



PLAN COMMISSION MEETING

September 8, 2022
4:00 PM

PUBLIC MEETING NOTICE

PLANNING COMMISSION

Mayor Blaser, Chairperson
Ryan Austin, Alderperson
Lee Thao
Eric Daven
Susan Feith
Ben Goodreau
Thaddeus Kubisiak

AGENDA ITEM RECIPIENTS

Sue Schill, City Attorney
Erika Esser, Secretary
Jennifer Gossick, City Clerk

Notice is hereby given of a meeting of the Wisconsin Rapids Plan Commission held within the Council Chambers at City Hall, 444 West Grand Avenue, Wisconsin Rapids, and via remote audioconferencing on **September 8, 2022, at 4:00 PM. The public can listen to the meeting by calling 1-312-626-6799, Access code: 845 9415 8156.** The meeting will also be streamed LIVE on the City of Wisconsin Rapids Facebook page. This meeting is also available after its conclusion on the City's Facebook page and Community Media's YouTube page, which can be accessed at www.wr-cm.org. If a member of the public wishes to submit comments to the Commission regarding an agenda item, please contact the Community Development Department via email or phone at CommunityDevelopment@wirapids.org or 715-421-8228 before the meeting.

AGENDA

1. Approval of the report from the August 1, 2022, Plan Commission meeting
2. Vandewalle & Associates – Wisconsin Rapids Recovery & Redevelopment Plan Update
3. **Argil L Jackson; Extraterritorial CSM:** request for Certified Survey Map approval for the creation of 2 lots, of which are under 5 acres, within the Town of Saratoga at 8950 STH 13 South (County Parcel ID 1800159).
4. **Joe Winkelman; Extraterritorial CSM:** request for Certified Survey Map approval for the creation of 2 lots, one of which is 5 acres, within the Town of Grand Rapids at 1721 48th Street South (County Parcel ID 0700677A).
5. **Carol Wunrow-Brody – 22-000952;** request for a site plan review to construct greenhouse structures and site improvements at 2320 Sampson Street (Parcel ID 3411091)
6. **pb2 architecture and engineering – 22-000874:** public hearing and action on a request for a Conditional Use Permit Amendment to expand the retail use by constructing an addition onto Walmart at 4331 8th Street South (Parcel ID 3414264).

- 7. Altmann Construction Company Inc., representing Mary's Place – 22-000931:** public hearing and action on a request for a conditional use permit to renovate a building for multi-family housing and the operation of a temporary residential shelter at 520 8th Avenue South (Parcel ID 3402962)
- 8. City of Wisconsin Rapids – 22-000929:** public hearing and action on a request to amend Chapter 11-Zoning Ordinance, specifically Appendix A Land-Use Matrix, and Appendix B Land Uses to reclassify and define Tourist Rooming House.
- 9. Adjourn**

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at this meeting is not possible due to a disability or other reasons, notification to the city clerk's office at least 24 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the clerk at (715) 421-8200 to request accommodations.

PUBLISH: August 19th & August 26th, 2022

NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE that the City of Wisconsin Rapids Planning Commission will hold a **Public Hearing on Thursday, September 8, 2022 at 4:00 PM** within the Council Chambers at City Hall, 444 West Grand Avenue, Wisconsin Rapids. Participation at the public hearing can be in-person or via remote audioconferencing. **The public can also participate in the hearing by calling 1-312-626-6799, Access code: 845 9415 8156.** The meeting will also be streamed LIVE on the City of Wisconsin Rapids Facebook page. The following items will be heard and possibly acted on:

1. Public hearing and action on a request from pb2 architecture and engineering for a Conditional Use Permit Amendment to expand the retail use by constructing an addition onto Walmart at 4331 8th Street South (Parcel ID 3414264).
2. Public hearing and action on a request from the City of Wisconsin Rapids to amend Chapter 11-Zoning Ordinance, specifically Appendix A Land-Use Matrix, and Appendix B Land Uses to reclassify and define Tourist Rooming House.

Further details regarding the specific requests can be obtained within the Community Development Department at City Hall, or by calling the department at 715-421-8228.

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk's office at least 48 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the Clerk at (715) 421-8200 to request accommodations.

Jennifer Gossick,
Wisconsin Rapids City Clerk

PUBLISH: August 24th & August 31st, 2022

NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE that the City of Wisconsin Rapids Planning Commission will hold a **Public Hearing on Thursday, September 8, 2022 at 4:00 PM** within the Council Chambers at City Hall, 444 West Grand Avenue, Wisconsin Rapids. Participation at the public hearing can be in-person or via remote audioconferencing. **The public can also participate in the hearing by calling 1-312-626-6799, Access code: 845 9415 8156.** The meeting will also be streamed LIVE on the City of Wisconsin Rapids Facebook page. The following items will be heard and possibly acted on:

1. Public hearing and action on a request from Altmann Construction Company Inc., representing Mary's Place, for a Conditional Use Permit to renovate a building for the operation of a temporary residential shelter at 520 8th Avenue South (Parcel ID 3402962).

Further details regarding the specific requests can be obtained within the Community Development Department at City Hall, or by calling the department at 715-421-8228.

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk's office at least 48 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the Clerk at (715) 421-8200 to request accommodations.

Jennifer Gossick,
Wisconsin Rapids City Clerk

REPORT OF THE PLANNING COMMISSION

Date of Meeting: August 1, 2022

Report #1

The Planning Commission met at 4:00 p.m. on August 1, 2022 in the City of Wisconsin Rapids Council Chambers, 444 West Grand Avenue, and via remote audioconferencing. Members present included Chairperson Shane Blaser, Ryan Austin, Eric Daven, Ben Goodreau, and Thaddeus Kubisiak. Susan Feith was excused; Lee Thao was absent. Also, in attendance were, Community Development Director Kyle Kearns, Associate Planner Carrie Edmondson, Alderperson Dennis Polach, Bob Kolrud, Len Erickson, Craig Broeren, Geno Carlson, Debra Pritchett, Mary Schill, Meredith Kleker, and Kim Kinsey. Attending via Zoom were Alderperson Dean Veneman and Aaron Nelson.

The meeting was called to order at 4:01 p.m.

1. Approval of the reports from the July 7, 2022 Plan Commission meeting.

Motion by Goodreau to approve the report from the July 7, 2022 Plan Commission meeting including the attendee correction; second by Austin.

Motion carried (5 – 0)

2. Vandewalle & Associates – Wisconsin Rapids Recovery & Redevelopment Plan Update

Kyle Kearns provided a review of the Forest Industries of the Future symposium which was held on July 21st, 2022. The webinar was recorded and available on the Community Development web page under Planning and Zoning. The on-line survey for this project will remain for another week or two.

3. **Wisconsin Rapids Public Schools District – 22-000749:** request for site plan review to perform site improvements at 1801 16th Street South (Parcel ID 3414751)

Mr. Kearns provided a synopsis of project 22-000749. Staff recommended approval with the 8 listed conditions from the staff report as well as an additional condition that an updated site plan showing proper dimensions of parking stalls and aisles be submitted to the Community Development for review.

Conversations ensued between Commissioners and Staff regarding the additional footage to the east, the distance to the road to the back of the lot, ingress and egress, the traffic flow at the northern entrance, and sidewalk requirements. Craig Broeren added his comments about the location of the sidewalks and addressed Mr. Daven's questions about the drop-off area.

Motion by Blaser to approve the request for site plan review to perform site improvements at 1801 16th Street South (Parcel ID 3414751), subject to the following conditions:

1. Proper signage shall be installed identifying vehicle directions.
2. 3,413 square feet of landscaping plantings must be integrated within the parking lot perimeter.
3. A lighting plan shall be submitted for review by the Community Development Department.
4. Light from the parking area shall not exceed 0.2 foot-candles at a neighboring commercial property line and 0.1 foot-candles at the neighboring residential property line.
5. All applicable right-of-way and stormwater permits must be obtained through the Engineering Department.

6. Stormwater management must comply with Chapters 32 and Chapter 35 of the Municipal Code during and after construction.
7. An updated site plan shall be submitted showing dimensional standards, to be reviewed and approved by the Community Development Department.
8. All applicable permits through the City shall be obtained.
9. Community Development Department staff shall have the authority to approve minor modifications to the plans.

second by Austin.

Motion carried (5 – 0)

4. **Debra Pritchett – 22-000685:** Public hearing and action on a request for a conditional use permit to operate a tourist rooming house at 541 Baker Street (Parcel ID 3407693)

Carrie Edmondson provided a synopsis for the conditional use permit request at 541 Baker Street. Staff recommended approval with the conditions listed in the staff report.

Public hearing opened at 4:16 p.m.

No one spoke against or in favor of the request

Public hearing closed at 4:17 p.m.

Motion by Austin to approve the request for a conditional use permit to operate a tourist rooming house at 541 Baker Street (Parcel ID 3407693), subject to the following conditions:

1. The establishment shall have a current license, as required by the Wisconsin Department of Health Services, Wisconsin Administrative Code Chapter 195.
2. The applicable permit must be displayed in a conspicuous location.
3. The owner shall register with the Clerk's and/or Treasurer's office and shall pay room tax as required.
4. An accurate register of guest names shall be maintained for a guest history of no less than one year.
5. An agent who resides within 5 miles of the City must be named as a primary point of contact.
6. Prior to establishment, the City Inspector shall confirm that the dwelling meets all building code requirements.
7. The conditional use permit shall be reviewed by the Community Development Department 6 months after approval, upon which it can be scheduled for review by the Plan Commission and Common Council if necessary due to failure to comply with conditions and standards of review.
8. The transfer of property ownership shall require a review of the conditional use permit by the Plan Commission and Common Council, prior to the operation of the use under new ownership.
9. The current owner and operator of the use shall notify the City in writing prior to the transfer of ownership.

second by Goodreau.

Staff and Commissioners had a short discussion regarding the means for regulating tourist rooming houses and Mr. Kearns mentioned that an ordinance amendment proposal and public hearing would be on the agenda for the September Plan Commission meeting.

Motion carried (5 – 0)

- 5. Kim Kinsey – 22-000686:** Public hearing and action on a request for a conditional use permit to operate a tourist rooming house at 1651 Riverwood Lane (Parcel ID 3408659)

Carrie Edmondson gave a review of conditional use permit request and Staff recommended approval with the conditions outlined in the staff report.

Public hearing opened at 4:23 p.m.

No one spoke against or in favor of the request

Public hearing closed at 4:24 p.m.

Motion by Goodreau to approve the request for a conditional use permit to operate a tourist rooming house at 1651 Riverwood Lane (Parcel ID 3408659), subject to the following conditions:

1. The establishment shall have a current license, as required by the Wisconsin Department of Health Services, Wisconsin Administrative Code Chapter 195.
2. The applicable permit must be displayed in a conspicuous location.
3. The owner shall register with the Clerk's and/or Treasurer's office and shall pay room tax as required.
4. An accurate register of guest names shall be maintained for a guest history of no less than one year.
5. An agent who resides within 5 miles of the City must be named as a primary point of contact.
6. Prior to establishment, the City Inspector shall confirm that the dwelling meets all building code requirements.
7. The conditional use permit shall be reviewed by the Community Development Department 6 months after approval, upon which it can be scheduled for review by the Plan Commission and Common Council if necessary due to failure to comply with conditions and standards of review.
8. The transfer of property ownership shall require a review of the conditional use permit by the Plan Commission and Common Council, prior to the operation of the use under new ownership.
9. The current owner and operator of the use shall notify the City in writing prior to the transfer of ownership.

second by Austin.

Motion carried (5 – 0)

- 6. Adjourn**

Motion by Goodreau to adjourn the meeting; second by Blaser.

Motion carried (5 – 0)

Meeting adjourned at 4:25 p.m.

Respectfully submitted by Erika Esser, Secretary



VANDEWALLE & ASSOCIATES INC.

To: Common Council, City of Wisconsin Rapids
Plan Commission, City of Wisconsin Rapids
Recovery and Reuse Project Steering Committee

From: Scott Harrington, AICP, Principal Planner
Sonja Kruesel, AICP, Associate Planner

Date: August 26, 2022

Re: Recovery and Reuse Plan Progress Report

Vandewalle & Associates and a sub-consultant team have contracted with the City of Wisconsin Rapids to develop a Recovery and Reuse Plan and Implementation Strategy in response to the idling of the Verso Papermill. This memo provides a status update as project work continues to progress, and supplements previous reports submitted.

As a recap, the following project activities have been completed. The primary focus of project work at this time is synthesis from project work and research to-date into the drafting of an economic opportunities analysis report.

- The “Forest Industries of the Future” symposium was held on Thursday July 21, 2022. The event started with an introduction by project team members. The second session featured research and innovative forest products. Presenters highlighted products in exterior, interior, and structural building materials, energy, and packaging. The final session featured a panel session of professionals who work in commercialization of research and economic development. Over 80 individuals registered to attend the symposium which actual attendance during the event totaling over 50 individuals. Following the event, the recording, presentation slides, speaker contact information, and registration list were emailed directly to those who registered. This information is also now posted on the city’s project webpage.
- Input sessions were held with the Plan Commission and Common Council, as well as the public. Events occurred on May 10, 2022, and June 1, 2022, respectively. Attendees heard a presentation from the planning consultant and engaged in an exercise to identify individual and group priorities. Through a sticky-dot voting system, the meetings concluded by identifying the top priorities of the group regarding mill’s future. These priorities will be incorporated into visioning and reuse or redevelopment scenarios for the mill. At the public meeting, participants were also asked to share a favorite memory or identify any sense of loss due to the mill’s closure.
- The same input questions from the above exercises were posted on the city website for members of the public to share additional responses. This survey was advertised by city staff and the Heart of Wisconsin

120 East Lakeside Street • Madison, Wisconsin 53715 • 608.255.3988 • 608.255.0814 Fax
247 Freshwater Way, Suite 530 • Milwaukee, Wisconsin 53204 • 414.988.8631
www.vandewalle.com

Chamber of Commerce. Over 200 responses have been received since posting. A summary of survey results is being drafted.

- We initially anticipated completing the Economic Recovery study first (by early spring) followed by the Site Reuse Plan (early summer), but delays in coordinating with others for both portions have caused us to complete these together rather than separately. As a result, we should have drafts of both items to share late summer/early fall.
- Draft Economic Opportunities Analysis in progress. A draft report is underway that includes a synthesis of previous related economic studies and information gathered in project work to date. This work includes an analysis of workforce data, stakeholder meetings, purchaser meetings, the public input session, the Plan Commission and Common Council input session, public survey, and industry innovation symposium. From this data, economic opportunities are being identified.



