECT MANAGER:	
V. NYSTROM	
DESIGNER:	
R. LINDSTROM	
DRAWN BY:	
ACM	
EXPEDITOR:	
SUPERVISOR:	
PRELIMINARY NO:	
P22350	
CONTRACT NO:	
DATE:	
01.10.2023	
SHEET:	
C1.0	

PRELIMINARY - NOT FOR CONSTRUCTION

SHEET INDEX

- C1.0 CONCEPTUAL SITE PLAN
- EX1.0 EXISTING BASEMENT FLOOR PLAN
- EX1.1 EXISTING FIRST FLOOR PLAN
- EX1.2 EXISTING DRIVE-THRU KIOSK FLOOR PLAN & ELEVATIONS
- EX2.0 EXISTING BUILDING ELEVATIONS
- EX2.1 EXISTING BUILDING ELEVATIONS
- A1.0 BASEMENT FLOOR PLAN
- A1.1 FIRST FLOOR PLAN
- A1.2 DRIVE-THRU KIOSK FLOOR PLAN & ELEVATIONS
- A2.0 BUILDING ELEVATIONS
- A2.1 BUILDING ELEVATIONS
- A3.0 BUILDING CROSS SECTION
- A3.1 BUILDING SECTIONS
- S3.0 FOUNDATION PLAN
- S3.1 FLOOR FRAMING PLAN
- S3.2 ROOF FRAMING PLAN
- S3.3 RETRO-ROOF FRAMING PLANS
- S4.0 STRUCTURAL ELEVATIONS
- S4.1 STRUCTURAL ELEVATIONS
- S4.2 STRUCTURAL ELEVATIONS
- S5.0 SUBSTRUCTURE FRAMING DETAILS

BUILDING & FIRE AREA SQUARE FOOTAGES

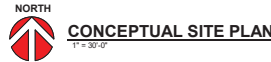
FLOOR AREAS	EXISTING	NEW	SUB-TOTAL
SECOND FLOOR	---	S.F.	---
FIRST FLOOR	8,435 S.F.	---	---
CANOPIES - COLUMN SUPPORTED	---	S.F.	---
BASEMENT	8,435 S.F.	---	---
BUILDING AREA SUB-TOTALS	16,870 S.F.	---	---
MEZZANINES	---	S.F.	---
FIRE AREA TOTALS	16,870 S.F.	---	---

BUILDING CODE ANALYSIS

- PROJECT ADDRESS
4200 8th St. S, Wisconsin Rapids, WI, 54484
- APPLICABLE CODES
2015 International Building Code (w/ WI Amendments)
ASHRE Standard 90.1-2013
2015 IBC (Level 3 Alteration)
- OCCUPANCY
B-Business
S1 - Moderate Hazard Storage
Accessory Use
None
Incidental Use
None
High-Piled Combustible Storage
Hazardous Materials
Single Control Area
NO
NO
- HEIGHT & AREA
Building Height: 27'-0"
Number of Stories: 2
Total Building Area: 16,870 S.F.
Total Fire Area: 16,870 S.F.
Mixed Occupancies
Unlimited Area Building
NO
Maximum Allowed: 40'-0"
Maximum Allowed: 2
Maximum Allowed: 28,124 S.F. (14,062 S.F. Per Floor)
Maximum Allowed: 28,124 S.F. (14,062 S.F. Per Floor)
- CONSTRUCTION TYPE
Construction Classification
Fire Separation Distance
VB
10'-0" South Wall
- FIRE PROTECTION SYSTEMS
Assumed Sprinkler Type
Fire Alarm System
NFPA-13 - BASEMENT ONLY
NO
- MEANS OF EGRESS
Occupant Load: 150
Panic Hardware: NO
- STRUCTURAL DESIGN
Risk Category
Live Loads
Roof Live Load
Second Floor/Mezz Live Load
Collateral Load
Snow Load
Ground Snow Load
Exposure Factor
Thermal Factor
Wind Loads
Wind Load
Exposure Category
Earthquake Loads
Seismic Site Class
II
20 psf
60 psf
14A psf
50 psf
1.0
115 MPH
B
D
- PLUMBING SYSTEMS
Mens WC Required
Womens WC Required
Drinking Fountain
Other Source
2
2
2
YES
- MECHANICAL SYSTEMS
NO SINGLE PIECE OF EQUIPMENT OVER 400,000 BTU
NO BOILERS OVER 15 psf AND 10 HORSEPOWER

SITE INFORMATION

- SITE CONTENT
Building Size
Hard Surface
Green Space
Paved Size (Approx.)
Parking Provided
Area of Disturbance
--- S.F.
--- S.F.
--- S.F.
--- S.F.
--- Stalls
--- S.F.
- ZONING
Property Zoning
Setbacks
Hard Surface Setback
Coverage Limit
Greenpace Requirement
Parking Required
Refuse Enclosure
RTU SCREENING
FY... SY... RY...
---%
---%
---%
---%
--- Stalls
YES/NO
YES/NO



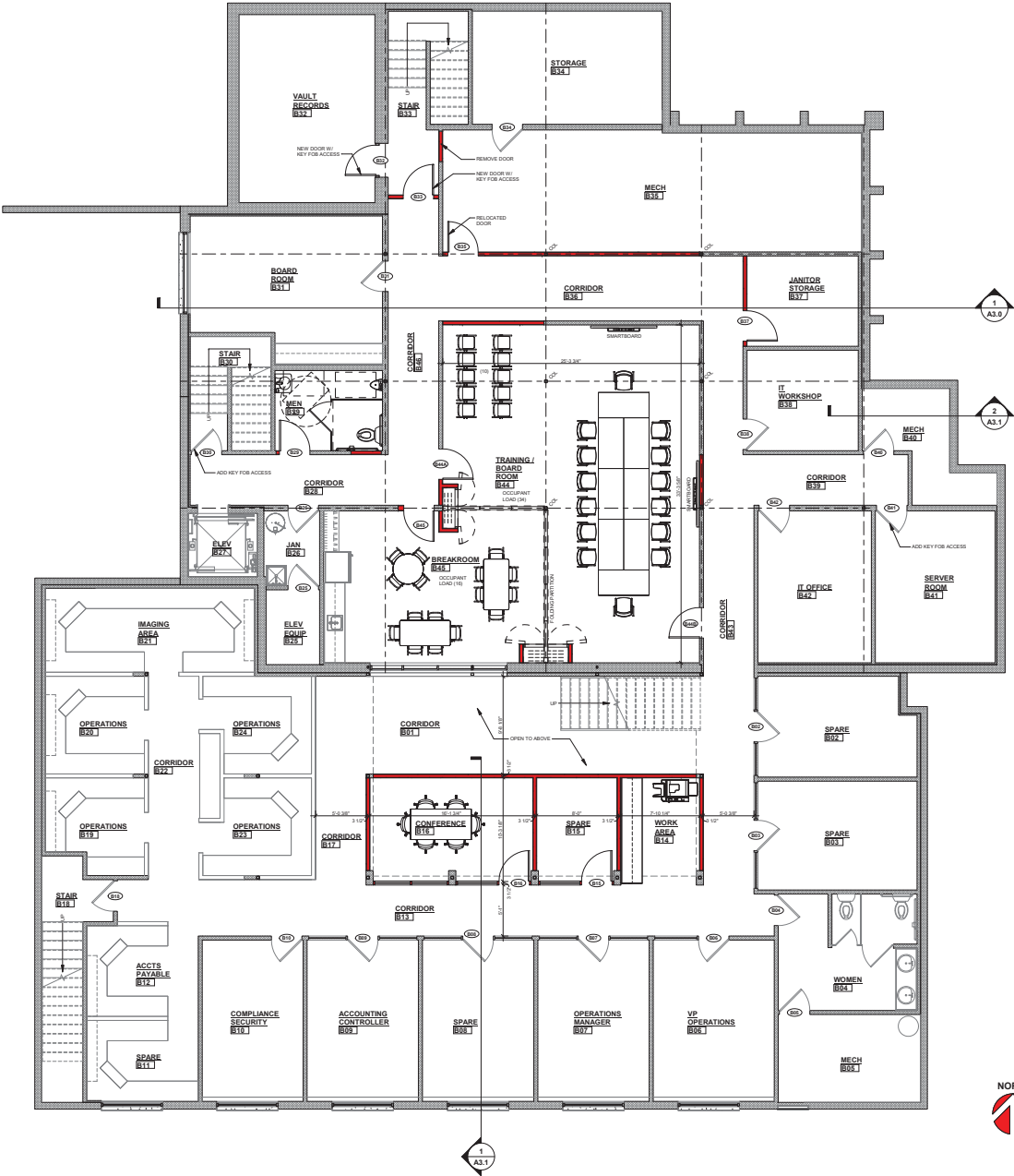
THE LOT DIMENSIONS AND BEARINGS SHOWN ON THIS PLAN ARE INTERPRETED VALUES. FOLLOW UP INVESTIGATION WITH STATE AND LOCAL AUTHORITIES AND/OR WITH CERTIFIED SURVEY MAP DATA WHEN AVAILABLE IS REQUIRED.