Memo

To: Plan Commission

From: Kyle Kearns

Date: 8/29/2022

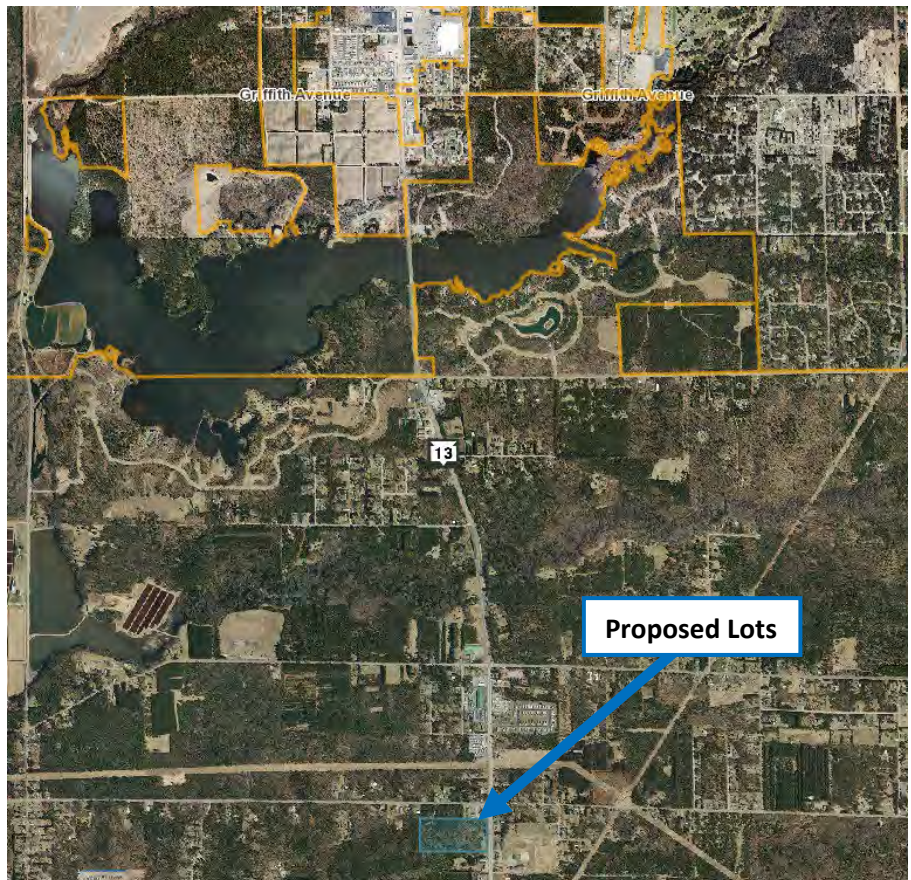
Subject: **Argil L Jackson; Extraterritorial CSM:** request for Certified Survey Map approval for the creation of 2 lots, of which are under 5 acres, within the Town of Saratoga at 8950 STH 13 South (County Parcel ID 1800159).

Joe Winkelman; Extraterritorial CSM: request for Certified Survey Map approval for the creation of 2 lots, one of which is 5 acres, within the Town of Grand Rapids at 1721 48th Street South (County Parcel ID 0700677A).

The first request is for an extraterritorial CSM to create 2 lots in the Town of Saratoga, of which are under 5 acres, which requires Plan Commission review. A vicinity map has been provided below showing the location of the lots. The proposed lots are 1 acre and nearly 4 acres, which are compatible to nearby mixed-use lot within the vicinity.

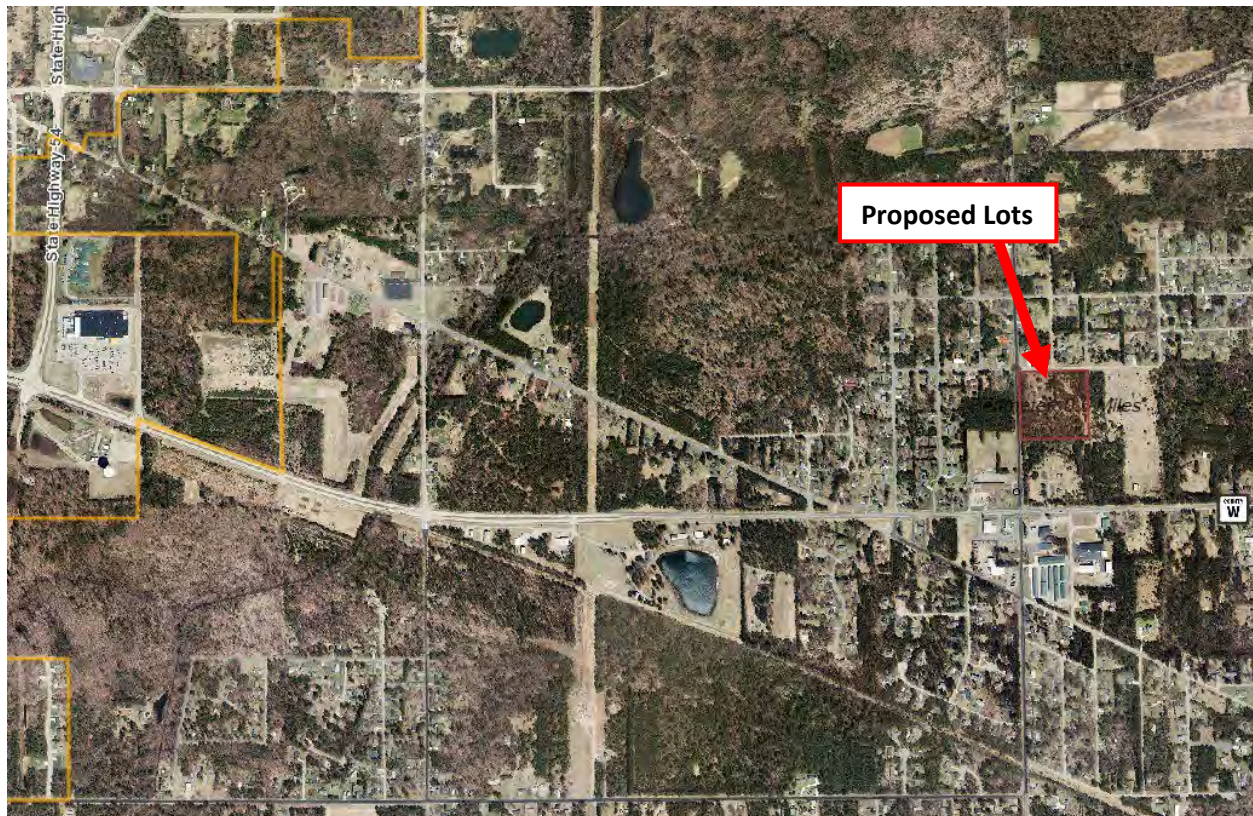
Vicinity Map

The City's Comprehensive Plan future land use map does not specifically identify the area; however, the city exercises extraterritorial plat review. The area in question seems appropriate to develop as commercial or residential. A residential home currently exists on lot 1 and lot 2 could develop as either, but the highway 13 corridor caters to commercial development. Lots within the area vary significantly dependent upon use, ranging from 1 acre to over 20 acres. Furthermore, the area is over 2.5 miles beyond the city boundary and likely beyond the realistic growth area in the next several decades, if ever. Therefore, staff would recommend approval of the extraterritorial survey.




The second request is also for an extraterritorial CSM to create 2 lots in the Town of Saratoga, one of which is under 5 acres, which requires Plan Commission review. A vicinity map has been provided below showing the location of the lots. The proposed lots are almost 2 acres and over 7 acres respectively. Many smaller developed single-family properties surround the lots, making the lot split more compatible with the area.

Vicinity Map



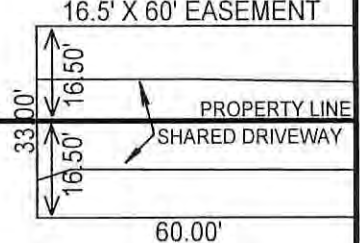
The City's Comprehensive Plan future land use map does not specifically identify the area; however, the city exercises extraterritorial plat review. The area in question seems most appropriate to develop as residential. A residential home currently exists on lot 1 and would remain. The shape of lot two is not ideal as it resembles a flag lot. Again, lots within the area vary but many are smaller, due to the existing residential neighborhoods. Furthermore, the area is about 1.5 miles beyond the city boundary and surrounded by existing township neighborhoods. Therefore, staff would recommend approval of the extraterritorial survey.

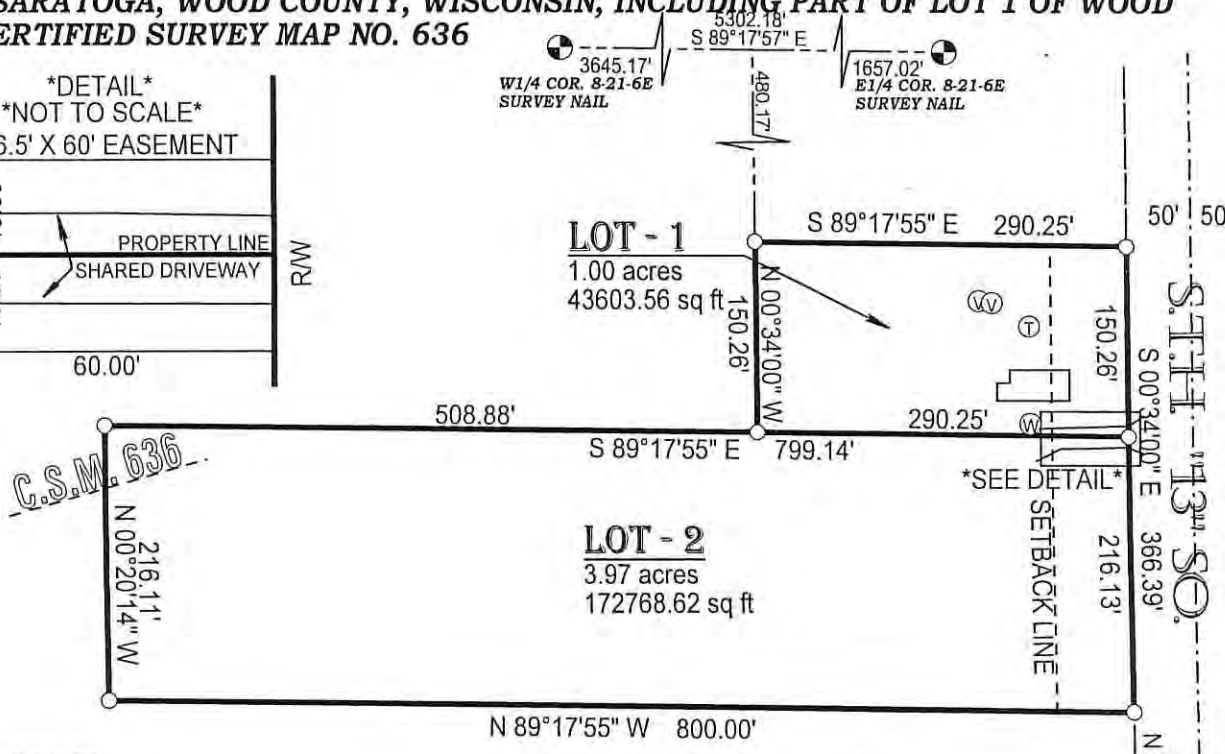
 BADGER - LAND SURVEY, LLC 2610 WEST GRAND AVE. WISCONSIN RAPIDS, WI. 54495 © 2022, BADGER-LAND SURVEY, LLC	PHONE: (715) 424 - 5900 FAX: (715) 424 - 5901 E-MAIL: blsurvey@wctc.net www.badgerlandsurvey.com	PREPARED FOR: ARGIL L JACKSON C/O GENEVA RAPP 430 FREMONT ST WISCONSIN RAPIDS WI 54495
	IF THE SURVEYOR'S SEAL IS NOT RED IN COLOR, THIS MAP IS A COPY AND SHOULD BE ASSUMED TO CONTAIN UNAUTHORIZED ALTERATIONS. THE CERTIFICATION DOES NOT APPLY TO COPIES.	DRAWN BY: EMW JOB#: 40797E1

WOOD COUNTY CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE NW1/4 SE1/4 OF SECTION 8, TOWNSHIP 21 NORTH, RANGE 6 EAST, TOWN OF SARATOGA, WOOD COUNTY, WISCONSIN, INCLUDING PART OF LOT 1 OF WOOD COUNTY CERTIFIED SURVEY MAP NO. 636

DETAIL
NOT TO SCALE
16.5' X 60' EASEMENT





LOT - 1
1.00 acres
43603.56 sq ft

LOT - 2
3.97 acres
172768.62 sq ft

SURVEYOR'S CERTIFICATE:

I, KEVIN M. WHIPPLE, PROFESSIONAL LAND SURVEYOR, hereby certify:

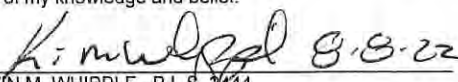
That I have surveyed, divided and mapped this Certified Survey Map, being part of the NW1/4 SE1/4 of Section 8, Township 21 North, Range 6 East, Town of Saratoga, Wood County, Wisconsin, including part of Lot 1 of Wood County Certified Survey Map No. 636, bounded and described as follows:

Commencing at the E1/4 COR. 8-21-6E;
Thence along the E - W 1/4 Line on a bearing of N 89°17'57" W, a distance of 1657.02';
Thence S 00°34'00" E, a distance of 480.17' to an iron monument being the POINT OF BEGINNING;
Thence S 89°17'55" E, a distance of 290.25' to an iron monument;
Thence along the West R/W Line of S.T.H. 13" on a bearing of S 00°34'00" E, a distance of 366.39' to an iron monument;
Thence N 89°17'55" W, a distance of 800.00' to an iron monument;
Thence N 00°20'14" W, a distance of 216.11' to an iron monument;
Thence S 89°17'55" E, a distance of 508.88' to an iron monument;
Thence N 00°34'00" W, a distance of 150.26' to the POINT OF BEGINNING; subject to right-of-ways, easements, restrictions and reservations of record, IF ANY.

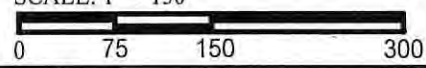
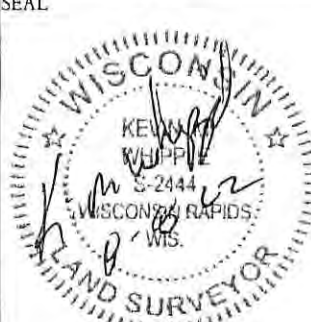
That I have made such survey at the direction of: **ARGIL L JACKSON - OWNER**
C/O GENEVA RAPP
430 FREMONT ST
WISCONSIN RAPIDS WI 54495

⓪ SEPTIC VENT FOUND
⓪ SEPTIC TANK FOUND
⓪ WELL FOUND
⓪ 3/4" X 18" IRON ROD SET (1.5#/FT)

That such map is a correct representation of the exterior boundaries of the land surveyed and the subdivision thereof made; That I have complied fully with the provisions of Chapter 236.34 Wisconsin Statutes and the Wood County Subdivision Ordinances to the best of my knowledge and belief.


KEVIN M. WHIPPLE, P.L.S. 2444
Drafted By: ERIK PROCHNOW
FIELD WORK COMPLETED ON: 8/2/2022

EASEMENT NOTE:
THE EASEMENT SHOWN HEREON IS NOT VALID UNLESS A DOCUMENT IS SIGNED AND RECORDED TO GRANT SAID EASEMENT!

BASIS FOR BEARINGS: THE E - W 1/4 LINE ASSIGNED A BEARING OF S 89°17'57" E FOR THIS MAP.	SCALE: 1" = 150' 
STATE OF WISCONSIN) COUNTY OF WOOD) This map is approved in accordance with the Wood County Land Subdivision Ordinance. Approved this _____ day of _____, 20____	SEAL 

WOOD COUNTY PLANNING AGENCY
PLAT REVIEW OFFICER
RESTRICTION - Soil evaluations have not been submitted, therefore, it is unknown if these lots created by this map meet the requirements of Wood County Private Sewage Systems Ordinance for private on-site waste treatment system.
This map DOES NOT transfer property ownership. Sale or transfer of property requires a recorded deed.

VOL. _____ PAGE _____

WOOD COUNTY CERTIFIED SURVEY MAP NO. _____

FOR
Joe Winkelman

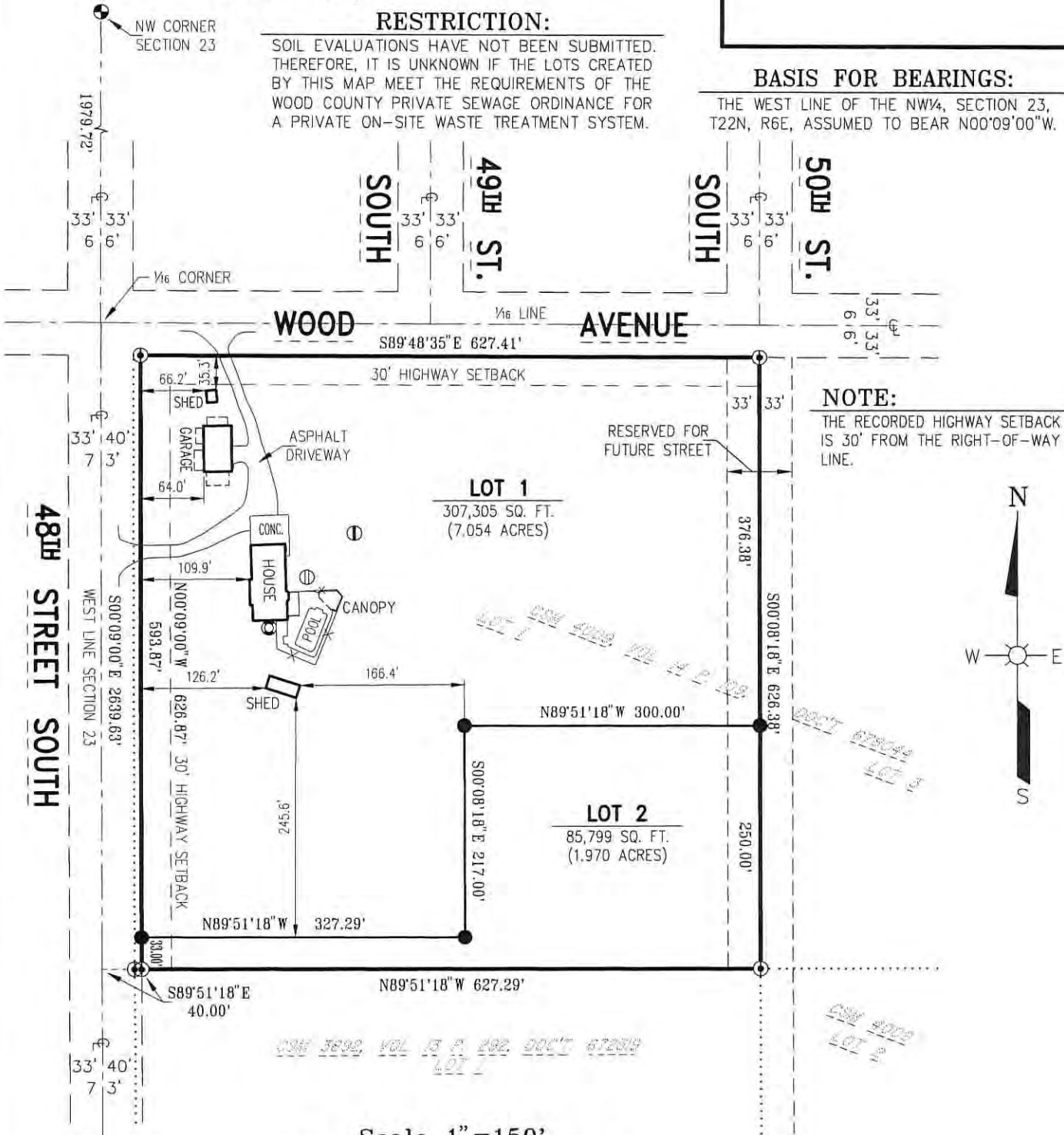
All of Lot 1, CSM 4009 as recorded in Volume 14 on
Page 109 as Document No. 678044, Being part of the
SW¼NW¼, Section 23, T22N, R6E, Town of Grand Rapids,
Wood County, Wisconsin

RESTRICTION:

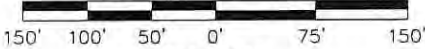
SOIL EVALUATIONS HAVE NOT BEEN SUBMITTED.
THEREFORE, IT IS UNKNOWN IF THE LOTS CREATED
BY THIS MAP MEET THE REQUIREMENTS OF THE
WOOD COUNTY PRIVATE SEWAGE ORDINANCE FOR
A PRIVATE ON-SITE WASTE TREATMENT SYSTEM.

BASIS FOR BEARINGS:

THE WEST LINE OF THE NW¼, SECTION 23,
T22N, R6E, ASSUMED TO BEAR N00°09'00"W.



Scale 1"=150'



LEGEND:

- SURVEY NAIL FOUND
- ¾"x24" REBAR SET-1.502 LB/FT.
- ¾" ROD FOUND
- WELL
- ⊕ HOLDING TANK
- ⊕ SEPTIC SYSTEM VENT
- *** FENCE
- PREVIOUSLY RECORDED AS (CSM 3892)

Dwg. No. 10487-A-1-A

Project No. 22-84

Drawn By: Jim Brasel

Date: September 1, 2022

Sheet 1 of 2 Sheets



ESP GROUP, INC.

LAMPERT-LEE & ASSOCIATES

ENGINEERS • SURVEYORS • PLANNERS

10968 State Hwy. 54 East • Wisconsin Rapids, WI 54494-8718
715-424-3131 • FAX 715-423-8774

OWNER:

MICHELLE R. VAN ERT REVOCABLE TRUST
1721 48TH STREET SOUTH
WISCONSIN RAPIDS, WI 54494

This map does not transfer property ownership.
Sale or transfer of property requires a deed.

WOOD COUNTY CERTIFIED SURVEY MAP

All of Lot 1, CSM 4099 as recorded in Volume 14 on Page 109 as Document No. 678044, Being part of the SW1/4NW1/4, Section 23, T22N, R6E, Town of Grand Rapids, Wood County, Wisconsin

STATE OF WISCONSIN)
WOOD COUNTY)^{SS}

I, Thomas J. Trzinski, Professional Land Surveyor, hereby certify:

That I have surveyed and mapped the property described and represented on this certified survey map and the field work was completed in July and September, 2022.

That I have made such survey and map by the direction of Joe Winkelman.

That such survey and map is a correct representation of the exterior boundaries of the land surveyed, described as:

All of Lot 1, CSM 4099 as recorded in Volume 14 on Page 109 as Document No. 678044, Being part of the SW1/4NW1/4, Section 23, T22N, R6E, Town of Grand Rapids, Wood County, Wisconsin, containing 393,104 square feet or 9.024 acres.

That I have complied with the provisions of Chapter 236.34 of the Wisconsin Statutes, Chapter A-E7 of the Wisconsin Administrative Code, Chapter 701, Land Subdivision, of the Wood County Code of Ordinances, and the applicable Town of Grand Rapids Zoning and Building Ordinances in surveying, dividing and mapping the same.

Dated this 17TH day of June, 2022.

Thomas J. Trzinski
Professional Land Surveyor, S-2636

WOOD COUNTY DEPARTMENT OF PLANNING AND ZONING

Approved in accordance with the Chapter 701, the Wood County Land Subdivision Ordinance, this _____ day of _____, 2022.

Wood County Department of Planning and Zoning Plat Review Officer

TOWN OF GRAND RAPIDS PLAN COMMISSION

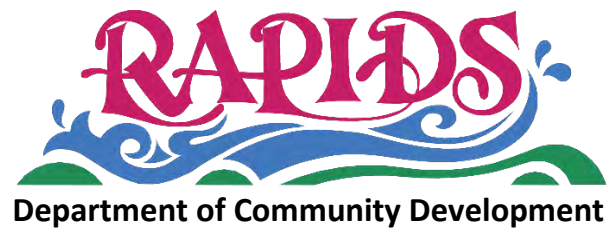
The foregoing certified survey map has been submitted to the Town of Grand Rapids Plan Commission for review and approval as to conformity with Chapter 51, Land Subdivision, of the Town of Grand Rapids Code of Ordinances and any other applicable regulations on this _____ day of _____, 2022.

Town of Grand Rapids Plan Commission

By: _____, Chair

Administrative Staff Report

Site Plan Review: Greenhouse
2320 Sampson Street
September 1, 2022



<p>Applicant(s):</p> <ul style="list-style-type: none"> Carol Wunrow-Brody <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns, Community Development Director Carrie Edmondson, Associate Planner <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3411091 <p>Lot Information:</p> <ul style="list-style-type: none"> Effective Frontage: 100 feet Effective Depth: 144 feet Acreage: 0.329 Acres <p>Zone(s):</p> <ul style="list-style-type: none"> "R-2" Mixed Residential District <p>Council District:</p> <ul style="list-style-type: none"> District 7 – Delaney <p>Master Plan:</p> <ul style="list-style-type: none"> Residential <p>Current Use:</p> <ul style="list-style-type: none"> Garage and landscape storage <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 - Zoning 	<p>Request</p> <p>Carol Wunrow-Brody – 22-000952: request for a site plan review to construct greenhouse structures and site improvements at 2320 Sampson Street (Parcel ID 3411091)</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Application Narrative Building Specifications Plans <p>Findings of Fact</p> <ol style="list-style-type: none"> The applicant is requesting to construct three new greenhouse hoop houses. The hoop houses are 48 feet x 16 feet; 40 feet x 16 feet; and 32 feet x 16 feet. The property is zoned "R-2" Mixed Residential District. The applicant has received a use variance to operate a greenhouse at the subject location. The greenhouse use requires – site plan (SP), plan of operation (PO), and a zoning permit (ZP). <p>Staff Recommendation</p> <p>Approve the request from the applicant for a site plan review to construct greenhouse structures at 2320 Sampson Street (Parcel ID 3411091), subject to the following condition(s):</p> <ol style="list-style-type: none"> The trash container shall be appropriately screened from public view, to be reviewed and approved by the Community Development Department. A landscape plan shall be submitted that includes 60 points of frontage landscape points, to be reviewed and approved by the Community Development Department. Outdoor storage shall be screened from public view, however plants, dirt, and related items available for retail sales shall be permitted to be free of screening. Any outdoor lighting shall not exceed 0.1 foot-candles at neighboring residential uses.
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	<div>5) All applicable permits through the City shall be obtained.</div> <div>6) Community development staff shall have the authority to approve minor modifications to the plans, including adjusting placement of structures as needed to meet building code requirements.</div>
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Vicinity Map



Site Photos





Background

The applicant, Carol Wunrow-Brody, has been operating a successful greenhouse business at her place of residence at 2331 Sampson Street since 1961. She applied for and received a conditional use permit for the greenhouse use at the 2331 Sampson Street location in 1985. Subsequently, the applicant purchased the property across the street, 2320 Sampson Street, from the City of Wisconsin Rapids. In 1986, the applicant requested an amendment to their conditional use permit for the 2320 Sampson Street location to be used for off-street customer parking and landscaping. In 1989, they requested a second amendment to the conditional use permit to allow construction of a small storage shed, and small area of cement to hold bulk dirt, and for the possibility in the future of putting up a small temporary hoop house for spring use. In August of 2022 they were approved for a use variance by the Zoning Board of Appeals for a greenhouse use at the 2320 Sampson Street location. The request involved the construction of three additional hoop houses to store products associated with the greenhouse use.

Chapter 11 – Zoning provides the following description and standards for a greenhouse use:

Greenhouse

Description: *A place where fruit, vegetables, flowers, and other types of plants are grown within an enclosed building for commercial purposes, whether using sunlight or artificial lighting. Plants grown on site may be sold at retail along with other related merchandise provided the sale of such merchandise is clearly subordinate to the sale of plants.*

Parking Requirements: *1 space for each employee on the largest work shift, plus 1 space for each 600 square feet of retail floor area if plants are offered for retail sale*

Supplemental Standards: *Aside from generally applicable standards, no special standards apply to greenhouses*

The three structures are traditional greenhouse hoop houses consisting of frames constructed of steel tubing with a polycarbonate roof covering. The structures are ventilated and able to withstand snow load. The applicant plans to leave the structures on site permanently. Therefore, these are permanent structures, rather than temporary structures. After review, staff is recommending approval of the proposed greenhouse structures with conditions. Below is a detailed review of the applicable site plan standards.

Standards of Review

1) Use

Analysis: Greenhouses are not permitted in the R-2 Mixed Residential District. However, in August of 2022 the Zoning Board of Appeals granted a use variance for this use. Therefore, the greenhouse use is permitted at this location.

Findings: This use is permitted and the proposed greenhouse structures are those typically utilized for storage of plants. Note that a building plan – site plan review (SP), plan of operation (PO), and zoning permit (ZP) are required.

2) Dimensional Standards

Analysis: The R-2 district requires 7,500 square feet for single-family and 10,000 square feet for two-family, and the lot is 14,312 square feet. Three new principal buildings are proposed to be added. There are two existing buildings on site.

Findings: The proposed principal buildings appear to meet dimensional requirements, including setbacks and lot coverage requirements, as proposed. However, there is some concern with the amount of space available to meet both setbacks and building code requirements for separation and ingress and egress as proposed. Therefore, there may be some adjustment required in the configuration of the three structures.

3) Ingress/Egress

Analysis: There are two points of ingress and egress both from Sampson Street. There are no changes proposed to ingress and egress.

Findings: Driveway standards are met, as no changes are proposed to the ingress/egress to the site.

4) Parking

Analysis: The use requires one space for each employee on the largest work shift, plus 1 space for each 600 square feet of retail floor area if plants are offered for retail sale. In this case there are 2,176 square feet of retail floor space requiring four parking spaces plus one employee for a total of five required spaces. The site has adequate space for six parking stalls. Additionally, Chapter 11 Zoning Section 11.17.03 Off-street parking (h) states that agricultural uses (including greenhouses) may use crushed gravel in lieu of hard surfaced paving.

Findings: The six off-street parking spaces as shown meets the parking requirements. However, the angled parking would need to be modified to be 90-degree parking, and possibly be repositions internally.

5) Landscaping

Analysis: The proposed project requires frontage and foundation landscaping. Foundation landscaping points are required at a rate of 40 landscape points for every 100 feet of building foundation perimeter. The building has 336 lineal feet of foundation, meaning 135 perimeter landscape points are required. Frontage landscaping is required at a rate of 60 points per 100 feet of frontage. In this case 60 points of landscape frontage plantings are required, as frontage on Sampson Street is 100 feet. Frontage plantings are required to be placed within 10 feet of the public right-of-way. No parking lot landscaping is required, as no paved area is proposed.

Findings: A condition of approval has been added requiring that the 60 frontage landscape points be integrated into the landscaping plan. Staff is proposing that the existing shrubs and small trees (a total of at least 50 points as shown on the submitted plan) on site be combined with the evergreen and deciduous shrubs and perennials that will be stored outside for seasonal sale to satisfy the required foundation planting points requirement.

6) Architectural Review

Analysis: The proposed structures will be traditional greenhouse structures.

Findings: The architecture of the proposed structures is consistent with architectural elements typically incorporated into greenhouse structures. A dumpster exists on site that shall be screened appropriately. Therefore, staff would recommend the trash container be appropriately screened from public view, to be reviewed and approved by the Community Development Department.

7) Lighting & Photometric Plan

Analysis: There is no known exterior lighting proposed with this project. In the case that outdoor lighting is proposed, it would be allowed to be no more than 0.1 foot-candles at the neighboring residential uses.

Findings: Any outdoor lighting proposed would be subject to outdoor lighting requirements outlined in Chapter 11 – Zoning.

In summary, the proposed greenhouse use has been approved and the three structures are consistent with the use. Placement of the structures will allow space for vehicle circulation and will provide space for customers to select plants and pick-up purchased materials. The aesthetics of the proposed structures are consistent with a neighborhood greenhouse use. Therefore, staff would recommend approval of the site plan subject to the items mentioned above and summarized on pages one and two of the staff report.