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WISCONSIN



Keller
PLANNING | ARCHITECTURE | ENGINEERING

5500 WISCONSIN AVENUE
SUITE 200
MILWAUKEE, WI 53222
TEL: 414.224.1000
WWW.KELLER-USA.COM

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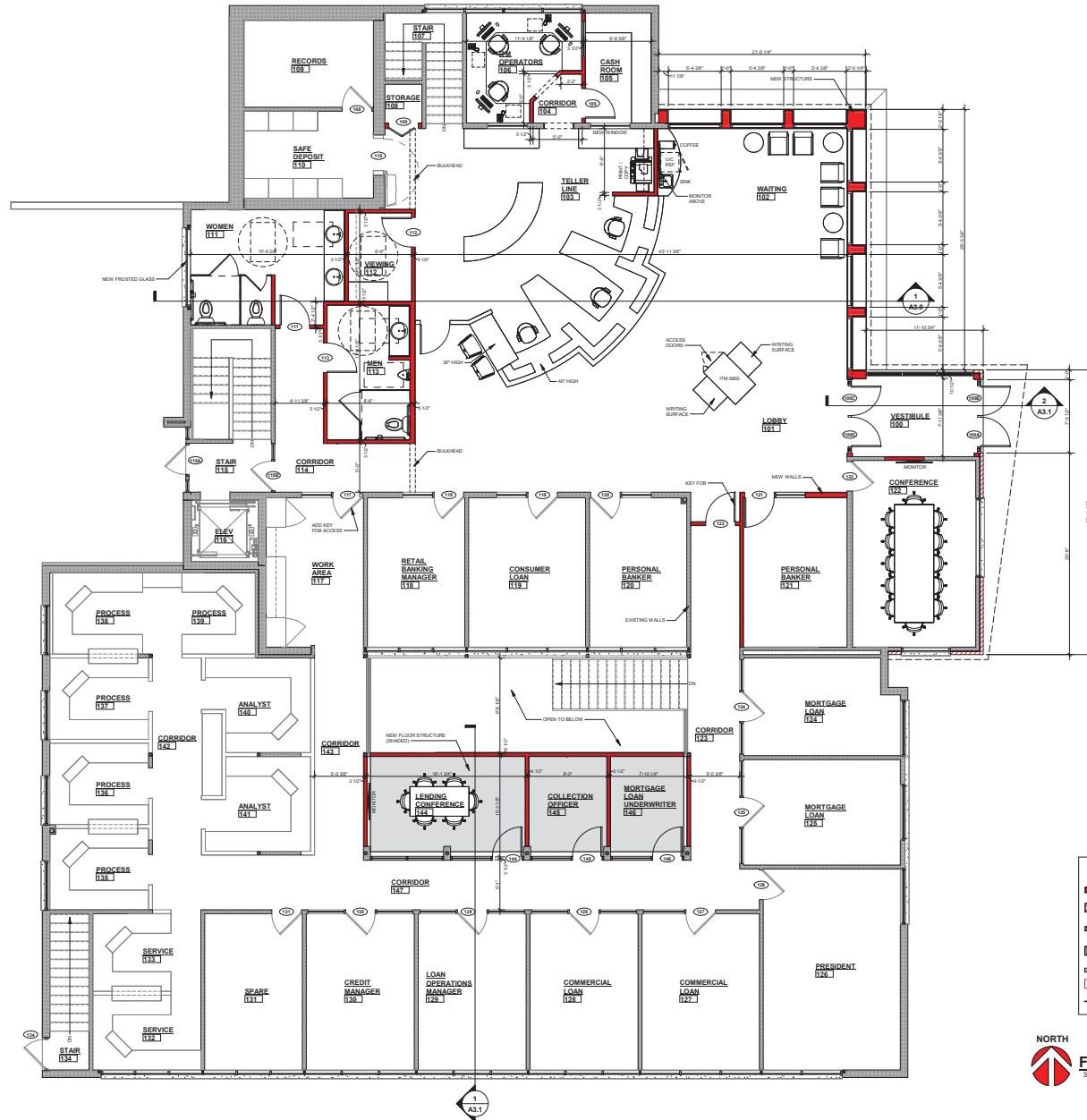
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PROJECT MANAGER: V. NYSTROM
DESIGNER: R. LINDSTROM
DRAWN BY: ACM
EXPEDITOR: _____
SUPERVISOR: _____
PRELIMINARY NO: P22350
CONTRACT NO: _____
DATE: 01.10.2023
SHEET: **A1.0**

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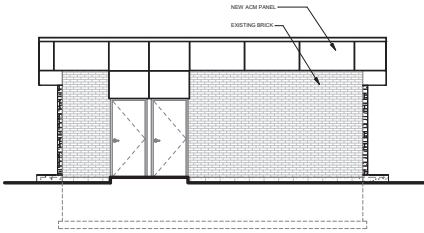
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DRAWN BY:
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EXPEDITOR:

SUPERVISOR:

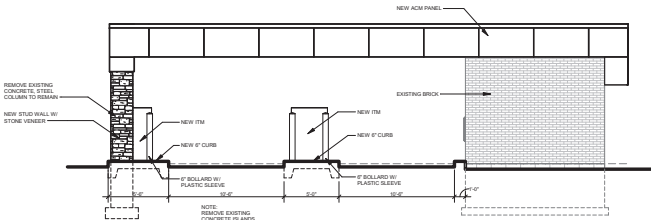
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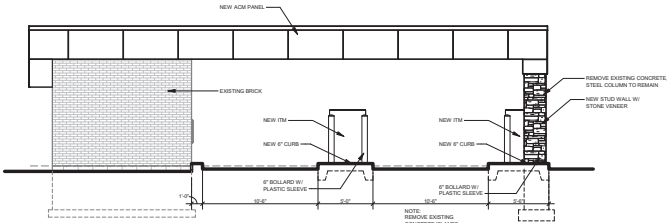
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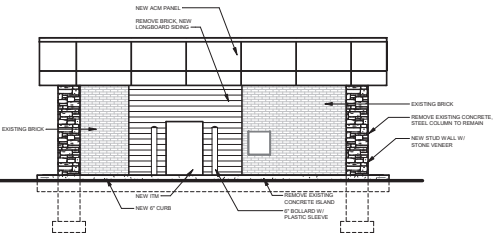
EXISTING NORTH ELEVATION
3/16" = 1'-0"



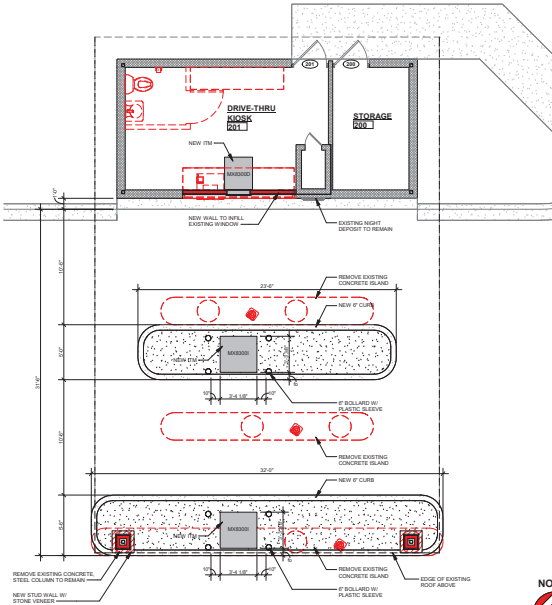
EXISTING EAST ELEVATION
3/16" = 1'-0"



EXISTING WEST ELEVATION
3/16" = 1'-0"



EXISTING SOUTH ELEVATION
3/16" = 1'-0"



WALL KEY	
[Solid Red]	NEW WALL/FURRING
[Red with Diagonal Lines]	NEW MASONRY/VENEER WALL
[Blue with Diagonal Lines]	NEW COOLER/FREEZER WALLS
[Solid Grey]	NEW FOUNDATION WALL
[Dashed Red]	TYPICAL EXISTING WALL
[Red with Dots]	DEMO WALLS
[Red with X]	FIRE WALL OR FIRE BARRIER

NORTH
DRIVE-THRU KIOSK FLOOR PLAN
3/16" = 1'-0"



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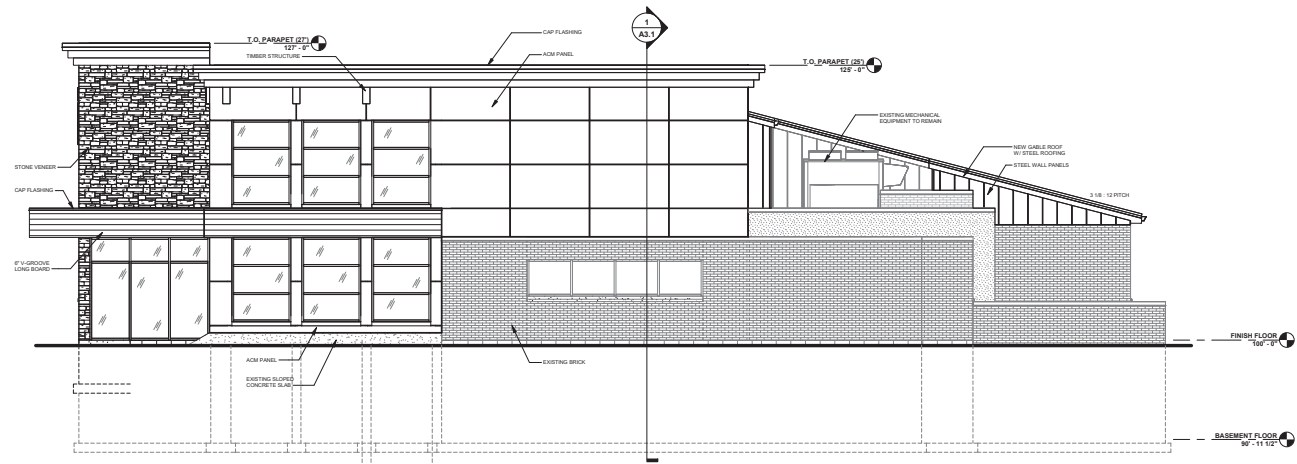
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R. LINDSTROM
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ACM
EXPEDITOR:

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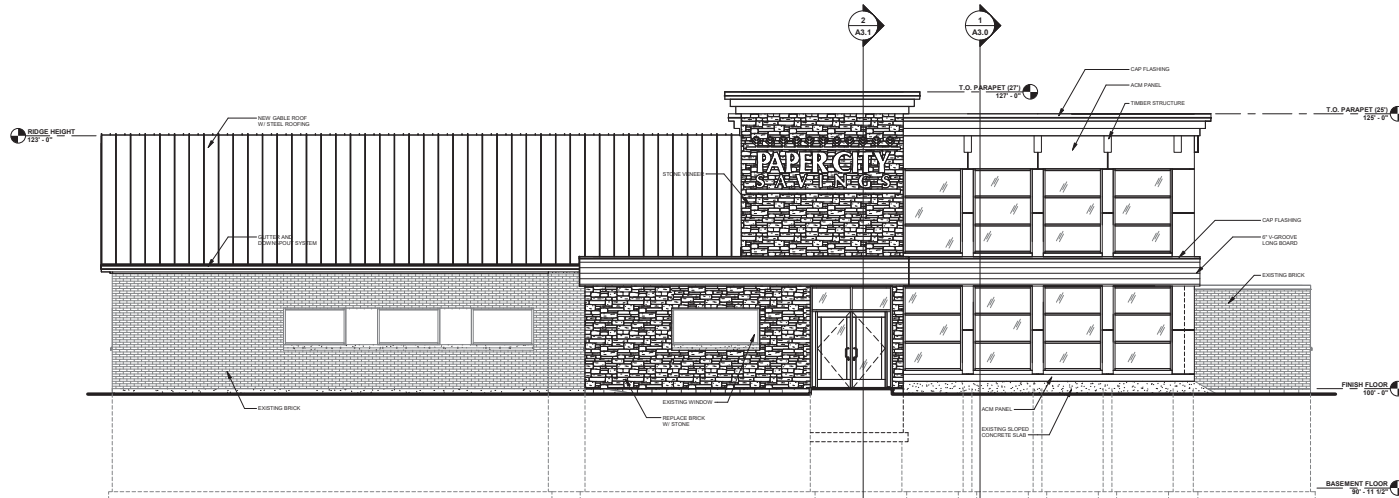
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CLEAR, DOUBLE PANE, LOW-E GLASS
(KELLER TYPE 01)
U-VALUE = 0.4
SHGC = 0.327
VT = 0.8

NORTH ELEVATION
3/16" = 1'-0"



EAST ELEVATION
3/16" = 1'-0"

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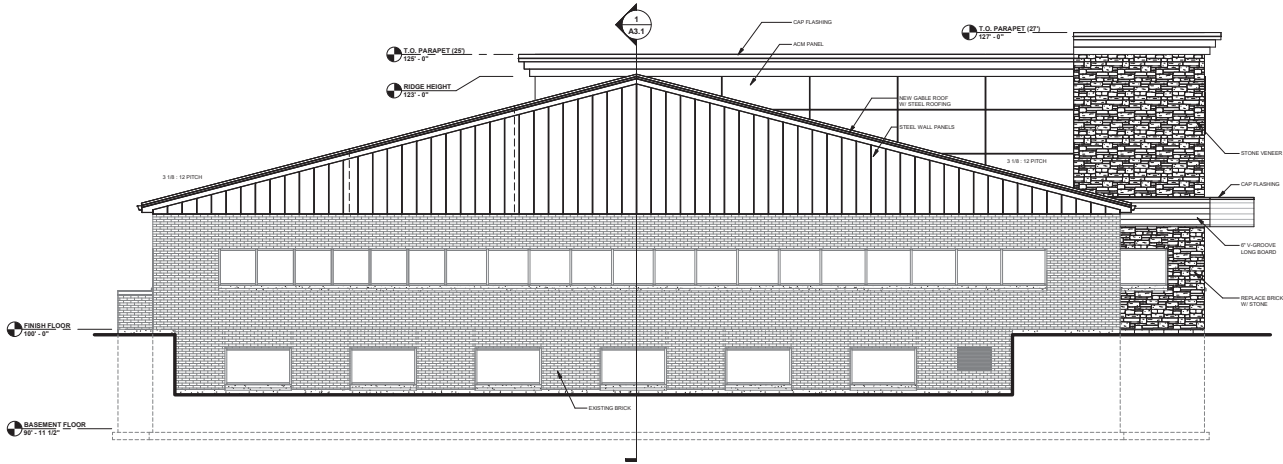
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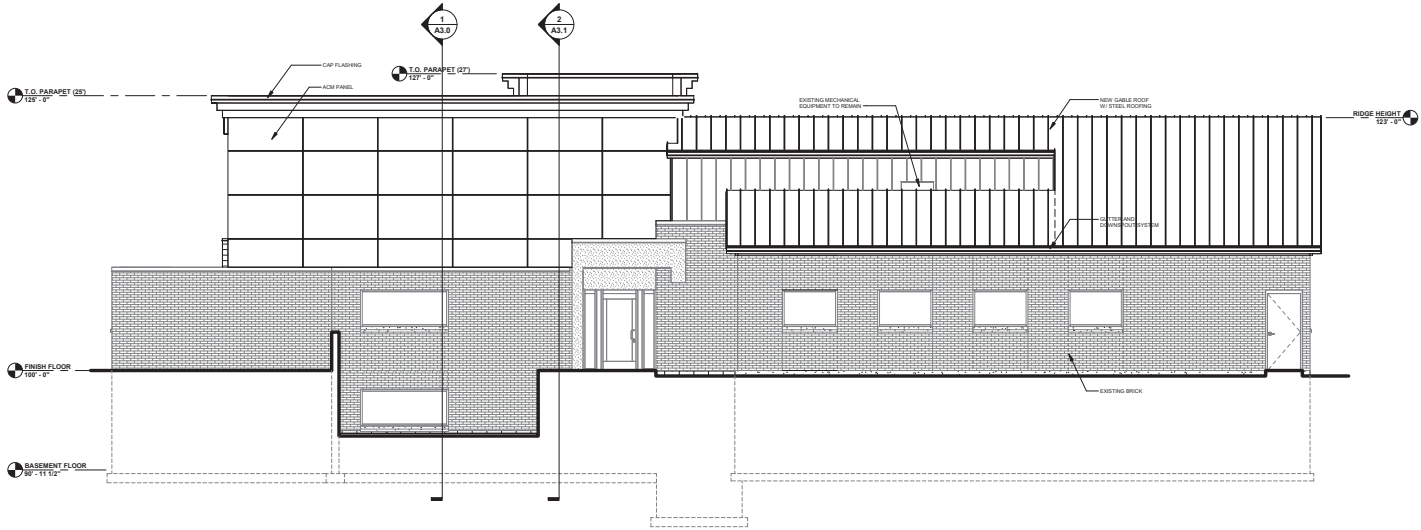
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DESIGNER: R. LINDSTROM
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PRELIMINARY NO: P22350
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DATE: 01.10.2023
SHEET:

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SOUTH ELEVATION
3/16" = 1'-0"



WEST ELEVATION
3/16" = 1'-0"

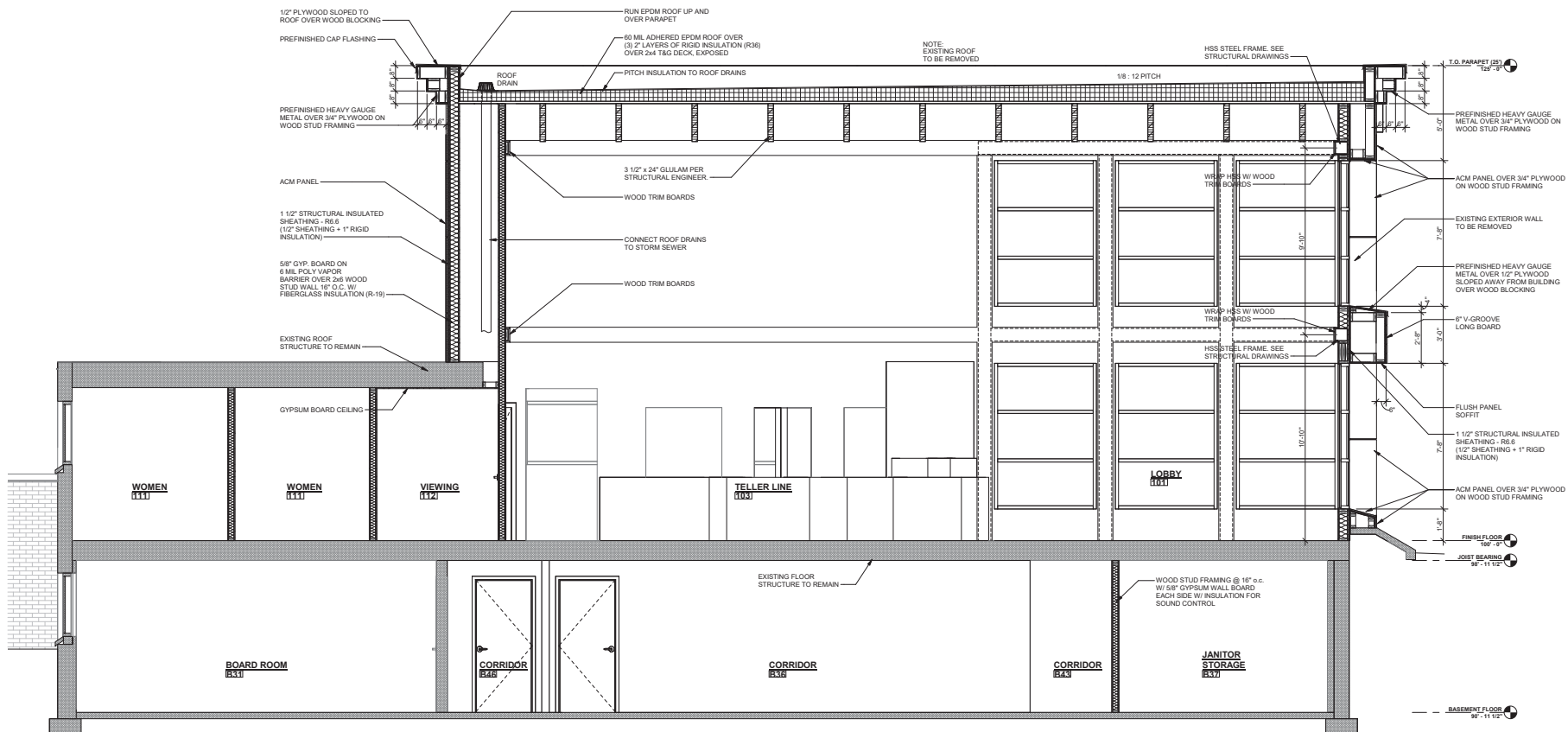
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PROJECT MANAGER:
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R. LINDSTROM
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P22350
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BUILDING CROSS SECTION
1/32" = 1'-0"