Sept. 8 4:00 PM
City Hall



Site Plan & Plan of Operation Application
City of Wisconsin Rapids, Wisconsin
Version: January 3, 2019

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The Planning Commission reviews site plans and plans of operation for those land uses specifically requiring such review as listed in the land-use matrix (Appendix A of the zoning code).

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

Application fee: \$175.00 for new; \$125.00 for amendment of prior approval

Note: Site plan/plan of operation review and architectural review can be combined into one application fee.

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Office Use Only

Date Received 8/31/22
Received By CE
Fee \$175.00
Case # 22-000952
Aldermanic District 7 Delaney
Plan Commission Date 9/8/22

1. Applicant information

Applicant name Carol Wunrow - Brody
Street address 2331 Sampson St.
City, state, zip code Wisconsin Rapids, WI 54494
Daytime telephone number 715-423-5981
Email wunrows@a-solarus.biz

2. Agent contact information Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Agent 1 <u>No agent</u>	Agent 2
Name	<u>Jeff Wunrow / Carol Wunrow Brody</u>	
Company		
Street address	<u>1020-21st Ave So / 2331 Sampson</u>	
City, state, zip code	<u>W.R.</u>	
Daytime telephone number	<u>715-421-2579 / 715-423-5981</u>	
Email		

3. Type of application (check all that apply)

- ☒ Site plan Complete Part A, B and D
☐ Plan of operation Complete Part A, C and D

- ☒ New project
☐ Amendment of prior approval (if any)

If an amendment, the date of last approval (if any): _____

Part A. About the Property

4. Subject property information

Physical address 2320 Sampson St Wisconsin Rapids
Parcel number(s) 3411091

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

- ☒ No
☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

- ☒ No
☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|--|---|--|
| <input type="checkbox"/> RR Rural Residential | <input type="checkbox"/> R-8 Manufactured Home Park | <input type="checkbox"/> M-1 General Industrial |
| <input checked="" type="checkbox"/> R-1 Single-family Residential | <input type="checkbox"/> B-1 Downtown Commercial | <input type="checkbox"/> M-2 Heavy Industrial |
| <input type="checkbox"/> R-2 Mixed Residential | <input type="checkbox"/> B-2 General Commercial | <input type="checkbox"/> I-1 Institutional |
| <input type="checkbox"/> R-3 Multi-family Medium Density Residential | <input checked="" type="checkbox"/> B-3 Neighborhood Commercial | <input type="checkbox"/> P-1 Park and Recreation |
| <input type="checkbox"/> R-4 Multi-family High Density Residential | <input type="checkbox"/> B-5 Mixed Use Commercial | <input type="checkbox"/> C-1 Conservancy |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Planned Development (PDD) | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Floodplain |
| <input type="checkbox"/> Downtown Design | <input type="checkbox"/> Shoreland-Wetland | <input type="checkbox"/> Wellhead Protection |

Part B. Site Plan (See the standards and requirements in Division 6 of Article 6.)

6. Building type. Which of the following building types best describes the building?

- | | | |
|--|--|--|
| <input type="checkbox"/> Townhouse | <input checked="" type="checkbox"/> Commercial | <input type="checkbox"/> Industrial |
| <input type="checkbox"/> Multi-family | <input checked="" type="checkbox"/> Work/live | <input type="checkbox"/> Parking structure |
| <input type="checkbox"/> Institutional | | |

Please refer to Appendix D for any design requirements that may apply.

7. Encroachments.

Aside from driveways connecting to the street, will any part of the proposed project encroach into a public right-of-way?

- ☒ No
☐ Yes

If yes, please explain.

8. Site parameters (area in square feet or acres)

Subject property _____
Building coverage _____
Outdoor storage _____
Stormwater facilities _____
Impervious surfaces _____
Landscaping and other undeveloped areas _____
Wetlands _____
100-year floodplain _____

Impervious surfaces include buildings, parking areas and driveways, sidewalks, decks, patios, and other types of 'hard' surfaces.

Attach appropriate documentation if there are any wetlands.

9. Street access

Name	New Access	Change to Existing Access	No Change to Existing Access
Sampson St.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

10. Traffic generation

Will the proposed project create 500 trips per day or more?

- ☒ No
☐ Yes Attach a traffic impact report to this application. See s. 11.06.151 of the zoning code for additional details.

Will the proposed project create 300 trips per day or more, but less than 500?

- ☒ No
☐ Yes The city may require a traffic impact report as described in s. 11.06.151 of the zoning code. Please contact the Community Development Department for further guidance.

11. Parking (See the standards and requirements in Article 17 of the zoning code.)

Minimum number of required spaces _____ See Appendix B of the zoning code for parking requirements for the proposed land use(s).
Proposed number of spaces _____ If the number of proposed spaces exceeds what is required by more than 15 percent, the Planning Commission may grant a special exception to allow oversized parking areas. (See s. 11.17.03(r) of the zoning code.)
ADA van accessible spaces _____

Other ADA accessible spaces _____

Number of electric charging stations (if any) _____

Charging stations are not required, but are recommended.

Bicycle parking spaces _____

Bike parking is not required, but is recommended. (See s. 11.17.06 of the zoning code.)

Number of spaces in front of the building _____

The number of spaces in front of the building may be limited depending on the zoning district. (See Appendix C of the zoning code.)

Number of spaces on the side(s) of the building _____

Number of spaces to the rear of the building _____

12. Outdoor lighting (See the standards and requirements in Article 18 of the zoning code.)

	Number of Fixtures	Lumens
Building 1	_____	_____
Building 2	_____	_____
Building 3	_____	_____
Parking lot 1	_____	_____
Parking lot 2	_____	_____
Parking lot 3	_____	_____
Other	_____	_____
Other	_____	_____
Total	_____	_____

Maximum lighting levels at each property boundary line (in footcandles): _____

Attach a photometric plan to this application along with manufacturer's cut sheets for the different kinds of light fixtures.

Height of parking lot lights above grade (if any): _____

13. Fencing. Will the proposed project include fencing?

☐ No

☒ Yes (See Article 15 of the zoning code for the standards and requirements that apply.)

If yes, please describe and/or attach a fencing plan.

Fence is already completely on 3 sides of property

14. Stormwater. Describe how stormwater generated on the site will be handled.

all walk paths will have granite.

We have not done anything about plans because we did not know if we could do it or not.

15. **Site plan.** Attach a site plan drawn to scale with the following information to the extent it applies to the proposed project. The items with an asterisk are required. Check those elements that are included.

Background Project Information	Buildings and Outdoor Storage/Activity Areas	Transportation Facilities (existing and proposed)
<input type="checkbox"/> Project name*	<input checked="" type="checkbox"/> Existing and proposed	<input checked="" type="checkbox"/> Streets
<input type="checkbox"/> Applicant name*	<input type="checkbox"/> Existing within 50 feet of subject property	<input checked="" type="checkbox"/> Driveways and road access onto public and private roads
<input type="checkbox"/> Preparation date/revision*	Required Setbacks	<input type="checkbox"/> Sidewalks and trails
<input type="checkbox"/> Name of preparer*	<input type="checkbox"/> Yard setbacks (front, side, rear and shore)	<input type="checkbox"/> Fire lanes (i.e., fire apparatus access)
	<input type="checkbox"/> On-site septic systems	<input type="checkbox"/> Clear visibility triangles (location and dimensions)
Survey Information	<input type="checkbox"/> On-site wells and off-site wells within 10 feet of the perimeter of the subject property	On-Site Parking (existing and proposed)
<input type="checkbox"/> North arrow and graphic scale*	Landscaping Features (existing and proposed)	<input type="checkbox"/> Access aisles and parking spaces by size
<input type="checkbox"/> Address of subject property or legal description*	<input checked="" type="checkbox"/> Fences, buffers, and berms	<input type="checkbox"/> Location of accessible parking spaces
<input type="checkbox"/> Property boundaries *	<input type="checkbox"/> Pervious and impervious surfaces by type	<input type="checkbox"/> Location and specifications/dimensions for accessibility ramps
<input type="checkbox"/> Acreage of subject property*	<input type="checkbox"/> Site amenities (benches, fountains, etc.)	<input type="checkbox"/> Type and location of on-site parking signs and traffic control signs
Project Development Information	<input checked="" type="checkbox"/> Existing trees and other prominent vegetation	<input type="checkbox"/> Surface materials for parking lot (e.g., concrete, bituminous concrete, pavers)
<input type="checkbox"/> Land use summary table by density/intensity and acreage*	<input checked="" type="checkbox"/> Trees / shrubs to be planted, including a plant list and specs.	<input checked="" type="checkbox"/> Snow storage areas
<input type="checkbox"/> Easements/rights-of-ways (location, width, purpose, ownership)	Trees / shrubs to be retained	<input type="checkbox"/> Areas designated for queuing of vehicles for drive-through facilities (e.g., car washes, drive-up service windows, etc.)
<input type="checkbox"/> Common areas/conservancy areas (location, purpose, ownership)	Outdoor Lighting (existing and proposed)	<input checked="" type="checkbox"/> Pedestrian walks between the parking lot and the building
<input type="checkbox"/> Land to be dedicated to the public (boundaries, area, purpose)	<input type="checkbox"/> Location	<input type="checkbox"/> Designated areas of a parking area for pedestrian walks
Setting	<input checked="" type="checkbox"/> Fixture specifications	<input checked="" type="checkbox"/> Loading lanes and loading docks
<input type="checkbox"/> Property boundaries within 50 feet of the subject property	Stormwater Facilities (existing and proposed)	<input type="checkbox"/> Stormwater drainage
<input type="checkbox"/> Land uses within 50 feet of the subject property	<input type="checkbox"/> Location	<input type="checkbox"/> Distance between parking areas and adjoining properties if less than 20 feet
<input type="checkbox"/> Zoning district boundaries within 50 feet of the subject property	<input type="checkbox"/> Specifications for each facility	<input type="checkbox"/> Areas designated for bicycle parking
<input type="checkbox"/> Municipal boundaries within 50 feet of the subject property	Utilities (existing and proposed)	Signs (existing and proposed)
<input type="checkbox"/> Ground contours when slopes exceed 8 percent	<input type="checkbox"/> Location	<input checked="" type="checkbox"/> Location
<input type="checkbox"/> Wetlands	<input type="checkbox"/> Type (sewer, telephone, etc.) (buried or overhead, if applicable)	<input type="checkbox"/> Specifications for each sign including type, height, dimensions, lighting, and other factors considered during the review process
<input type="checkbox"/> Woodlands	<input type="checkbox"/> Size/capacity, if applicable	
<input type="checkbox"/> Wildlife habitat, including critical wildlife habitat		
<input type="checkbox"/> Environmentally sensitive features		
<input type="checkbox"/> Water resources (rivers, ponds, etc.) and ordinary high-water mark for navigable waters		
<input type="checkbox"/> Floodplain boundaries and elevations of the same		

Part C. Plan of Operation

16. Operating conditions

Hours of operation:

Mon to Fri 8-5
Sat 8-3
Sun 10-3

Estimated number of full-time employees

Estimated number of part-time employees

about 3

Maximum number of employees onsite at peak hours

2

Will the proposed business operation create any noise outside of the building?

no

Refer to s. 11.06.147 of the zoning code.

Will the proposed business operation create any emissions (e.g., fumes, smoke, steam, vapor, dust,) to the atmosphere?

no

Refer to s. 11.06.148 of the zoning code.

Will the proposed business operation create any vibrations outside of the building?

no

Refer to s. 11.06.149 of the zoning code.

Will the proposed business operation involve any explosives or other flammable materials?

no

Refer to s. 11.06.150 of the zoning code.

Will the proposed business operation involve any radioactive materials?

no

Will the proposed business operation create special needs for wastewater disposal?

no

Will the proposed business operation require unusually high levels of public water?

no we have tested well water

17. Licensing. What kind of federal, state, county or city licenses will be required to operate the proposed business?

We already have seller's permit and general license

Part D. Other

18. Attachments List any attachments included with your application.

Picture of projected types of hoop house locations

19. Other information You may provide any other information you feel is relevant to the review of your application.

This area already has one greenhouse on it. We will install 2 new ones and move one from location at 233 Sampson to area across street.

20. Mandatory meeting with staff

When did you meet with the Community Development Director?

8-29-22

Month/year

21. Applicant certification

- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

CAROL Wunrow-Brady
Name – print

Carol Wunrow-Brady
Name – Signature

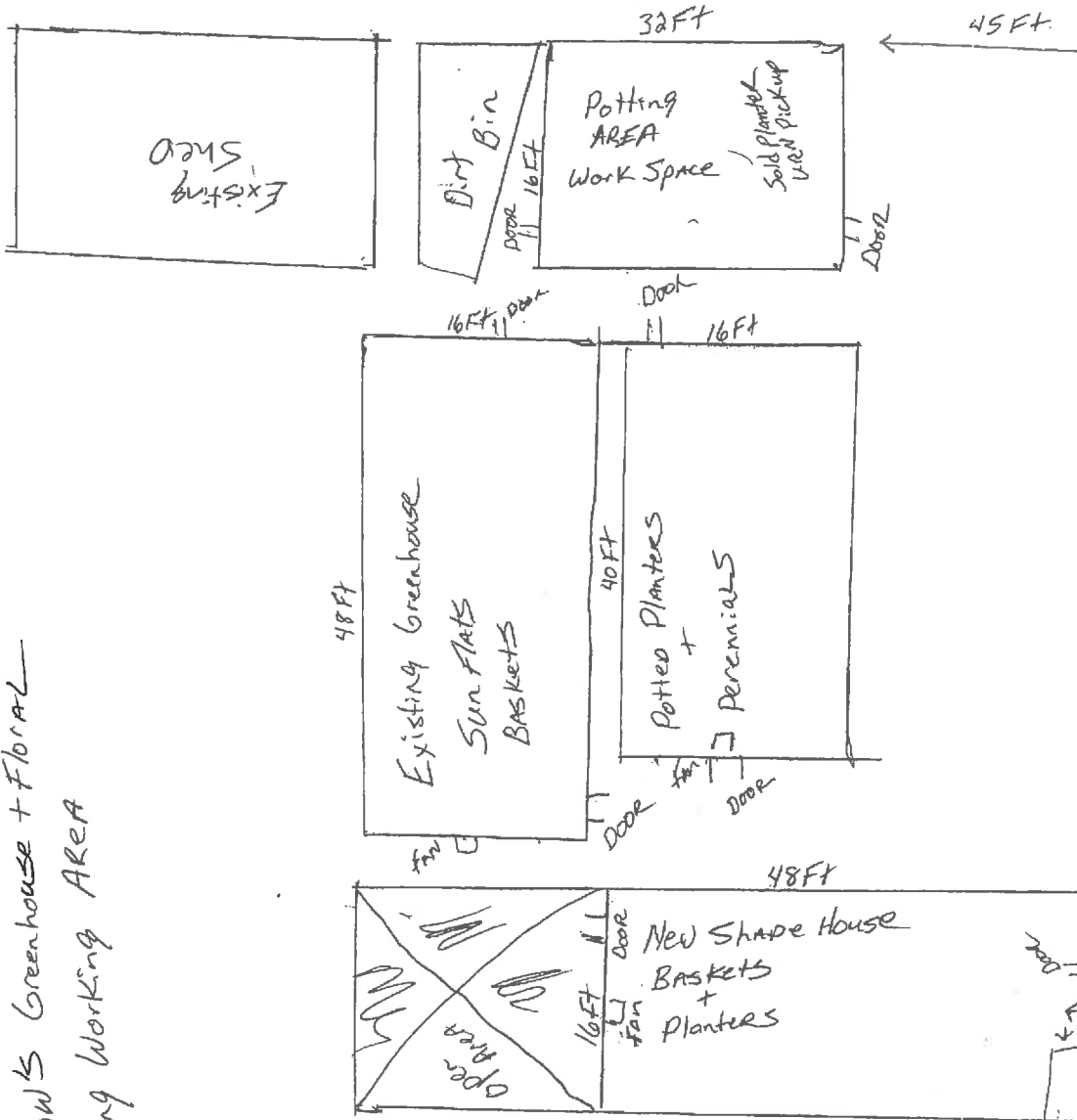
8-29-22
Date

Name – print

Name – Signature

Date

Wunrow's Greenhouse + Floral
Spring Working Area



2022 Property Records for City of Wisconsin Rapids, Wood County

Page 28 of 29 August 8, 2022

Tax key number: 34-11091

Property address: 2320 Sampson St

Owner: Carol J. Wunrow
2331 SAMPSON ST
WISCONSIN RAPIDS WI 54494

Zoning: R-2, Mixed Residential
Traffic / water / sanitary: Light / City water / Sewer
Legal description:

Summary of Assessment	
Land	\$16,400
Improvements	\$4,600
Total value	\$21,000

Land									
Qty	Land Use	Width	Depth	Square Feet	Acres	Water Frontage	Tax Class	Special Tax Program	Assess Value
1	Residential	100	144	14,312	0.329	None	Residential		\$16,400

# of identical OBIs: 1		Other Building Improvement (OBI)			
		Main Structure		Modifications (Type, Size)	Photograph
OBI type:	Garage	Width:	16 LF	Grade:	D
Const type:	Detached, frame or cb	Depth:	36 LF	Condition:	Average
Year built:	1989	Fir area:	576 SF	% complete:	100%
				Assessed \$:	\$4,600
					not available

Building Permits					Sales History		
Issued	Permit #	Purpose	\$ Amount	Completed	Date	Price	Type
					9/1/1986	\$10,500	Valid vacant sale



THE CATAMOUNT COLDFRAME SERIES

Functional and Easy to Install

The Catamount Coldframe is versatile and easy to install. The one piece bow slips into the ground posts. Add your purlin(s) and off you go! These coldframes can withstand heavier snow loads as a result of the purlin being connected to the bow using a cross connector system as opposed to drilling and bolting a purlin to the bow (*shown below*) allowing for maximum bow strength. The Catamount Coldframes are available in 15 ft. widths. You can also order extended ground posts for additional height in the greenhouse.