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PROJECT MANAGER:
V. NYSTROM

DESIGNER:
R. LINDSTROM

DRAWN BY:
ACM

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:
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PAPER CITY SAVINGS
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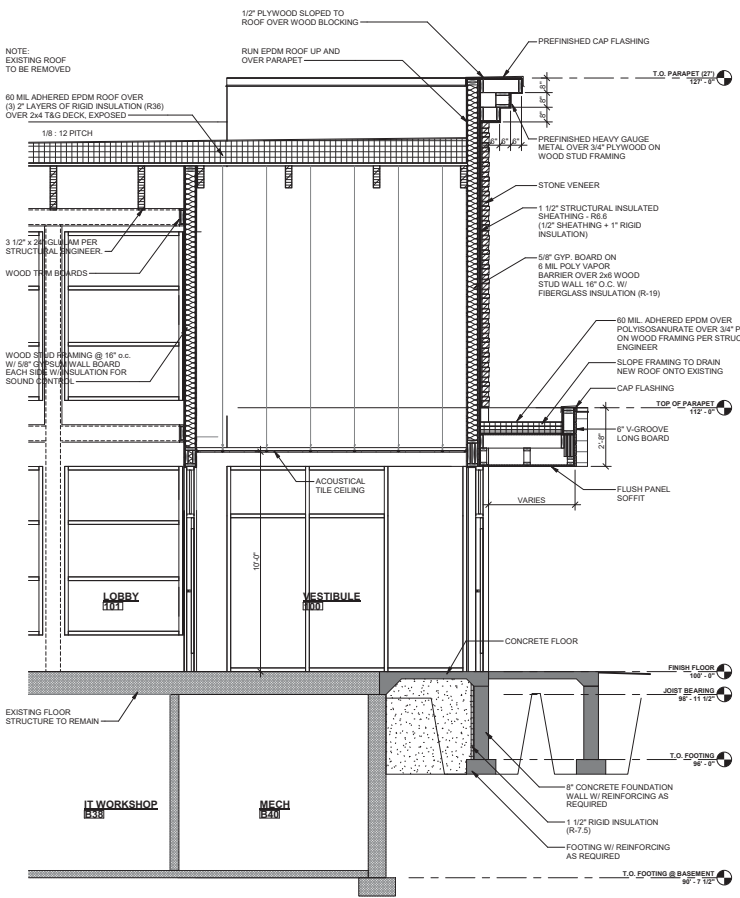
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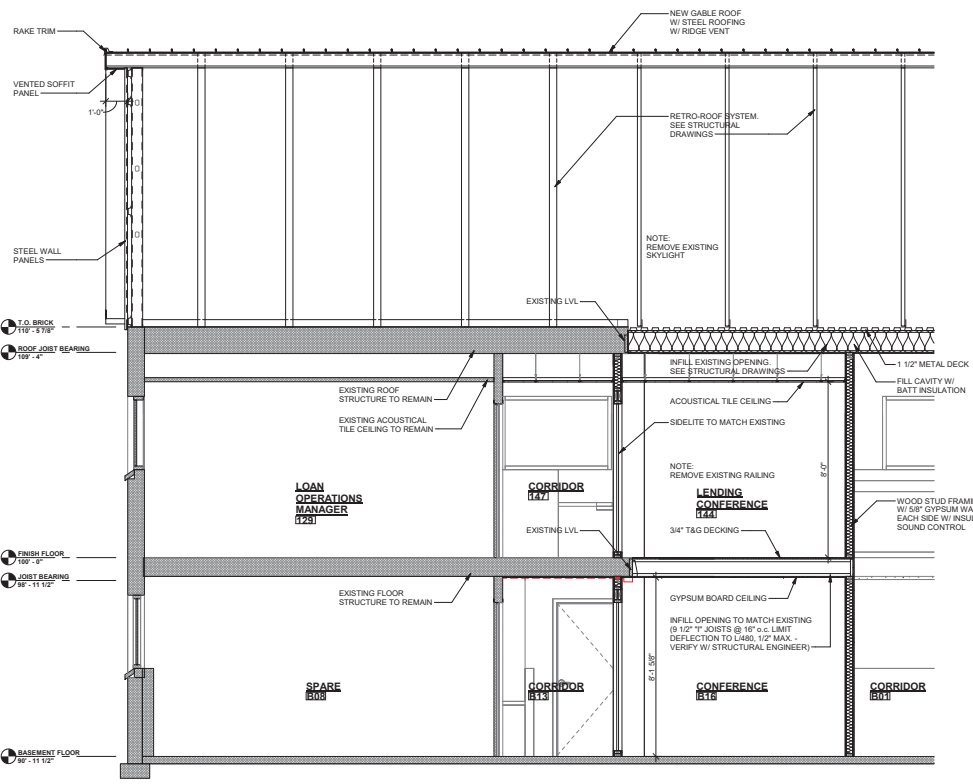
PROJECT MANAGER: V. NYSTROM
DESIGNER: R. LINDSTROM
DRAWN BY: ACM
EXPEDITOR:
SUPERVISOR:
PRELIMINARY NO: P22350
CONTRACT NO:

DATE: 01.10.2023
SHEET: **A3.1**

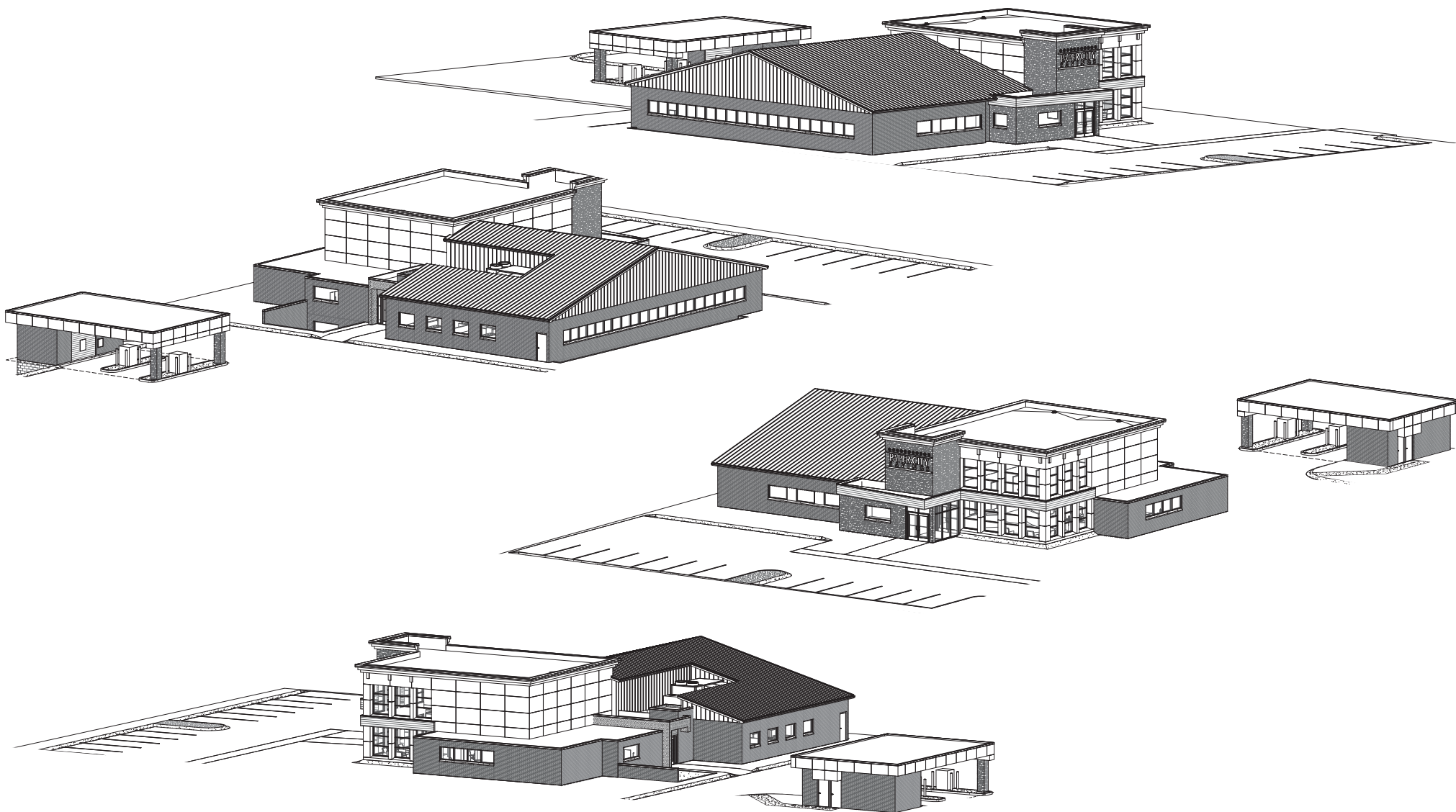
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2 SECTION @ VESTIBULE
A3.1 3/8" = 1'-0"