Country Way Gardens | Fairport, NY



Features

- 4 ft., 5 ft. or 6 ft. bow spacing
- Bows are 1.315 in., 17 ga. galvanized steel tubing
- The top purlin is connected to the bow using a cross connector system allowing for maximum bow strength as opposed to drilling and bolting a purlin to the bow
- The 15 ft. width is perfect for 15 ft. wide ground cover and 24 ft. wide poly
- Ground posts are 1.66 in., 14 ga. galvanized steel tubing



Made in New Hampshire by



CATAMOUNT PACKAGES

Frame

The frame includes all of the steel tubing pre-drilled, all hardware and ground post driver. Does not include baseboard or end wall framing materials.

Roof Covering

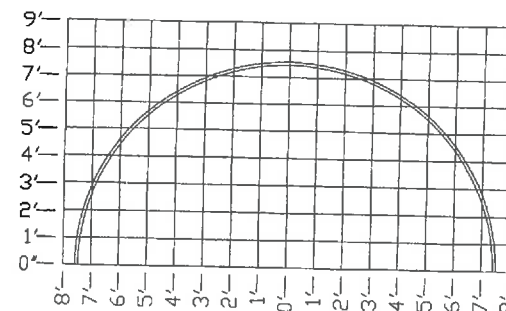
The roof covering includes two layers of poly, wire lock for along the sides and an inflation kit.

Mechanical Ventilation

Mechanical ventilation includes an exhaust fan(s), shutters and necessary thermostats to control all equipment.

Roll-Up sides

Roll-up sides include roll pipe, hardware and gear box operators for 2 roll-up sides.



1 Ft. Squares
15' Bow

Size	Frame	Roof Covering	Mechanical Ventilation	Roll-Up Sides
15' x 48'	\$906	\$601	\$1,593	\$1,184
15' x 72'	1,338	807	1,738	1,563
15' x 96'	1,770	978	2,283	1,852

Made in New Hampshire by



CALL TOLL FREE
1.877.746.6544

To Whom It May Concern:

In 1961 my husband and I made application for a conditional use permit to build a greenhouse in the back yard of our home at 2331 Sampson St, Wis. Rapids. We never believed it would develop into the business we have today.

In 1986 we purchased the lot across the street from the City of Wisconsin Rapids. We got another use permit for a greenhouse and shed for storage with the stipulation we put up a fence around the entire lot, which we did. As things would have it the business has grown and grown. People in the entire area in and around Wisconsin Rapids, depend on us. Businesses including Aspirus Hospital, Taylor Funeral Home, Retchey Funeral Home, Renaissance Assisted Living, Greatly Foods, Assumption Catholic School, Wildross Sportsmen Club, Wisconsin Rapids Public Schools, City of Wisconsin Rapids, to name a few - and many, many more depend on us. As a matter of fact gave classes before Covid for the City in planting, hanging baskets, pots + herbs. We also the last two years have made available for the City the hanging baskets on East Grand in front of the Library, Head Inn up to the Bridge on the East Side. This past year we were responsible for flowers for decorating 13 Churches in the area. Not to mention the hundreds + hundreds of people that depend on us for their planting needs.

We have had no objections from the neighbors around us. We just had one request from one neighbor that we keep the greenhouse back far enough that when he sits in his front lawn, he can see down the street. For this reason, we have changed our plans of locations of the greenhouses. Previously we wanted to put 2 greenhouses on both sides of the lot, one on each side. Now we would like to place a 48' Greenhouse for shade plants on the south side of the lot. We would then make a smaller unit on the north side 32 ft long so there would be no blockage what so ever. This smaller unit would be used as the area where my son

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does all his own planting etc for people. (This used to be done in the existing greenhouse in the past) Our greenhouse now would be used for ~~sun~~ sun annuals. The 3rd Greenhouse 40' long would go in front of the existing greenhouse and house perennials and potted annuals. All greenhouses will have hanging baskets in them. The time span of the uses of these greenhouses would probably be from the 3rd or 4th week in April thru the end of June. These plants will now have cover and protection from the elements. It would be very much more convenient for customers. Previously they walked on uneven ground in our entire yard around our house and garage.

We would still be keeping our present cut flower business in our buildings etc on our 2331 Sampson St Property. The new area across the street would only be used and hopefully managed by my youngest son, taking some of the responsibility off this 80 year old lady.

This past June or beginning of July we are very proud of having been awarded from the Chamber like the ^(Heart of Community Award) "Business of the Year Plaque" and a very nice plaque from the state of Wisconsin.

We believe we are on this earth to help people out and that's what we try to do everyday.

Thank You —

Carol J. Skurnow - Brody
D/B/A Skurnow's Greenhouse + Floral

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She enters
hence
here
has
different
sketches
old ground

Parcels

Streets
Shredberg
Fall
around

Streets

Schools

Schools

Flower 19

Flowers
Crabs

Residence

Bridal Wreath

Imperial Lacquer

Field
Blond
Bence

1:282

0.01 mi

0.01 km

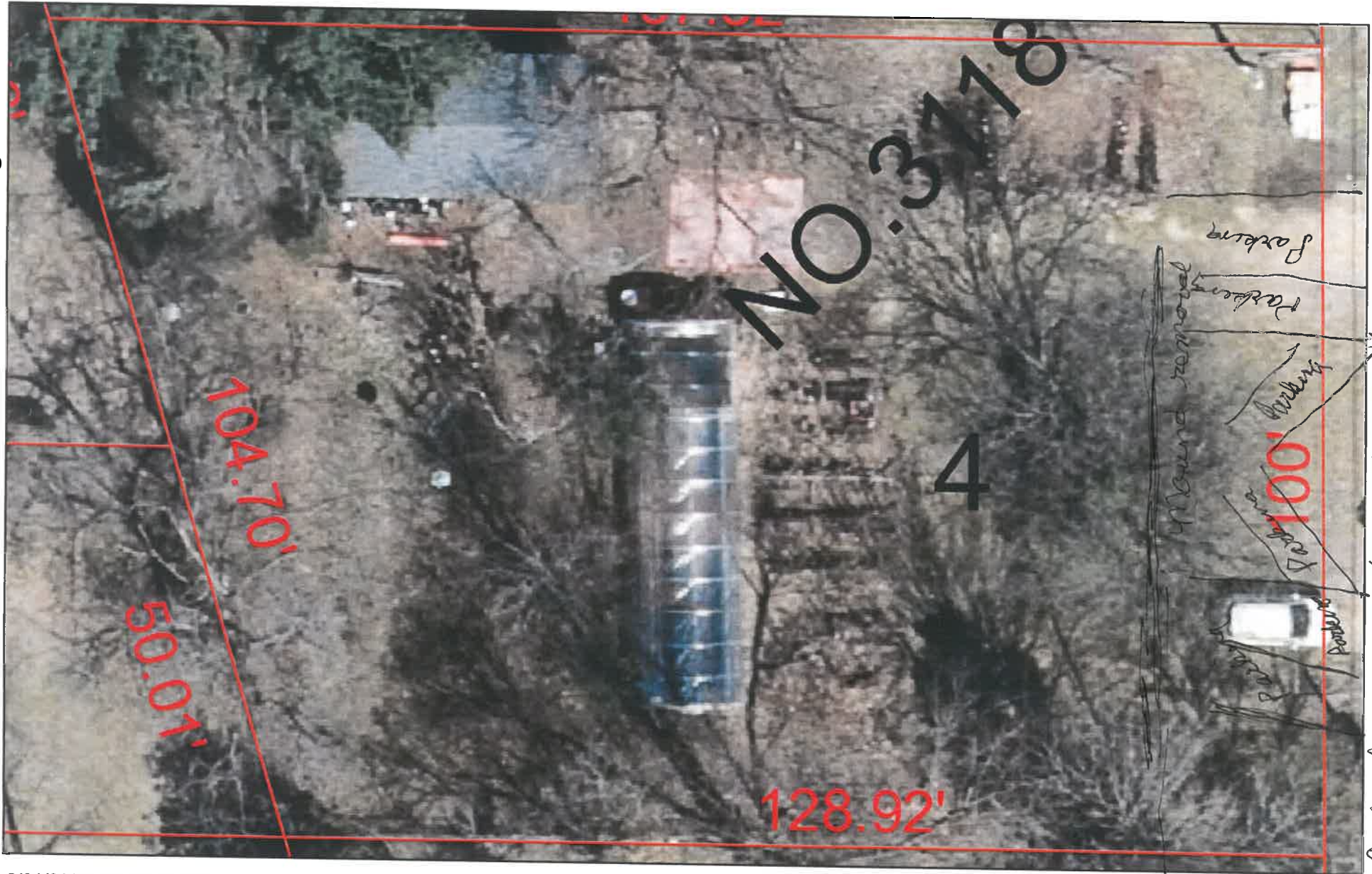
Wisconsin Rapids GIS



We sell shrubbery so after buildings are up - shrubbery can encase ^{the} windows etc.

City Viewer

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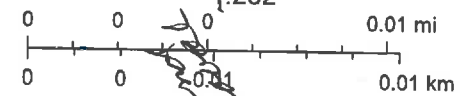


Parcels

Streets

Schools

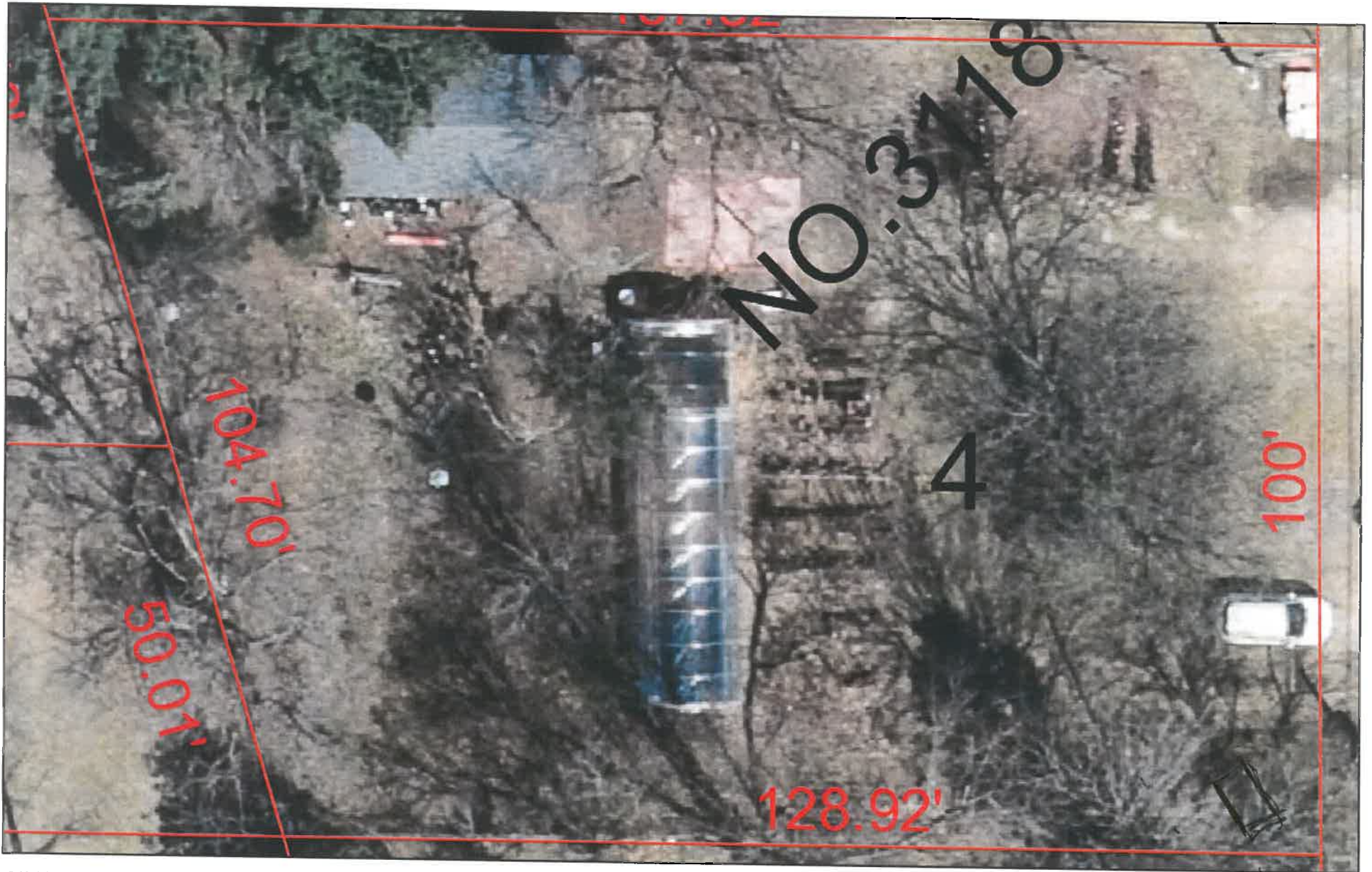
*Kurrows Greenhouse
2320 Sampson*



Wisconsin Rapids GIS

City Viewer

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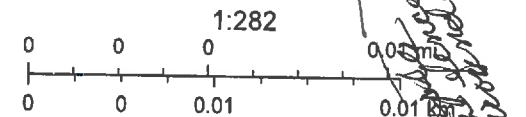


Parcels

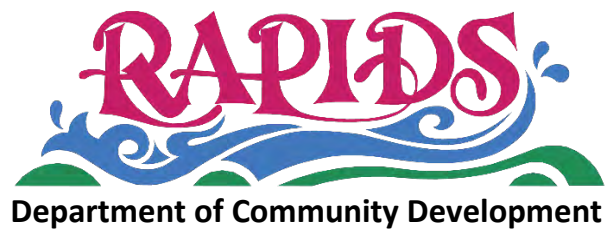
Streets

Schools

*Munro's Greenhouse
2320 Sampson*



Wisconsin Rapids GIS



Administrative Staff Report

Conditional Use Amendment: Addition

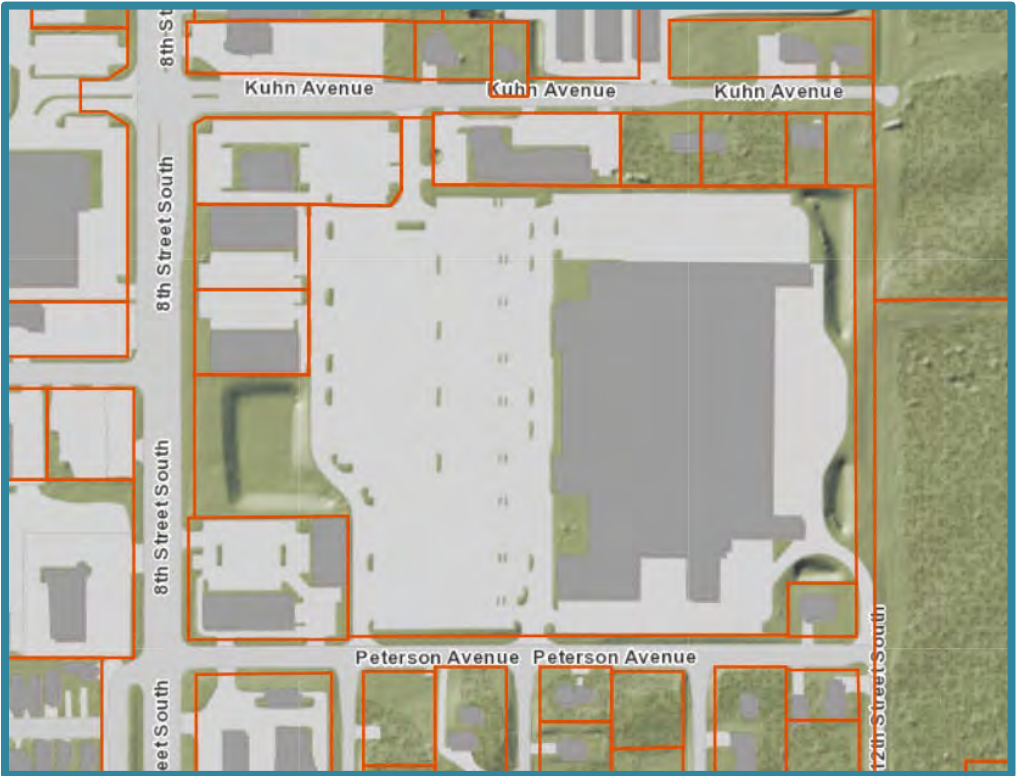
Plan Commission Review

4331 8th Street South

September 1, 2022

<p>Applicant(s):</p> <ul style="list-style-type: none"> Letetia Carter, pb2 architecture and engineering <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns, Director of Community Development Carrie Edmondson, Associate Planner <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3414264 <p>Lot Information:</p> <ul style="list-style-type: none"> Acreage: 20.387 Square Footage: 888,065 <p>Zone(s):</p> <ul style="list-style-type: none"> "B-2" General Commercial district <p>Council District:</p> <ul style="list-style-type: none"> District 7 - Delaney <p>Master Plan:</p> <ul style="list-style-type: none"> Commercial <p>Current Use:</p> <ul style="list-style-type: none"> Retail <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 - Zoning 	<p>Request</p> <p>pb2 architecture and engineering – 22-000874: public hearing and action on a request for a Conditional Use Permit Amendment to expand the retail use by constructing an addition onto Walmart at 4331 8th Street South (Parcel ID 3414264).</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Application Plans Renderings Property Information <p>Findings of Fact</p> <ol style="list-style-type: none"> The property is 20.387 acres and is classified as retail sales, more than 40,000 sq. ft. in Chapter 11 – Zoning. The request is to construct an 8,296 square foot building addition onto the northwest corner of the commercial building. The property is zoned "B-2" General Commercial. Currently a 217,290 square foot discount store exists on the site. This is a conditionally permitted use in the "B-2" General Commercial district. The building addition would require an amendment to the conditional use permit. <p>Staff Recommendation</p> <p>Approve the request from the applicant for a conditional use permit amendment to construct an addition on Wal-Mart at 4331 8th Street South (Parcel ID 3414264), subject to the following conditions:</p> <ol style="list-style-type: none"> A lighting plan shall be submitted if any changes to existing lighting or increase in lighting intensity is proposed, to be reviewed and approved by the Community Development Department. Lighting from the development shall not exceed 0.1 foot-candles at neighboring residential property lines or 0.2 foot-candles at neighboring commercial property lines. Applicable building and stormwater permit (state and local) shall be obtained. A gate valve shall be placed on the west end of the proposed water main relocation to allow adjacent business to continue service. Minor modifications to the plan shall be permitted to be reviewed and approved by the Community Development Department.
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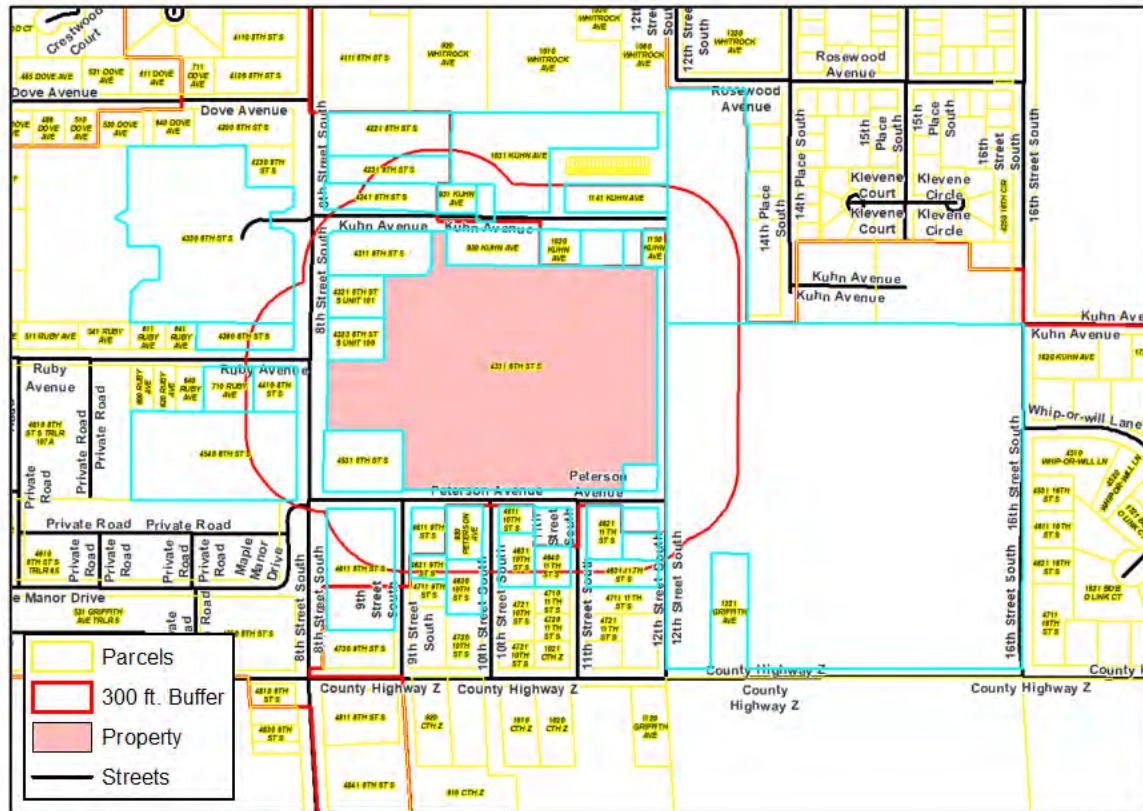
Vicinity Map



Site Photos

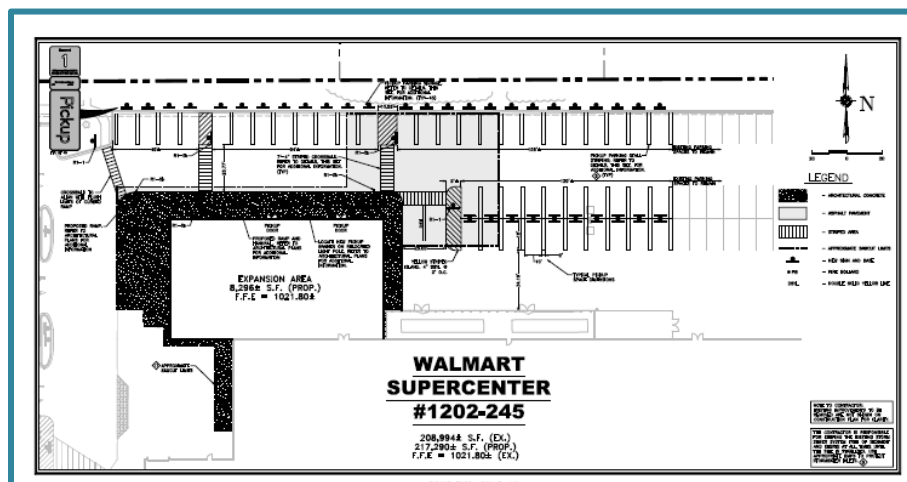


Exhibit Map



Background

The current Wal-Mart (discount retail store) is 208,994 square feet and was built in 2000. This use is categorized as retail sales, more than 40,000 square feet, in Chapter 11 – Zoning and requires a conditional use permit in the B-2 General Commercial district. The applicant is proposing to construct an additional 8,296 square feet to the existing building, for a total of 217,290 square feet.



The addition will allow a more robust area to provide online grocery pick-up services outside of the store. A total of 45 existing parking spaces will be delineated for online order pick-up only and signed accordingly. The proposed changes are consistent with the recent sharp increase in e-commerce activity and demand for contactless delivery alternatives.

The conditional use permit standards of review are analyzed below, and more information can be found within the attached application and plans.

Conditional Use Permit Standards of Review 11.05.55 Basis of decision

Generally, When reviewing conditional uses other than nonconforming conditional uses, the review authority shall consider the following factors:

1) the size of the parcel on which the proposed use will occur;

Analysis: The property is 20.387 acres.

Findings: The property is over 20 acres in size and is sufficient to accommodate the existing 208,994 square foot retail building and the 8,296 square foot addition. All dimensional requirements are met, and no impervious surface conditions will be altered, as the proposed addition encroaches only into the existing parking perimeter.

2) the presence of and compatibility with other uses on the subject property, if any;

Analysis: The discount store is the only use on the property.

Findings: The proposed improvements will generate some increase and/or change to vehicle and pedestrian usage and patterns. Vehicles will be parked and likely idling in the designated parking spaces. Pedestrian employees will be coming from the store to deliver products to customers within the vehicles. Two pedestrian crosswalks will be created for pedestrians to utilize. This use will be complementary to the large discount store use on the property.

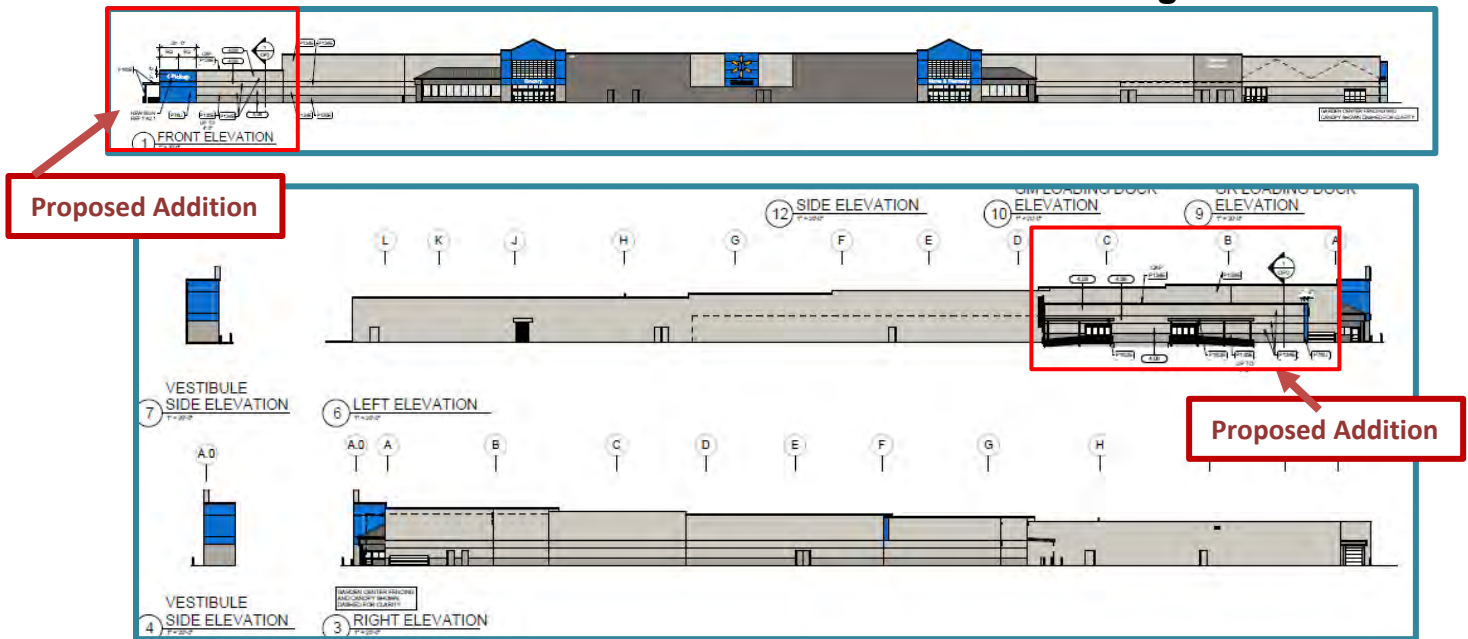
3) the location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses);

Analysis: See the above analysis and findings. The proposed addition will extend the northwest corner of the building. It will extend into the already paved parking area. Two pick up doors and two crosswalks will be integrated into the design. Walmart is on a private system for utilities, which feeds additional business on separate lots. Any interruption in the system for the addition could affect other businesses utilities for extended periods.

Findings: The proposed addition will be used to integrate options for e-commerce and contactless delivery. This use is commonly supplemental and complementary to traditional retail uses. There will be 45 dedicated parking spaces that will be clearly marked for customer pick-up. This will serve to adequately delineate the area. Lastly staff would recommend a gate valve be placed on the West end of the proposed water main relocation. This would allow all the businesses to be turned back on after the valve is put into place.

4) effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;

Analysis: The 45 parking spaces will be clearly marked as customer pick-up locations. The area for customer pick-up will be clearly delineated. There are two proposed crosswalks that will enable employees to safely travel to each vehicle and deliver product. Customers there for pick-up likely will not exit their vehicles. All remaining vehicle and pedestrian facilities will remain unencumbered.



Findings: Overall, the vehicle and pedestrian center for the retail store will remain unaffected. Modifications that will result from the 8,296 square foot addition include 45 marked parking spaces that will be signed for customer pick-up. Employees will be able to utilize the two crosswalks provided, which will provide safe access to the vehicles.

5) the suitability of the subject property for the proposed use;

Analysis: The site has functioned well for operation of this large retail use.