1 SECTION @ RE-ROOF
A3.1 3/8" = 1'-0"



Administrative Staff Report

Planned Development District

Amendment

City of Wisconsin Rapids

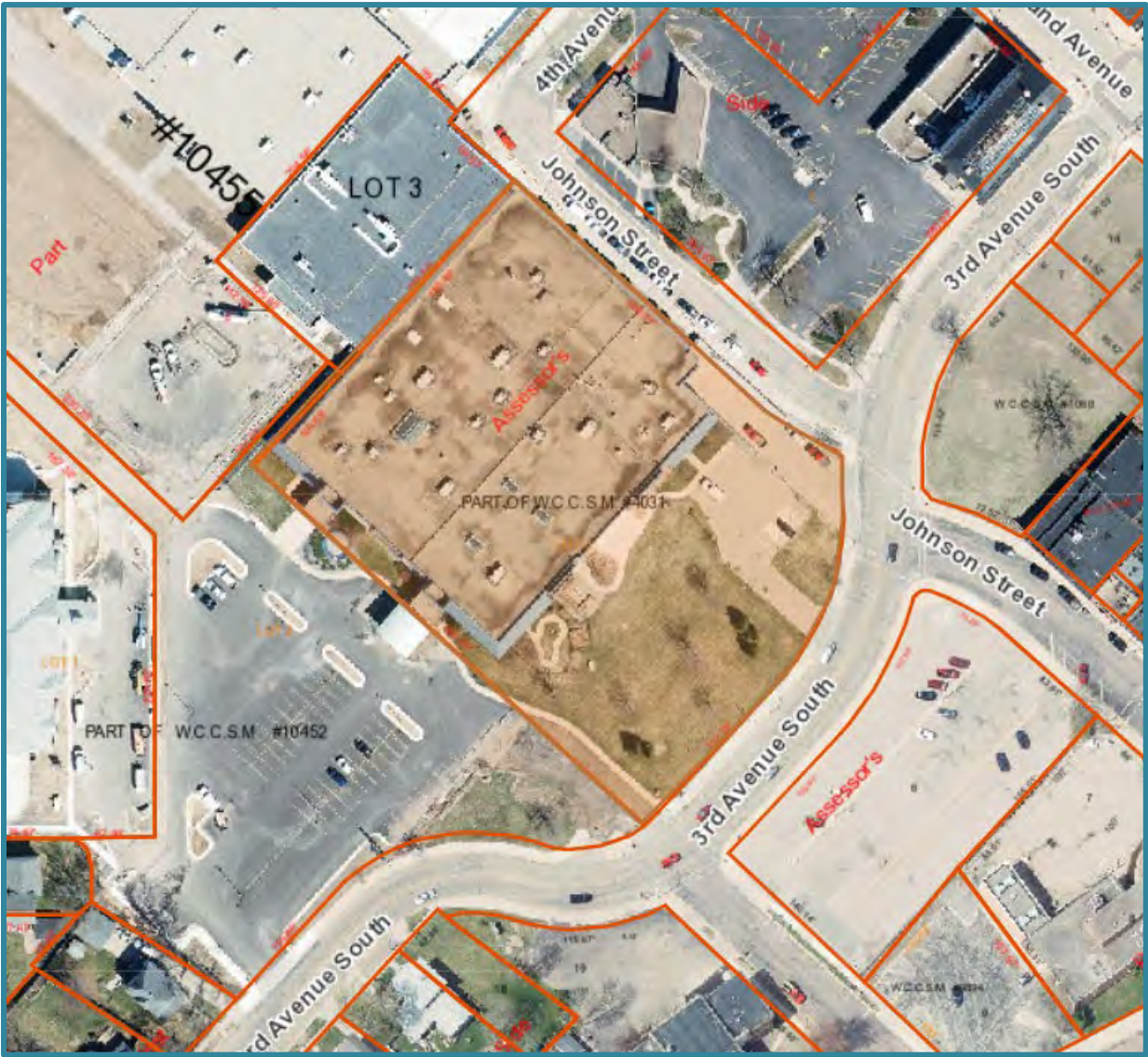
220 3rd Avenue South

June 27, 2023



<p>Applicant(s):</p> <ul style="list-style-type: none"> City of Wisconsin Rapids <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns, Director of Community Development Carrie Edmondson, Associate Planner <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3402596 <p>Lot Information:</p> <ul style="list-style-type: none"> 2.61 acres <p>Zone(s):</p> <ul style="list-style-type: none"> Planned Development District (PDD-04) Centralia <p>Council District:</p> <ul style="list-style-type: none"> District 1 - Austin <p>Master Plan:</p> <ul style="list-style-type: none"> Commercial <p>Current Use:</p> <ul style="list-style-type: none"> Varied including Community Center/Administrative Government Center <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 - Zoning 	<p>Request</p> <p>23-000465; City of Wisconsin Rapids - request for a planned development district amendment for a minor alteration to expand a patio area, add a walkway extension, and install a shade sail structure at 220 Third Avenue South (Parcel ID 3402596).</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Application Plans <p>Findings of Fact</p> <ol style="list-style-type: none"> The property includes one parcel at 2.61 acres in size. The property is zoned Planned Development District (PDD) 4. PDD's are unique zoning districts that have flexible land use and development standards. Multiple uses co-exist in the building including the Lowell Senior Center (community center), Park Place Adult Day Service, Wisconsin Rapids Park and Recreation Department, Wisconsin Rapids Community Media and the Aging, Wisconsin Rapids Community Theatre, and Aging & Disability Resource Center (ADRC) (administrative government centers). This location also serves as community gathering space for local events. The proposal includes an enhanced patio area to include a concrete patio expansion, walkway extension, and installation of a shade sail. Plan Commission shall make a recommendation on the Planned Development District Amendment request to the Common Council. <p>Staff Recommendation</p> <p>Approve the request for a Planned Development District Amendment for a minor alteration to expand a patio area, add a walkway extension, and install a shade sail structure at 220 Third Avenue South (Parcel ID 3402596).</p> <ol style="list-style-type: none"> Minor or major alterations to the Planned Development District shall be pursuant to Section 11.05.36 of the Zoning Ordinance. This proposal has been determined to be a minor alteration and can be approved by the Common Council at a regular meeting.
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Vicinity Map



Site Photos



Background and Analysis

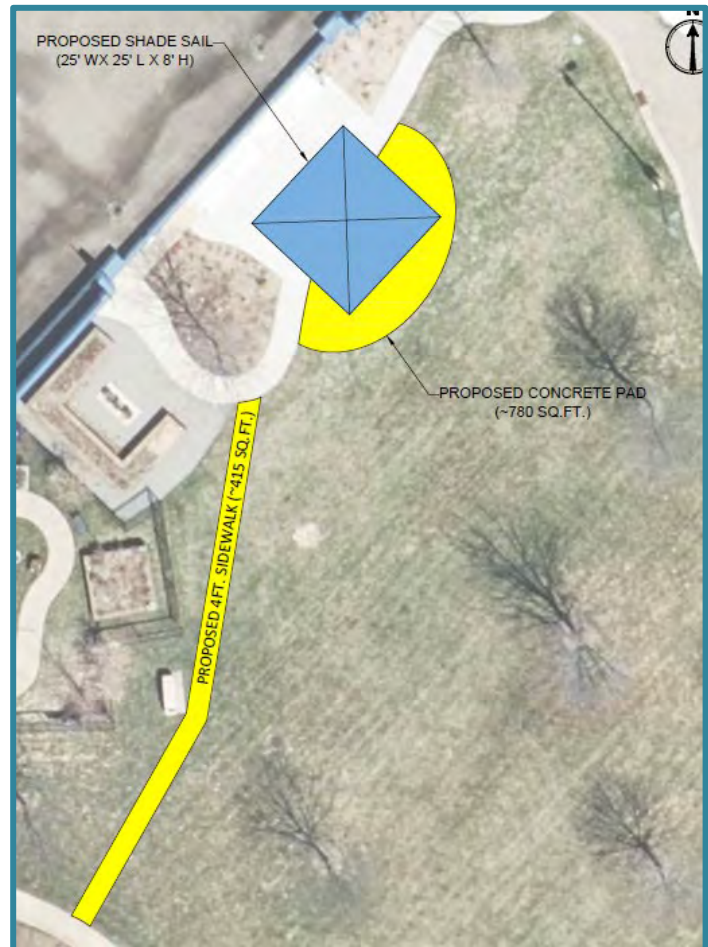
The City of Wisconsin Rapids Park and Recreation Department is proposing a patio enhancement on the southeast side of the Centralia Center. The enhancement will include an expanded concrete pad, walkway extension, and installation of a shade sail structure. There is approximately 780 square feet of additional patio area proposed to be setback at least 100 feet from all sides. The shade sail structure will be setback approximately 13 feet from the building and over 100 feet from all other sides. The structure is 25 feet wide and 25 feet long and 8 feet in height. A four-foot wide walkway extension is proposed to connect the new patio area to the existing walkway. Planned Development District Amendments are subject to Chapter 11 – Zoning Section 11.05.36:

11.05.36 Amendment of an approved planned development district

If the Common Council approves a planned development district, the Planning Commission and Common Council shall review all proposed changes to the project plan that was approved at the time of approval. If in the opinion of the Common Council, the proposed change constitutes a minor alteration, the Common Council may approve the requested change at a regular or special meeting of the Common Council. If the proposed change constitutes a major alteration, the review procedure in this division shall be followed.

The proposed changes have been determined to a minor alteration and can therefore be approved by the Common Council at a regular meeting. The Wisconsin Rapids Downtown Waterfront Plan adopted in 2009 identified the following under Redevelopment Recommendations specific to this location:

“R10>>>Centralia Compatible Development/Mall Redevelopment: Extension of prominent architecture into existing greenspace along the East side of Centralia. Possible restaurant location with outdoor dining overlooking proposed Centralia Commons.”



The proposed improvements bring architectural enhancement into the existing greenspace and will furnish an outdoor gathering space that will provide benefit to the Centralia Center and to the community. The shade sail structure will provide a focused space for people to comfortably gather. Staff is recommending approval of all proposed patio enhancements, as a minor PDD alteration.



Planned Development District
City of Wisconsin Rapids, Wisconsin
 Version: January 3, 2019

Community Development Department
 444 West Grand Avenue
 Wisconsin Rapids, WI 54495-2780
 P: (715) 421-8228 Fax: (715) 421-8291

Overview: A planned development district is a special zoning district that may provide more flexibility in the design of a specific project.

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

Application fee: \$500.00 for a general development plan; \$300.00 for a final development plan; \$150.00 for an amendment of prior approval

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Office Use Only

Date Received 6/1/23
 Received By CE
 Fee NA
 Case # 23-000465
 Aldermanic District 1-Austin
 Plan Commission Date TBD

1. Applicant information

Applicant name Jaik Klingforth
 Street address 1411 Chase St
 City, state, zip code Wisconsin Rapids WI 54495
 Daytime telephone number 715-697-6169
 Email jklingforth@wisrapids.org

2. Agent contact information Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Agent 1	Agent 2
Name	<u>Joe Eichstedt</u>	<u>Cody Knutsen</u>
Company	<u>City of Wisconsin Rapids</u>	<u>City of Wisconsin Rapids</u>
Street address	<u>444 W. Grand Ave</u>	<u>444 W. Grand Ave</u>
City, state, zip code	<u>Wisconsin Rapids WI 54495</u>	<u>Wisconsin Rapids WI 54495</u>
Daytime telephone number	<u>715-421-8251</u>	<u>715-315-0445</u>
Email	<u>jeichstedt@wisrapids.org</u>	<u>CKnuxton@wisrapids.org</u>

3. Type

- ☒ General Development Plan
☐ Precise Implementation Plan

4. Subject property information

Physical address 230 3rd Avenue South
 Parcel number(s) 3402596

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

☒ No
☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

☒ No
☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> RR Rural Residential | <input type="checkbox"/> R-8 Manufactured Home Park | <input type="checkbox"/> M-1 General Industrial |
| <input type="checkbox"/> R-1 Single-family Residential | <input type="checkbox"/> B-1 Downtown Commercial | <input type="checkbox"/> M-2 Heavy Industrial |
| <input type="checkbox"/> R-2 Mixed Residential | <input checked="" type="checkbox"/> B-2 General Commercial | <input type="checkbox"/> I-1 Institutional |
| <input type="checkbox"/> R-3 Multi-family Medium Density Residential | <input type="checkbox"/> B-3 Neighborhood Commercial | <input type="checkbox"/> P-1 Park and Recreation |
| <input type="checkbox"/> R-4 Multi-family High Density Residential | <input type="checkbox"/> B-5 Mixed Use Commercial | <input type="checkbox"/> C-1 Conservancy |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Planned Development (PDD) | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Floodplain |
| <input type="checkbox"/> Downtown Design | <input type="checkbox"/> Shoreland-Wetland | <input type="checkbox"/> Wellhead Protection |

6. Project description Describe the district including allowable land uses, dimensional standards, and the like.

We plan on extending the concrete patio out 30' x 40' and putting in a shade sail. Also adding a sidewalk from this new concrete area south to the existing sidewalk that goes to the Centralia Center Parking lot. 107' of new sidewalk

7. **Evaluation criteria** The factors listed below will be used in evaluating this application. Your responses are important.

1. Whether development in the proposed project is in keeping with the spirit and intent of this chapter (i.e., the zoning code).

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2. Whether development in the proposed project is consistent with the City's comprehensive plan.

--

3. The effects of development in the proposed project on traffic safety and efficiency, both within and outside of the district.

--

4. Whether the proposed plan for development in the proposed project is properly planned and is properly coordinated with the existing and anticipated land uses on properties in the immediate and surrounding area.

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5. The extent to which the natural features, open space, and/or farmland on the site are preserved.

--

6. Whether development in the proposed project complies with provisions of this chapter and other land development regulations of the City that may apply.

--

7. The effects of development in the proposed project on public services and facilities.

--

8. Whether adequate water and sanitary sewer facilities can be provided.

--

9. The proposed means of maintaining any undeveloped areas of the proposed project for the purpose for which it was set aside.

10. Effects of the proposed use on surrounding properties, including existing and anticipated uses.

11. Effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts.

12. Whether the plan for development is clearly superior to development that is permitted based on the design and development standards of the underlying zoning district.

13. Any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law

8. **Attachments** List any attachments included with your application.

9. **Other information** You may provide any other information you feel is relevant to the review of your application.

10. **Mandatory meeting with staff**

When did you meet with the Community Development Director?

_____ Month/year

11. Applicant certification

- I understand that I, or any of my agents, may not discuss this application with any member of the Planning Commission or the Common Council until after a final decision is rendered.
- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Name – print

Name – Signature

Date

Name – print

Name – Signature

Date

Edmondson, Carrie

From: Kearns, Kyle
Sent: Tuesday, May 9, 2023 4:27 PM
To: Klingforth, Jacob
Cc: Edmondson, Carrie
Subject: RE: Centralia Center project
Attachments: shade sail.jpg; _ags_e5a339e6-ee8e-11ed-9e59-005056996ffb.pdf; Planned Development District 01-03-2019 Fillable.pdf

Hi Jake,

Hi Jake, the whole site is zoned Planned Development District. We've deemed the awnings as accessory structures and thus the following procedures would be required:

11.05.36 Amendment of an approved planned development district If the Common Council approves a planned development district, the Planning Commission and Common Council shall review all proposed changes to the project plan that was approved at the time of approval. If in the opinion of the Common Council, the proposed change constitutes a minor alteration, the Common Council may approve the requested change at a regular or special meeting of the Common Council. If the proposed change constitutes a major alteration, the review procedure in this division shall be followed.

Plan Commission review would occur first, followed by Council, and we would note these as minor alterations. Could you provide exact specifics on the dimensions and sized of the awnings, perhaps a quote? Assuming the concrete patio is maxing grade of the existing concrete and will be poured? The more details we can provide during the approval, the better. Lastly, complete the attached application (fee waived) and note the amendment requested to improve the site.

Thanks,

Kyle Kearns
 Director of Community Development
 (715) 421-8225



City of Wisconsin Rapids
 444 West Grand Avenue
 Wisconsin Rapids, WI 54495-2780

www.wirapids.org

Statement of Confidentiality

This email and any files transmitted with it are confidential and intended solely for the use of the individual or entity to whom they are addressed. This communication may contain material protected by agency-client

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From: Klingforth, Jacob <JKlingforth@wirapids.org>

Sent: Tuesday, May 9, 2023 12:31 PM

To: Kearns, Kyle <KKearns@wirapids.org>

Subject: Centralia Center project

Here is a rough idea on what they want to do in the front of the Centralia Center. The shade structure will be placed in the middle of the new concrete patio. They also want to have a connecting sidewalk with the existing sidewalk.

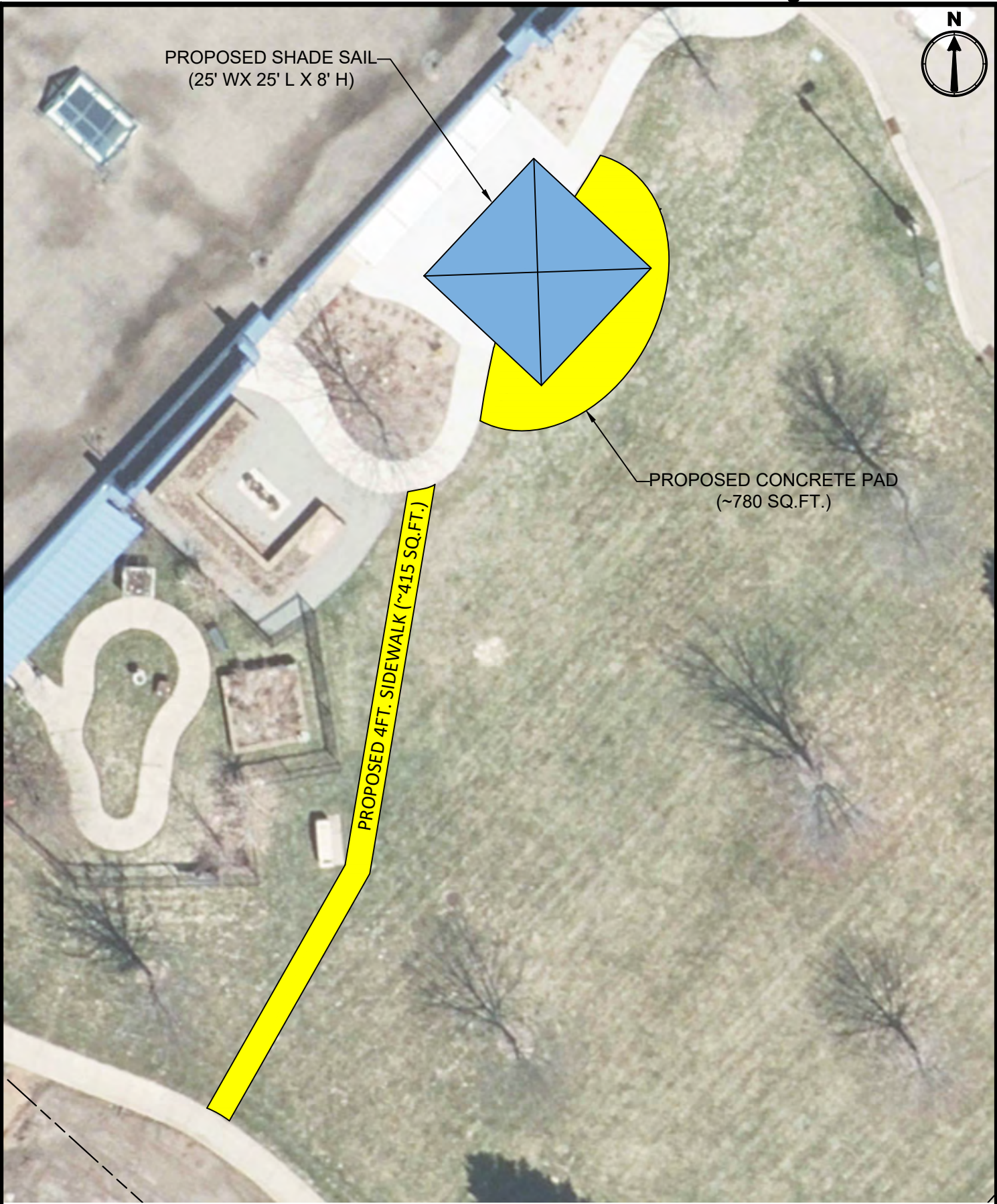
JAKE KLINGFORTH

Parks & Buildings Superintendent

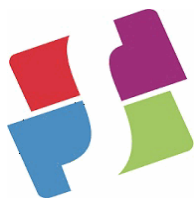
City of Wisconsin Rapids

715-421-8271

www.wirapids.org



DRAWING: PROPOSED SIDEWALK, CONCRETE PAD AND SHADE SAIL FOR THE WISCONSIN RAPIDS SENIOR CENTER			
DRAWN BY: M.A.S.	PLOT DATE: June 19, 2023	PROJ. NO. #####	SCALE: 1" = 20FT.
DRAWING FILE - C:\Users\design3.COWR\Desktop\Temp_Stuff\SeniorCenter-Shade Sail-option 2.dwg			



COMMERCIAL
RECREATION
SPECIALISTS

Commercial Recreation Specialists
807 Liberty Dr., Ste 101
Verona, WI 53593-9160
Ph: (877) 896-8442 Fx: (608) 848-8782
43-2046045

Page: 1

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Quote

Quote Number: 0022933
Quote Date: 6/8/2023

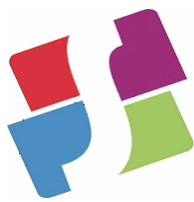
Bill To :
City of Wisconsin Rapids 444 West Grand Avenue Wisconsin Rapids, WI 54495

Ship To :
City of Wisconsin Rapids c/o Jacob Klingforth 444 West Grand Avenue Wisconsin Rapids, WI 54495 Ph: 715-421-8271

Customer ID	Customer PO Number	Sales Rep Name
CITY OF WISCONSIN		Brian R Stracke
Valid Through	Shipping Method	Payment Terms
7/8/2023	BEST WAY	SEE BELOW

Item	Description	Quantity	Unit Cost	Amount
/99999 SHADE	Shade Structure Quad Offset Single Post Pyramid, 25'W x 25'L, 8' Eave Height, Pier-Mount Columns, w/ Turn 'N Slide Feature, Standard CoolNet Fabric & Metal Colors: TBD	2.00	24,863.00	49,726.00
/99999 SHADE	VALUED CUSTOMER DISCOUNT	2.00	1,243.00-	2,486.00-
/99999 SHADE	Wisconsin Engineer Sealed Drawings & Calcs	1.00	1,250.00	1,250.00
/POOLSLIDE SVC	Shade Structure Installation <u>INCLUDED IN PRICING:</u> * Excavating for pier mount footers. * Provide anchoring hardware for pier mount columns. * Provide and install rebar. * Provide and pour concrete for pier mount footers. * Install all shade structure columns. * Assemble and install shade structure canopies. <u>EXCLUSIONS - OWNER RESPONSIBILITY:</u> * Receiving, off-loading, storage prior to installation, and site security. * Site work, site excavation above and beyond the shade structure footers, drainage, and site restoration.	1.00	20,588.00	20,588.00

Continued



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Ph: (877) 896-8442 Fx: (608) 848-8782
43-2046045

Page: 2

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Quote

Quote Number: 0022933
Quote Date: 6/8/2023

Bill To :
City of Wisconsin Rapids 444 West Grand Avenue Wisconsin Rapids, WI 54495

Ship To :
City of Wisconsin Rapids c/o Jacob Klingforth 444 West Grand Avenue Wisconsin Rapids, WI 54495 Ph: 715-421-8271

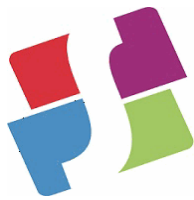
Customer ID	Customer PO Number	Sales Rep Name
CITY OF WISCONSIN		Brian R Stracke
Valid Through	Shipping Method	Payment Terms
7/8/2023	BEST WAY	SEE BELOW

Item	Description	Quantity	Unit Cost	Amount
	<p>* Owner will need to mark/flag shade structure location before installers arrive.</p> <p>* Private/Public utility locate required (Unmarked utilities responsibility of Owner).</p> <p>* Permits and permitting fees not stated above.</p> <p>* Removal of packaging materials and debris or provide a dumpster for disposal of debris and packaging material.</p> <p>* Deliver/provide all equipment to the site prior to installation crew's arrival.</p> <p>IMPORTANT NOTES:</p> <p>* Current lead times are ~ 2 weeks for drawings and calcs and ~ 6 to 8 weeks for production after drawings and calcs are completed.</p> <p>* Freight is based on current quoted rates and is subject to change. Actual freight fees will be reflected on the final invoice.</p> <p>* Equipment and labor pricing is valid for 30 days.</p> <p>TERMS:</p> <p>50% DEPOSIT DUE UPON ACCEPTANCE OF QUOTE</p> <p>50% BALANCE DUE UPON SUBSTANTIAL COMPLETION OF WORK</p>			

Note: This quote is valid for 30 days. Please review the above information carefully. It defines your order as we understand it. If satisfactory, please sign and date below and fax to 608-848-8782, email back to your sales representative, or send a copy with your deposit to the address above. We will begin processing your order upon receipt of both your DEPOSIT AND APPROVAL SIGNATURE, per the terms indicated on your quote above. Additional surcharges may apply depending on final delivery address, actual delivery requirements and payment method. Please note that a 3% convenience fee may apply to credit card orders.