Findings: The addition will have minimal impact when considering scale, and the property will remain suitable for the proposed use.

6) effects of the proposed use on the natural environment;

Analysis: The addition is proposed within an improved impervious area.

Findings: The addition is proposed within what is now impervious parking area. Existing parking spaces will be marked as pick-up only. Therefore, there will be minimal impact to existing green space. Staff would recommend all stormwater requirements, state and local, be met.

7) effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances;

Analysis: Operational considerations including truck shipments and deliveries, number of employees, and hours of operation would remain largely unchanged.

Findings: The use is mainly a transition to the way in which materials are delivered to customers. There would be minimal change to products and services delivery, employees, and hours.

8) effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts; and

Analysis: The surrounding area is fully developed.

Findings: The building addition should not impede the normal development and improvement of the surrounding area.

- 9) **any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.**

Analysis: Notices regarding the request were sent to neighbors within a 300-foot boundary of the property.

Findings: Concerned citizens can attend the meeting and provide input at the public hearing. At the time of this report, no citizens have inquired about the project.

Site Plan & Architectural Standards of Review

1) Use

Analysis: Retail sales, more than 40,000 square feet requires a conditional use permit in the B-2 General Commercial district. A building addition is a modification that requires an amendment to the conditional use permit.

Findings: See the conditional use permit standards above. Note that a building plan – architectural review (AR), site plan review (SP), plan of operation (PO), and zoning permit (ZP) are required for a retail sale, more than 40,000 square foot use.

2) Dimensional Standards

Analysis: The B-2 district requires 10,000 square feet, and the lot is over 20 acres. Building setbacks for the addition appear to meet the minimums (25-foot street and 20-foot side and rear). The building coverage ratio and impervious surface ratio are unknown but will remain unchanged from the previous conditional use permit approval.

Findings: The applicable dimensional standards appear to be met.

3) Ingress/Egress

Analysis: Vehicles will enter and exit the site in the same manner. There will be some change to pedestrian ingress and egress for employees that are delivering product to and from vehicles.

Findings: Two crosswalks are proposed to enable employees to safely deliver products to customer vehicles.

4) Parking

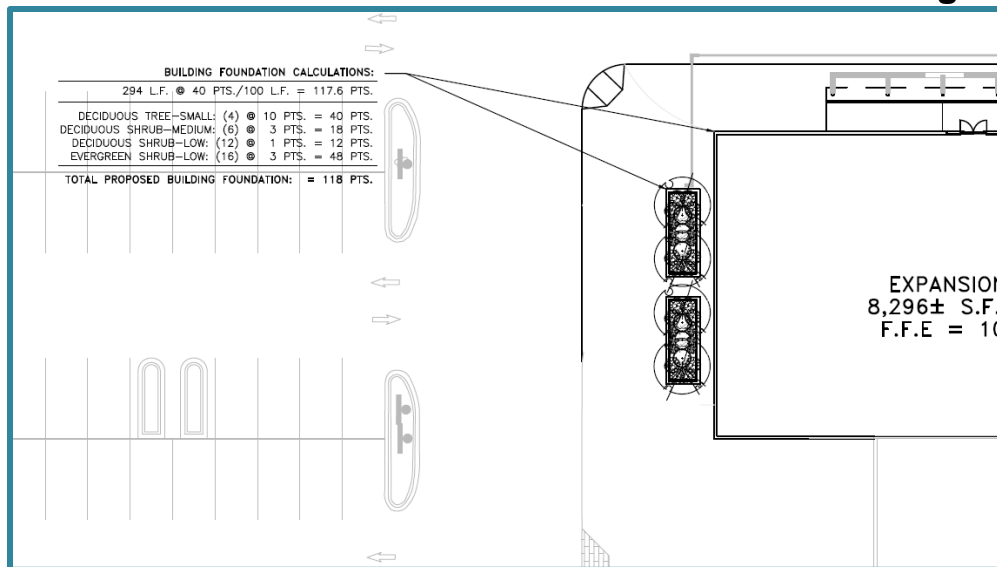
Analysis: Retail sales, more than 40,000 square feet requires one space for each 300 feet of retail floor area. After the proposed addition, the total building square footage will be 217,290 square feet and 725 parking spaces will be required.

Findings: After the proposed modifications, there will be a total of 725 parking spaces provided. A total of 45 parking spaces will be marked for customer pick-up only. The proposed parking is sufficient.

5) Landscaping

Analysis: The addition may slightly increase the building foundation planting requirements below:

*11.16.43 Building foundation landscape requirements (a) Minimum amount required. A minimum of 40 landscape points shall be provided on a prorated basis for every 100 feet of building foundation perimeter. For example, a building with a perimeter of 180 feet must provide a minimum of 72 landscape points $((180/100) * 40) = 72$*



Findings: A landscaping plan has been submitted. A total of 293 feet of additional building foundation is proposed, which would require a total of 118 landscape points. The applicant is showing two substantially sized raised planters to be located along the west side of the building addition. The planters will contain a nice mix of evergreen and deciduous shrubs and meet the 118 total point requirement. Additionally, the landscape plan includes details to construct a new parking island that will contain plantings to replace an island that will be removed as part of the building addition.

6) Architectural Review

Analysis: The proposed addition has similar materials, primarily concrete block, found on the principal building. Additionally, there are dark gray canopies proposed over the associate entrances. Paint colors complement the existing building.

Findings: The design and architecture of proposed addition will consist of color and materials to match the existing building. Paint colors and architectural details have been added to make the customer pick-up façade more pedestrian oriented. The details match those on the front of the building.

7) Lighting & Photometric Plan

Analysis: A lighting and photometric plan have not been submitted.

Findings: There is one parking lot light pole that is proposed to be relocated. If the relocation is closer to the property line, a lighting plan showing any changes is required to be submitted. In addition, staff recommends that cut-off lighting fixtures or equivalent be used. Additionally lighting from the development shall not exceed 0.1 foot-candles at neighboring residential property lines and 0.2 at commercial property lines

In summary, the proposed use meets a growing demand for e-commerce and should not be detrimental to the neighborhood. It is consistent with the intent for the site itself and surrounding area, as it is not a substantial change to the existing use. Furthermore, the intensity of the use is increasing minimally. Again, while the physical size of the building is increasing, ingress/egress and parking will be minimally impacted. Upon review, staff would recommend approving the conditional use permit amendment to construct an addition of Wal-Mart as proposed, subject to the conditions outlined on page one.



Application in Rapids, Wisconsin

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The City's zoning regulations identify land uses that may be allowed in each of the zoning districts either by right or as a conditional use. By definition, a conditional use is a land use that may or may not be appropriate on a given parcel depending on a wide range of factors that relate to the proposed use and the particular circumstances relating to the parcel and surrounding properties. Conditional uses are therefore considered on a case-by-case basis. As part of the review process, the Planning Commission and Common Council conduct a joint public hearing to solicit input from the general public and other interested parties. When reviewing conditional use applications, the Planning Commission serves in an advisory capacity to the Common Council, which makes the final decision. The recommendation of the Planning Commission and the decision of the Village Board are based on the evidence and testimony received as part of the application and through the public hearing process.

If you submit an application, do not contact any member on the Planning Commission or the Common Council until after a final decision has been made.

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

Application fee: \$250.00 for principal and accessory uses; \$100.00 for temporary uses and \$50.00 for administrative renewals

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Aldersperson notification Before you submit your application, you will need to send a letter to the Aldersperson of the district of where the request is taking place, explaining the request. Please attach the notification letter with your application materials.

Office Use Only

Date Received _____

Received By _____

Fee _____

Case # _____

Aldermanic District _____

Plan Commission Date _____

1. Applicant information

Applicant name _____

Street address _____

City, state, zip code _____

Daytime telephone number _____

Email _____

2. Agent contact information

Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

Agent 1

Name _____

Company _____

Street address _____

City, state, zip code _____

Daytime telephone number _____

Email _____

Agent 2

3. Type of application (select one)

- ☐ New conditional use
- ☐ Yes ☐ No Are there any other current conditional use approvals for the property?
If yes, provide the year of issuance and a short description.

- ☐ An amendment of a previously approved conditional use

4. Subject property information

Physical address _____

Parcel number(s) _____

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

- ☐ No
- ☐ Yes
- If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

- ☐ No
- ☐ Yes
- If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> RR Rural Residential | <input type="checkbox"/> R-8 Manufactured Home Park | <input type="checkbox"/> M-1 General Industrial |
| <input type="checkbox"/> R-1 Single-family Residential | <input type="checkbox"/> B-1 Downtown Commercial | <input type="checkbox"/> M-2 Heavy Industrial |
| <input type="checkbox"/> R-2 Mixed Residential | <input type="checkbox"/> B-2 General Commercial | <input type="checkbox"/> I-1 Institutional |
| <input type="checkbox"/> R-3 Multi-family Medium Density Residential | <input type="checkbox"/> B-3 Neighborhood Commercial | <input type="checkbox"/> P-1 Park and Recreation |
| <input type="checkbox"/> R-4 Multi-family High Density Residential | <input type="checkbox"/> B-5 Mixed Use Commercial | <input type="checkbox"/> C-1 Conservancy |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> Planned Development (PDD) | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Floodplain |
| <input type="checkbox"/> Downtown Design | <input type="checkbox"/> Shoreland-Wetland | <input type="checkbox"/> Wellhead Protection |

6. **Current use** Describe the current use of the subject property.

7. **Proposed use** Describe the proposed conditional use or the proposed amendment.

8. **Evaluation criteria** The factors listed below will be used in evaluating this application. Your responses are important.

1. The size of the parcel on which the proposed use will occur.

2. The presence of and compatibility with other uses on the subject property if any.

3. The location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses).

4. Effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site.

5. The suitability of the subject property for the proposed use.

6. Effects of the proposed use on the natural environment.

7. Effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances.

8. Effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts.

9. Any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.

9. Supplemental materials Attach the following to this application form.

- 1. A project map with the information listed in Appendix F of the zoning code.
- 2. Proposed construction plans (if applicable)
- 3. The letter you sent to the Alderperson for the district in which the project is located.

10. Attachments List any attachments included with your application.

11. Other information You may provide any other information you feel is relevant to the review of your application.

12. Mandatory meeting with staff

When did you meet with the Community Development Director? _____ Month/year

13. Applicant certification

- I understand that I, or any of my agents, may not discuss this application with any member of the Planning Commission or the Common Council until after a final decision is rendered.
- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Name – print

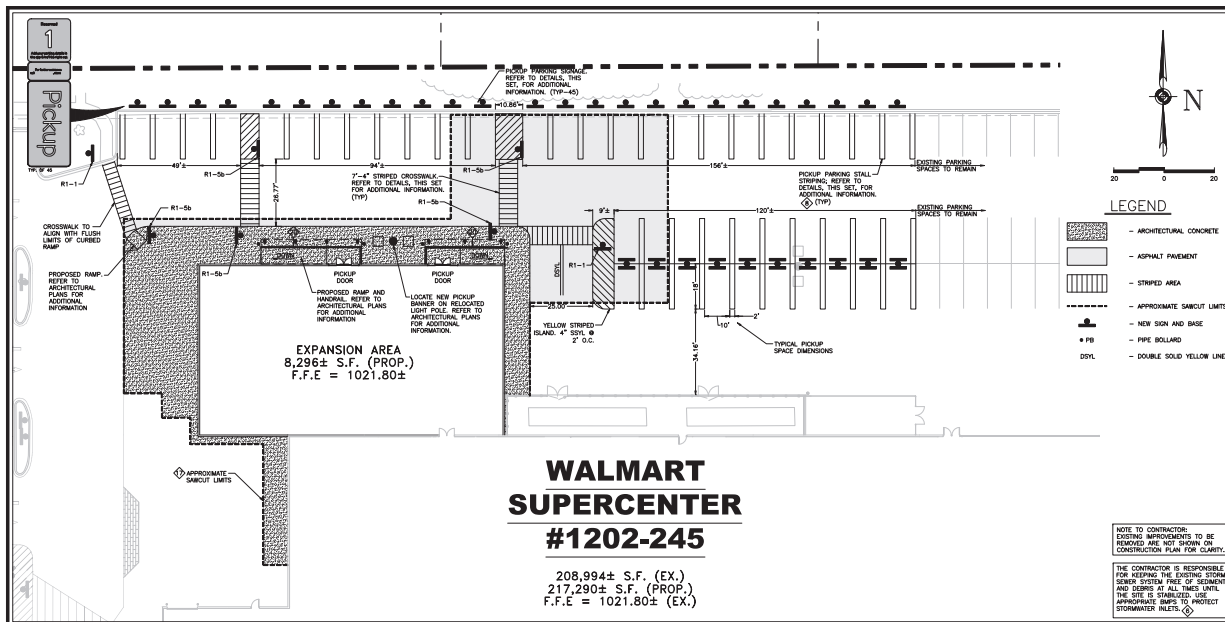
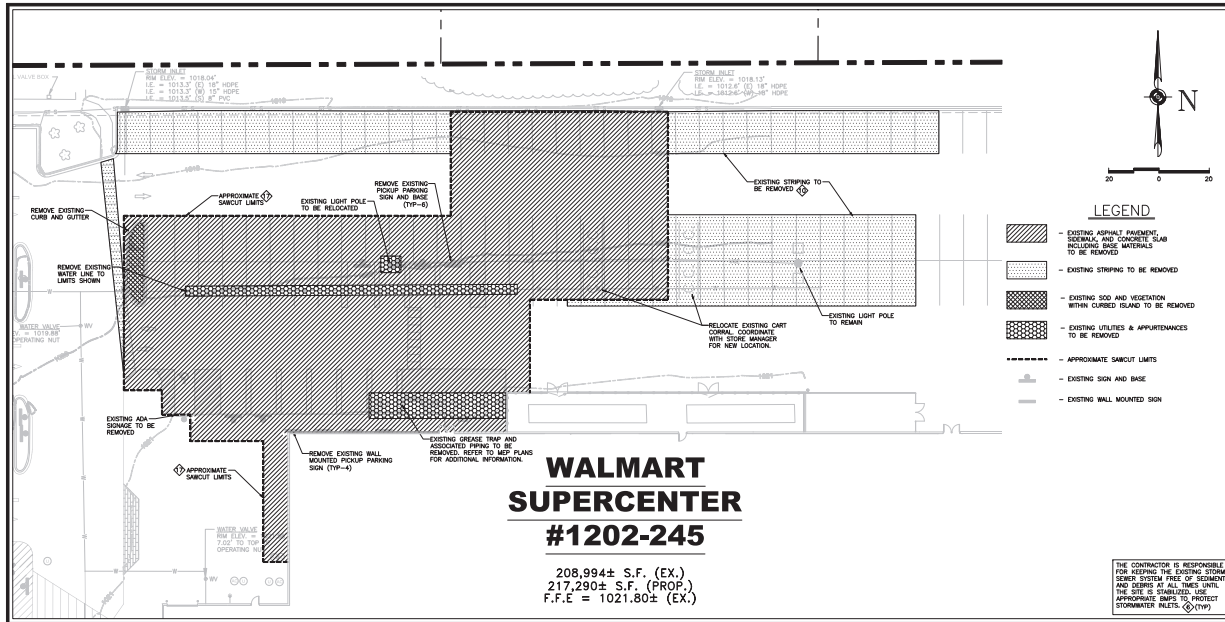
Name – Signature

Date

Name – print

Name – Signature

Date



PARKING INFORMATION			
WALMART BUILDING INFO	PARKING REQUIRED	TOTAL PARKING PROVIDED	TOTAL PARKING RATIO
WALMART BUILDING SQ.FT. ¹	SPACES	SPACES ^{2,3}	SPACES ⁷
EXISTING 208,994 SF	187 SPACES 3.32/1,000 SF	1043 SPACES	4.99/1,000 SF
PROPOSED 217,290 SF	725 SPACES 3.33/1,000 SF	963 SPACES	4.54/1,000 SF

PARKING INFORMATION NOTES:

1. USABLE FLOOR AREA IS PER INFORMATION SHOWN IN THE WALMART STORE PLANNING PROJECT MANAGEMENT APPLICATION SYSTEM (SPCM).
2. EXISTING PARKING COUNTS ARE BASED ON ORIGINAL CONSTRUCTION PLANS PROVIDED BY OTHERS AND ARE NOT GUARANTEED.
3. PARKING SPACES OCCUPIED BY CART CORALS HAVE BEEN EXCLUDED FROM THE PARKING COUNTS AND PARKING RATIO.