Net Order: 69,078.00
Freight: 4,188.00
Sales Tax: 0.00
Order Total: 73,266.00

Customer Acceptance: _____ Date: _____
Donna



COMMERCIAL
RECREATION
SPECIALISTS

Commercial Recreation Specialists
807 Liberty Dr., Ste 101
Verona, WI 53593-9160
Ph: (877) 896-8442 Fx: (608) 848-8782
43-2046045

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Quote

Quote Number: 0022933
Quote Date: 6/8/2023

Bill To :
City of Wisconsin Rapids 444 West Grand Avenue Wisconsin Rapids, WI 54495

Ship To :
City of Wisconsin Rapids c/o Jacob Klingforth 444 West Grand Avenue Wisconsin Rapids, WI 54495 Ph: 715-421-8271

Terms and Conditions

1. When Installation or site work is specified in the proposal or quote, site security is not included. The customer is responsible for ensuring security during the project when Commercial Recreation Specialists, Inc. is not present installing the specified system and immediately upon completion of the installation. In the event of vandalism or unexpected damage, Commercial Recreation Specialists, Inc. reserves the right to charge the customer for repairs and/or replacement goods.
2. This proposal or quote may be withdrawn if not accepted within thirty (30) days of its issuance. Commercial Recreation Specialists, Inc. will consider reasonable revisions to this proposal: included in the terms of a subcontract provided it accurately incorporates the terms and conditions of this proposal. A proposal or quote not accepted within thirty (30) days will be subject to price escalation for Installation materials, equipment, and freight. Commercial Recreation Specialists, Inc. reserves the right to adjust its quoted price if the terms of a related subcontract increase its costs or add to Commercial Recreation Specialists, Inc.'s administrative time of compliance.
3. When Installation or site work is specified in the proposal or quote, all work shall be performed according to industry standards. Areas in which Commercial Recreation Specialists, Inc. Installation Team will be working shall be free and clear of all debris and accessible to any/all equipment necessary to perform the proposed work. Commercial Recreation Specialists, Inc. assumes the site is buildable and has suitable subsurface conditions to allow the proposed construction.
4. Unless waived in writing by Commercial Recreation Specialists, Inc., any changes to the scope of work, or the terms and conditions of this proposal shall be performed only after execution of a written change order.
5. Commercial Recreation Specialists, Inc. is not responsible for any delays due to strikes, accidents, weather, acts of God, and/or other delays beyond the control of Commercial Recreation Specialists, Inc. Commercial Recreation Specialists, Inc. is not responsible for any damages due to any of the above or similar causes outside of its control.
6. Commercial Recreation Specialists, Inc. is not responsible for receiving, off-loading, storage, installation, project management or coordination, piping, concrete, surfacing, electrical, plumbing, bonding, bonding payment, geotechnical survey work, excavation, removal of existing materials, removal of debris and packaging material, site restoration, permits or permit stamped drawings or Health department approval unless otherwise specified in the above proposal or quote.
7. The Customer is responsible for inspecting all deliveries for damage, noting any damage on the bill of lading, and notifying Commercial Recreation Specialists, Inc. within one (1) day of receiving.
8. If applicable, sales tax has been included and will only be removed upon presentation of a Tax-Exempt form, Resale Certificate, or Capitol Improvement form. In the event any asserted tax-exempt status is later denied by a taxing authority, the buyer will be responsible for the unpaid tax and any penalties and interest charges.
9. Freight shown is an estimate based on current quoted rates and is subject to change. Actual freight costs will be charged at the time of shipment and will be included on the final invoice applicable, the buyer is responsible for customs fees, duties, or taxes assessed by any port of entry.
10. When Installation or site work is specified in the proposal or quote, Commercial Recreation Specialists, Inc. is not responsible for private or public utility charges to locate services unless otherwise specified in the proposal or quote. Private and public utility efforts to locate services need to be completed and marked before Commercial Recreation Specialists, Inc. arrive on site. Commercial Recreation Specialists, Inc. is not responsible for damage to or repair of unmarked utilities.
11. The Customer is responsible for ensuring the scope of work in the quote or proposal meets all local standards and codes and that all required approvals and permits have been obtained unless otherwise noted in the quote or proposal. This responsibility also extends to any changes requested.
12. Commercial Recreation Specialists, Inc. warrants all its labor and workmanship under the attached proposal's scope of work for a period of one (1) year from the date of substantial completion.
13. Any requested special or custom modifications and/or alterations made to products installed by Commercial Recreation Specialists, Inc. may void and null warranties provided by the manufacturer.



MEMO

To: Plan Commission

From: Kyle Kearns, Director of Community Development
Carrie Edmondson, Associate Planner

Date: June 27, 2023

RE: **23-000463; City of Wisconsin Rapids** - public hearing and action on a request to amend Chapter 11 – Zoning Ordinance, specifically Article 15 - Fencing, including modifications to various sections including general requirements, dimensional requirements, and fence materials.

Article 15 – Fencing was adopted as a part of the comprehensive Chapter 11 – Zoning revision and adoption that occurred in 2018. After five years of enforcement of this section of the zoning ordinance staff has noted some areas in need of improvement. Changes are noted in the attached draft; blue (additions) and red (deletions).

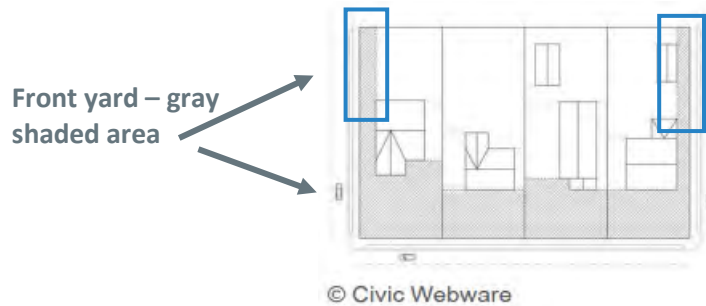
Modifications of significance are further analyzed below:

Measurement of Height

The current code language regarding measurement of fence height has been somewhat difficult to implement. The goal of the change in language is not to modify specific height requirements, but to make clearer the way in which the fence height is measured. It also allows for some flexibility with irregular lots, allowance for decorative posts, and allowance for ground maintenance.

Residential Corner Lots

We have had several requests for six-foot high fencing in corner side yards behind the rear plane of the principal building (home). This area is still considered a front yard within Chapter 11 – Zoning (see gray shaded area in the diagram below). Chapter 11 - Zoning currently has conflicting language, but ultimately does not permit fences greater than 4 feet in this area. Staff has conducted an analysis of corner side yard fencing requirements in several neighboring cities, and there is some variability on this point. However, we are recommending that fences up to six feet in height be permitted in this area. Vision triangle and right-of-way setback requirements would still apply.



Fence Materials

The current language for approved fencing materials is somewhat limiting in staff's view. Typical proposed fencing includes wood (or wood composite), vinyl (or PVC), and chain link. However, the current code does not allow for wood fencing other than stockade or board on board. The revised list adds more detail to each type of material on the materials list. The section prohibiting fencing that is constructed of used or discarded materials is proposed to remain intact.

Barbed Wire

At present barbed wire fencing is only permitted in manufacturing districts. There are instances where institutionally zoned properties, such as utility (Water Works and Lighting Commission), airport (South Wood County Airport – Alexander Field), or similar; commercially zoned properties (heavy in nature or use); or the like may have reason to utilize barbed wire fencing to address public safety concerns. In these cases, the Plan Commission would have the opportunity to review each request through the Special Exception process and make an informed decision based on the specifics in each instance.

In summary, a comprehensive amendment to Article 15 Fencing is being proposed to address various issues and concerns that have been identified by staff. The intention of the suggested modifications is clarification for the general public, more streamlined implementation, and to address identified inconsistencies.

ARTICLE 15 FENCING

Sections

11.15.01	Applicability	11.15.09	Fence materials
11.15.02	General requirements	11.15.10	Barbed wire
11.15.03	Prohibitions	11.15.11	Storage of materials prohibited
11.15.04	Measurement of height	11.15.12	Fences permitted without a permit
11.15.05	Obstruction of ingress/egress area of a dwelling	11.15.13	Nonboundary fences
11.15.06	Fences in commercial and industrial zoning districts	11.15.14	Dog enclosures
11.15.07	Fences in residential zoning districts	11.15.15	Maintenance
11.15.08	Minimum setbacks		

11.15.01 Applicability

The requirements in this article apply to existing fences and new fences.

11.15.02 General Requirements

All fences shall be installed in strict compliance with this article, site specific permit conditions, and the following requirements:

- (1) The owner or applicant shall be responsible for properly locating all property lines before construction of any fence. This requirement can be waived if it is clear that the fence will not encroach or overlap any property line.
- (2) Lot pins/markers shall not be tampered with when installing a fence. Any violations of this requirement shall be subject to the penalty provisions outlined in this code, and/or within state statutes.
- (3) No fence may be constructed or maintained (including those with sharp points or pickets) which is detrimental to human life or safety, or causes a traffic hazard.
- (4) Structural and support components of a fence shall face away from adjacent properties.
- (5) Fences shall be installed with the finished side facing the adjacent property or public right-of-way, and the fence posts must be located on the inside of the fence facing -the property on which the fence is located. ~~except when the style of fence commonly described as a "Good Neighbor Fence" is installed.~~
- (6) Fences shall be installed plumb and the top finish of the fence shall be uniform. Fences shall follow the contour of the ground to the extent practical. Adjustments for grade shall occur at the bottom of the fence.
- (7) The height of the fence shall be controlled by the applicable provisions of this article for the zoning district in which the fence will be located.

11.15.03 Prohibitions

The following are specifically prohibited:

- (1) A razor wire fence.
- (2) Any wire or chain link-type fence with the cut or salvage end of the fence exposed at the top.
- (3) A fence made of chicken wire or similar woven material, except when used for gardening type purposes.
- (4) Electric fences, except when used for gardening type purposes.
- (5) A fence which creates a hazard to users of the street, sidewalk, or to nearby property.
- (6) A fence composed solely of fence posts.

- (7) An incomplete fence, consisting only of posts and supporting members.

11.15.04 Measurement of height

Fence height is measured from the surface of the ground immediately below the fence to the top rail of the fence.

(a) Height exceptions:

Exception: Decorative posts at a minimum spacing of 24 inches may extend 6 inches above the maximum height.

Exception: To accommodate slopes and/or lawn maintenance up to 6 inches of ground clearance shall be allowed which will not contribute to the measurement of the maximum fence height.

Exception: Berms with slopes less than or equal to a minimum of 3 feet of horizontal to a maximum of every 1 foot of vertical (i.e. 3:1) shall not contribute to the measurement of maximum fence height.

The zoning administrator has the authority to grant height exceptions in cases where properties possess natural features (such as steep slopes and elevation changes) that create inconsistency with measurement of fence height.

~~In the case of grade separation, such as the separation of properties by a retaining wall, the fence height is based on the measurement from the average point between highest and lowest grade. If the fence is set back from the retaining wall by a distance of at least 2 feet, the fence height is measured from the base of the fence.~~

~~For fences that have a uniform deviation (i.e., where the fence post height is higher than the fence wall, or where the fence wall is higher than the fence posts) the highest portion of the fence shall be used to measure the height of the fence.~~

11.15.05 Obstruction of ingress/egress area of a dwelling

No fence shall be installed in any yard that will shield any window or opening in a habitable space of a dwelling. A minimum distance of 3 feet shall be maintained between any solid fence and any such window or opening in a dwelling.

11.15.06 Fences in commercial and industrial zoning districts

(a) **Front yard.** In commercially or industrially zoned areas on interior lots with one frontage, fences, not exceeding 4 feet in height, shall be allowed within the front yard setback area. The front yard setback consists of any side lot line between the front property line and the front setback line or building line, whichever is closest to the front property line.

Exception: When establishments are required to provide screening, screening standards shall supersede this standard.

Exception: Front yard or corner side yard fences may be increased to a maximum height of 6 feet if open, decorative, ornamental fencing materials that are less than or equal to ~~20~~ 50 percent opaque are used. Chain link or similar type fences are not considered decorative, ornamental fences.

Exception: Where adjacent properties are allowed to have a fence of 6 feet in height along a property line, because the property line is the side or rear property line for their lot, the owner of the other lot may erect a fence not to exceed 6 feet in height along the same area that the adjacent owner may erect a 6-foot high fence. However, the fence must meet all other requirements outlined in this chapter, including not interfering with vision triangles.

(b) **Side and rear yards.** No solid fence or wall shall exceed 8 feet in height in any side or rear yard. Fences not greater than 8 feet in height are permitted in side or rear yards and shall not extend beyond the front of the principal structure.

Exception: When establishments are required to provide screening, screening standards shall supersede this standard.

(c) **Corner lots** In commercially or industrially zoned areas the maximum height of a solid fence or wall within a required front or corner side yard setback shall not exceed 6 feet, except that a fence or wall of up to 8 feet may be located within a corner side yard setback behind the rear plane of the principal building.

Exception: When establishments are required to provide screening, screening standards shall supersede this standard.

(d) **Double frontage lots** In commercially or industrially zoned areas, fences may not exceed a height of 8 feet within the required rear setback.

Exception: When establishments are required to provide screening, screening standards shall supersede this standard.

11.15.07 Fences in residential zoning districts

(a) **Front yard** In residentially zoned areas on interior lots with one frontage, fences, not exceeding 4 feet in height, shall be allowed within a residentially required front yard setback area. The front yard setback consists of any side lot line between the front property line and the front setback line or building line, whichever is closest to the front property line. If the fence is setback at or beyond the minimum required setback, fences may exceed the 4-foot height requirement, but shall not be higher than 6 feet.

Exception: Front yard or corner side yard fences may be increased to a maximum height of 6 feet if open, decorative, ornamental fencing materials that are less than or equal to 50 percent opaque are used. Chain link or similar type fences are not considered decorative, ornamental fences.

Exception: Where adjacent properties are allowed to have a fence of 6 feet in height along a property line, because the property line is the side or rear property line for their lot, the owner of the other lot may erect a fence not to exceed 6 feet in height along the same area that the adjacent owner may erect a 6-foot high fence. However, the fence must meet all other requirements outlined in this article, including not interfering with vision triangles.

(b) **Side and rear yards.** In residentially zoned areas on interior lots with one frontage, no solid fence or wall shall exceed 6 feet in height in any side or rear yard.

Exception: A fence of up to 8 feet in height may be constructed between a residential district and a commercial or industrial district.

~~A wall or solid fence not more than 6 feet in height, as measured from the highest adjacent grade, may be maintained along the interior side or rear lot lines provided such a wall or solid fence does not extend into a required front yard.~~

(c) **Corner lots.** In residentially zoned areas, the maximum height of a solid fence or wall within a required front or corner side yard setback shall not exceed 4 feet, except that a fence or wall of up to 6 feet may be located within a corner side yard setback behind the rear plane of the principal building. ~~If the fence is setback at or beyond the minimum required setback, fences may exceed the 4 foot height requirement, but shall not be higher than 6 feet.~~

(d) **Double frontage lots.** In residentially zoned areas, fences may not exceed a height of 6 feet within the required rear setback.

11.15.08 Minimum setbacks

- (a) **From public right-of-ways.** Fences must be a minimum of 2 feet from the public right-of-way property line ~~or when abutting an alley.~~
- (b) **From adjacent property lines.** Fences may be installed up to, but not across adjacent property lines.

Exception: If an existing building is located on an adjacent lot, 2 feet is the minimum distance in which the fence must be set back from the existing building.

Note: Property owners must maintain their fence(s) as noted in s. 11.15.16. Erecting a fence too close to a property line can make it hard to maintain both sides of the fence.

~~(c) **From alleys.** Fences must be a minimum of 5 feet from the alley property line. If the alley does not support traffic, the fence may be located up to, but not over the property line.~~

- (d) **Vision clearance areas.** No fence or wall greater than 2 1/2 feet above the street grade shall be placed within the vision clearance area ~~(shall meet the requirements of section 11.06.119 9 Vision triangle).~~

11.15.09 Fence materials

- (a) **Generally.** A fence located in a side and/or rear yard shall be constructed of ~~the following materials~~ suitable for residential-style fencing, including:
 - (1) brick, ~~or masonry~~
 - (2) natural stone ~~or fieldstone,~~
 - (3) wrought iron, ~~or steel~~
 - (4) vinyl, ~~or similar synthetic material~~
 - (5) chain link (with a minimum thickness of nine (9) gauge and a required top rail support),
 - (6) ~~stockade, or board-on-board wood, or wood composite~~

No fence shall be constructed of used or discarded materials in disrepair, including pallets, tree trunks, trash, junk, or other similar items. Materials not specifically manufactured for fencing, such as railroad ties, wooden doors, landscape timbers or utility poles shall not be used for, or in the construction of a fence.

- (b) **Agricultural/farm fences** Agricultural/farm fences shall only be permitted in agriculturally zoned or used districts and shall not exceed 6 feet in height.

11.15.10 Barbed wire

No person shall construct, use or maintain any barbed wire fence on residential, ~~business, or institutionally~~ zoned property. Barbed wire fences may be installed in manufacturing zoning districts under circumstances whereby no more than 3 strands of barbed wire are horizontally situated above a fence of boards or woven wire not less than 72 inches in height, excluding the barbed wire. ~~In all other zoning districts, pursuant to the procedures and requirements in Article 5, the Planning Commission may approve a special exception to permit barbed wire on fences not less than 72 inches in height, when they determine the use to be in the best interest in the health, safety, and welfare of the public. Barbed wire may be used on top of a 6 foot fence surrounding a public utility, public use, or on a site storage area as approved under a Conditional Use Permit or Site Plan Review.~~ Notwithstanding the above, barbed wire shall not be used along a property line abutting a residentially zoned area.

11.15.11 Storage of materials prohibited

No materials shall be stored on or between a fence located adjacent to a property line.

11.15.12 Fences permitted without a permit

The following types of fences are permitted, as specified, without a permit, subject to the following restrictions and providing that said fence does not in any way interfere with traffic visibility, or block, redirect or cause a drainage problem for the adjacent or downstream properties:

- (1) Snow fencing shall be permitted in all districts not exceeding 4 feet in height provided it is removed between May 1 and November 1 of each year. No snow fence shall extend into the street right-of-way line unless installed by the City or a contractor having a permit from the City.
- (2) Fences used for the protection of excavation and construction sites and the protection of plants during grading and construction is permitted for a time period consistent with an approved building permit.
- ~~(3) Agricultural/farm fences are limited to agriculturally zoned or used districts.~~
- ~~(4)~~ (3) Decorative fences not exceeding ~~2~~ 2.5 feet in height shall be permitted in all districts. Such fences shall not be placed in any manner that presents a hazard to pedestrians on any public or private sidewalk.
- ~~(5)~~ (4) Underground electrical fences are permitted in all districts.
- ~~(6)~~ (6) Garden fencing shall be allowed without a permit, but it shall not exceed a height of 6 feet, shall not be located closer than 3 feet to any property line, and shall not be more than 10 percent opaque. Fencing shall be limited to the gardening area.

11.15.13 Nonboundary fences

Fences and/or enclosures for swimming pools shall be permitted as required in s. 303.2 of the municipal code. Fences surrounding tennis courts, and baseball and/or softball field backstops, or similar type facilities may be erected in conformance with accepted industry standards. A fence permit shall be required for such installation.

11.15.14 Dog enclosures

Dog enclosures are permitted in residential zoning districts subject to the following requirements:

- (1) A dog enclosure shall be obscured from view from neighboring properties at grade and adjacent streets with a solid fence. Existing structures (e.g., sheds, garages) may be used to obscure view.
- (2) A dog enclosure must be located in the buildable area directly behind and adjacent to the principal building. In no event shall a dog enclosure encroach into a required setback or be located closer to a corner or interior side -property line than the principal building.
- (3) No dog enclosure shall be more than 250 square feet in area, nor more than 6 feet in height above the surface of the ground, as measured from the ground level at the lowest grade level within 5 feet of either side thereof.
- (4) A dog enclosure shall be constructed on a hard surface.
- (5) A dog enclosure may be constructed of any material permitted for a residential fence.
- (6) A dog enclosure shall comply with all vision clearance area requirements.

11.15.15 Maintenance

The property owner is responsible for maintaining fences on their property in good repair and in a structurally sound condition. Fences shall be maintained in a manner as to prevent rust, corrosion and deterioration, so as not to become a public or private nuisance, and so as not to be dilapidated or a danger to adjoining property owners or the public. Fences shall not create an appearance of patchwork, which is indicative of a state of disrepair. Every fence installed shall be maintained by the owner in such a way that it will remain plumb and in good repair. All fences shall be constructed and maintained in a good aesthetic condition and in such a manner and of such materials and colors so as not to adversely affect the value of adjoining property or property in the immediate neighborhood. Fences shall also comply with the property maintenance regulations adopted by the city (Chapter 36 of the municipal code).

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