PICKUP EXTERIOR SIGN SCHEDULE	QUANTITY
RESERVED	16" X 18" 45
PHONE NUMBER	8" X 18" 45
VERTICAL PICKUP	16" X 36" 45
PICKUP SIGN AND MOUNTING HARDWARE	24" X 60" 1

NOTICE TO CONTRACTOR

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE DAMAGE TO EXISTING ITEMS TO REMAIN DOES NOT OCCUR. THESE PRECAUTIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO, THE USE OF PROTECTIVE COVERINGS AND/OR BARRIERS TO PREVENT DAMAGE TO EXISTING ROADSIDE AND ADJACENT AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND APPURTENANCES THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, DRAINAGE SYSTEMS, UTILITIES, CURBS, PAVEMENT, LANDSCAPING, IRRIGATION SYSTEMS, FENCING, RETAINING WALLS, PUBLIC MONUMENTS, ETC. REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND APPURTENANCES THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, DRAINAGE SYSTEMS, UTILITIES, CURBS, PAVEMENT, LANDSCAPING, IRRIGATION SYSTEMS, FENCING, RETAINING WALLS, PUBLIC MONUMENTS, ETC. REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND APPURTENANCES THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, DRAINAGE SYSTEMS, UTILITIES, CURBS, PAVEMENT, LANDSCAPING, IRRIGATION SYSTEMS, FENCING, RETAINING WALLS, PUBLIC MONUMENTS, ETC. REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

- NOTES:**
1. ALL SITEWORK SHALL MEET OR EXCEED THE "SITE SPECIFIC SPECIFICATIONS" WHERE CONFLICTS WITH REQUIREMENTS OF UTILITY COMPANY OR OTHER JURISDICTION OCCUR, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
 2. ALL NECESSARY INSPECTIONS, APPROVALS, AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR AUTHORITIES SHALL BE COMPLETED PRIOR TO THE ACCEPTANCE BY OWNER AND THE FINAL CERTIFICATION OF SERVICES.
 3. CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AROUND CONSTRUCTION AREA AND CONTRACTOR'S TEMPORARY PARKING AND STORAGE AREA DURING CONSTRUCTION.
 4. CONTRACTOR SHALL KEEP ALL EXISTING PARKING, SIDEWALKS, DRIVEWAYS, ETC. BEYOND THE PROTECTED WORK AREAS CLEAN AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR ACCESS TO AND FROM THE SITE. CONTRACTOR SHALL COORDINATE/PHASE ALL CONSTRUCTION ACTIVITY WITHIN THE PROXIMITY OF THE EXISTING STORE WITH THE WALMART CONSTRUCTION MANAGER AND WALMART STORE MANAGER. CONTRACTOR SHALL MAINTAIN ACCESS AND CONVENIENCE TO WALMART STORE'S OPERATION AND WALMART CUSTOMERS.
 5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE PUBLIC, MAINTAIN SAFE CONSTRUCTION CONDITIONS, AND PROVIDE ADEQUATE TRAFFIC FLOW AT ALL TIMES. TEMPORARY TRAFFIC CONTROL DEVICES, SUCH AS SIGNS, STRIPING, FENCING, BARRICADES, ENCLOSURES, BARRIERS, ETC. SHALL BE USED IN THE BEST POSSIBLE MANNER AND AS APPROVED BY THE WALMART CONSTRUCTION MANAGER. ALL CONSTRUCTION SIGNS SHALL BE KEPT IN THEIR PROPER POSITION AT ALL TIMES, AND SHALL BE REPAIRED, REPLACED, OR CLEANED AS NECESSARY. ALL CONSTRUCTION SIGNS SHALL BE PROMPTLY REMOVED OR COVERED WHENEVER THE MESSAGE IS NOT APPLICABLE OR NOT IN USE. EXISTING TRAFFIC SIGNS, PAINTED END CARS, STOP SIGNS AND OTHER PAVEMENT MARKINGS THAT CONFLICT WITH TEMPORARY TRAFFIC CONTROL, PAVEMENT MARKINGS AND TRAFFIC PATTERNS SHALL BE REPAIRED.
 6. CONTRACTOR SHALL PROVIDE BMP'S SUCH AS EROSION SOD, INLET FILTER BAGS, SILT SOCKS ON PAVEMENT, ETC. DOWNGRADEMENT OF ANY GROUND DISTURBING ACTIVITIES. ALL BMP'S SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.
 7. UNLESS NOTED OTHERWISE STRIPING DIMENSIONS SHOWN ARE TO THE CENTER OF THE STRIPE EXCEPT FOR CROSSINGS.
 8. ALL NEW STRIPING SHALL BE PAINTED (TWO COATS) AS PER THE SPECIFICATIONS, UTILIZE TEMPLATES FOR ALL PAINTED PAVEMENT MARKINGS SUCH AS DIRECTIONAL ARROWS AND LETTERS.
 9. ALL PICKUP WAY FINDING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR SHALL BE RESPONSIBLE FOR PICKUP PARKING SIGNAGE. PICKUP PARKING SIGNAGE SHALL BE SENT VIA EMAIL TO CETHY THOMAS (cathy.thomas@walmart.com) AND BRAND KENDER (brand.kender@walmart.com). REQUEST SHALL CONTAIN A DELIVER ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.
 10. ALL PAVEMENT MARKINGS SHOWN TO BE REMOVED OR ANY MARKINGS THAT CONFLICT WITH IMPROVEMENTS ARE TO BE REMOVED PRIOR TO PICKUP PARKING SIGNAGE. CONTRACTOR SHALL REMOVE EXISTING PAVEMENT MARKINGS BY SODA BLASTING OR DUSTLESS BLASTING.
 11. CONTRACTOR SHALL RELOCATE AREAS TO RECEIVE NEW STRIPING AND AREAS WHERE STRIPING IS TO BE REMOVED PRIOR TO RECEIVING NEW STRIPING. CONTRACTOR SHALL COMPLETE ALL SITE IMPROVEMENTS THAT REQUIRE MODIFICATIONS TO EXISTING PAVEMENT AREAS, INCLUDING REPAIRS OF ANY EXISTING STRIPING, PRIOR TO RECEIVING NEW STRIPING. CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE WALMART CONSTRUCTION MANAGER AND WALMART STORE MANAGER AT LEAST 72 HOURS PRIOR TO ANY PLANNED DISRUPTION TO UTILITY SERVICES TEMPORARY UTILITY SERVICES SHALL BE USED IF REQUIRED TO ALLOW FOR NORMAL STORE OPERATION AND COSTS ASSOCIATED WITH THIS WORK SHALL BE IN THE CONTRACTOR'S LUMP SUM PRICE FOR THE OVERALL PICKUP PROJECT.
 12. EXISTING CONDITIONS INFORMATION OBTAINED FROM ORIGINAL PLAN TITLED "SITE PLAN AND DEMOLITION SITE PLAN, SHEET SP1, COMPLETED BY SGA DESIGN GROUP, P.C. LTD. DATED AUGUST 8, 2018.
 13. EXISTING "PICKUP" GRAPHIC TO BE REMOVED FROM EXISTING PICKUP PARKING STALLS.
 14. PAVEMENT MARKINGS AND ALL OTHER SITE WORK SHOWN ON THIS SHEET, SHALL BE IN ACCORDANCE WITH SPECIFICATION DATES.
 15. ELEVATION OF NEW EDGE OF PAVEMENT/CONCRETE TO MATCH ADJACENT PAVEMENT ELEVATION.
 16. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE IN ALL AREAS IMPACTED BY CONSTRUCTION.
 17. CONTRACTOR SHALL SLOPE EXISTING PAVEMENT, AS SHOWN, TO ALLOW FOR A CLEAN STRAIGHT JOINT BETWEEN OLD AND NEW SURFACES.
 18. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN PERFORMING CONSTRUCTION ACTIVITIES IN THE VICINITY OF EXISTING UTILITIES. EXISTING UTILITIES THAT CONFLICT WITH THE PLANNED CONSTRUCTION ACTIVITIES SHALL BE RELOCATED OR LIMITED IN PLACE BY THE CONTRACTOR TO MEET THE SEPARATION AND MINIMUM REQUIREMENTS ESTABLISHED BY LOCAL CODES. CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE WALMART CONSTRUCTION MANAGER AND WALMART STORE MANAGER AT LEAST 72 HOURS PRIOR TO ANY PLANNED DISRUPTION TO UTILITY SERVICES TEMPORARY UTILITY SERVICES SHALL BE USED IF REQUIRED TO ALLOW FOR NORMAL STORE OPERATION AND COSTS ASSOCIATED WITH THIS WORK SHALL BE IN THE CONTRACTOR'S LUMP SUM PRICE FOR THE OVERALL PICKUP PROJECT.
 19. FINAL PAVEMENT ELEVATIONS SHALL BE CONSTRUCTED FLUSH WITH EXISTING TOPS OF MANHOLETS, CULVERTS, UTILITY MANHOLETS, MANHOLETS, DRAINAGE, PIPES, PIPES, BOXES, ALLEYS, ETC. STRUCTURE TOPS SHALL BE ADJUSTED AS NECESSARY TO MATCH FINAL PAVEMENT GRADES WITHIN THE LIMITS OF CONSTRUCTION TO ENSURE POSITIVE DRAINAGE OF WATER ON NEW PAVEMENT AND TO ELIMINATE TRIP/FALL HAZARDS. WHERE THESE EXISTING FEATURES PRESENT THE NEW PAVEMENT FROM BEING CONSTRUCTED AT ELEVATIONS SHOWN, THE CONTRACTOR SHALL ADJUST THE TOPS OF THESE FEATURES TO MATCH FINAL PAVEMENT GRADES TO ENSURE POSITIVE DRAINAGE AND ELIMINATE TRIP/FALL HAZARDS.
 20. HANDRAIL, REFER TO ARCHITECTURAL PLANS.
 21. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS AND DETAILS OF PIPE BOLLARDS LOCATED IN THE BUILDING SIDEWALK.



PICKUP STRIPING AND SIGNAGE SITE PLAN

STIPULATION FOR REUSE

CONSULTANTS

Walmart

WISCONSIN RAPIDS, WISCONSIN

STORE NO. 1202-245

ISSUE BLOCK

CHECKED BY: JSP

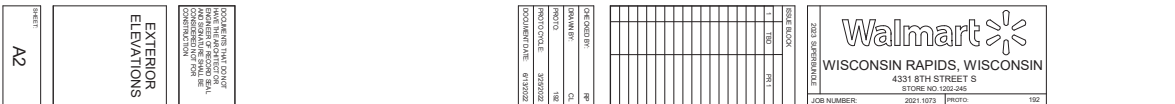
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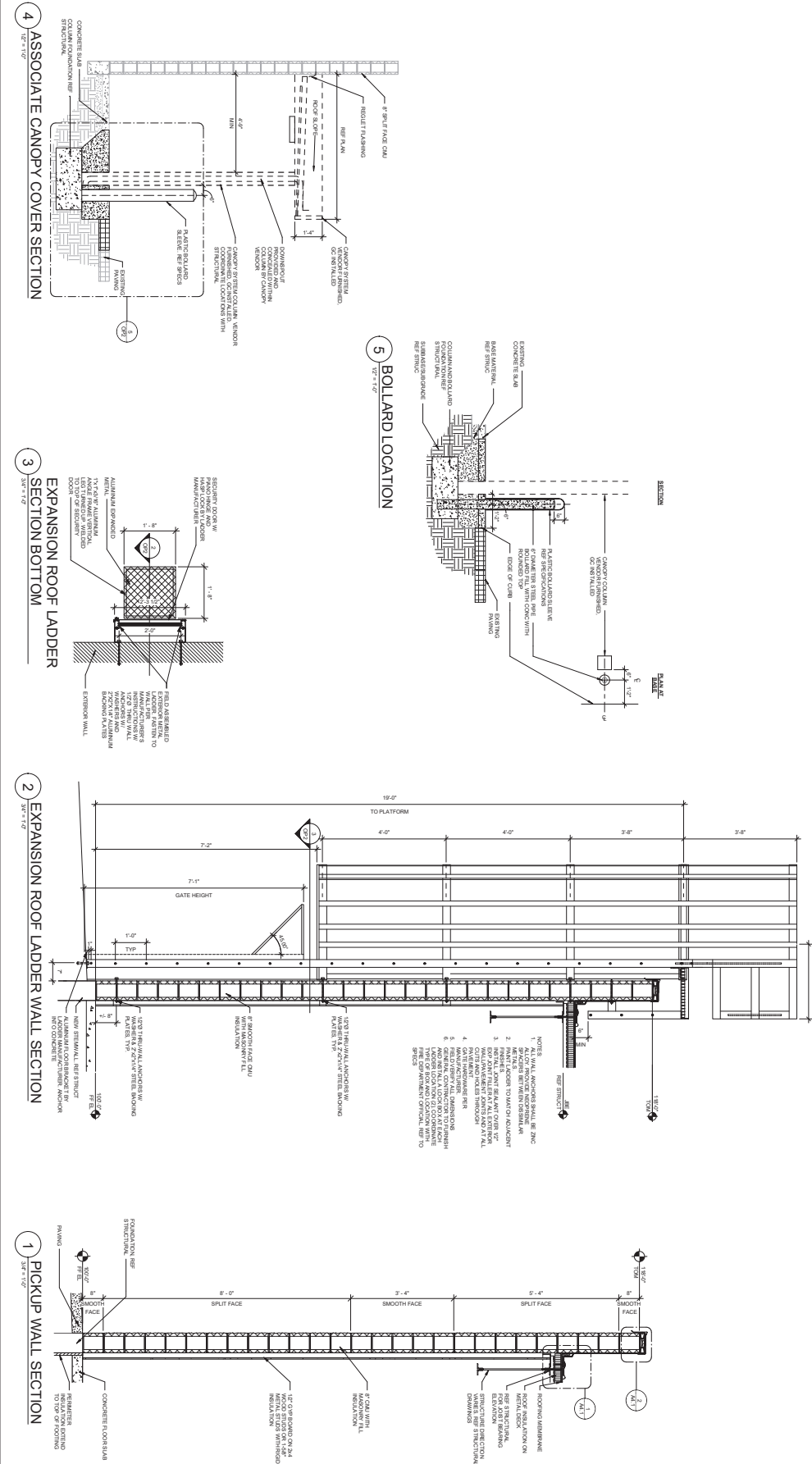
DATE: 06/13/2022

Page 47 of 81

SITE PLAN

SHEET: SD1

[illegible]



SHEET NOTES

pob2
architecture
+engineering

2800 Alw Avenue Suite 100
Rogers, Arkansas 72751
Phone: 479.636.3265
Fax: 479.636.1209

Architect of Record
for
Walmart Supercenter
2800 Alw Avenue, Suite 100, Rogers, AR 72751
Office of: PAUL D. ALBION
Reg. 2911.11

STIPULATION FOR REUSE

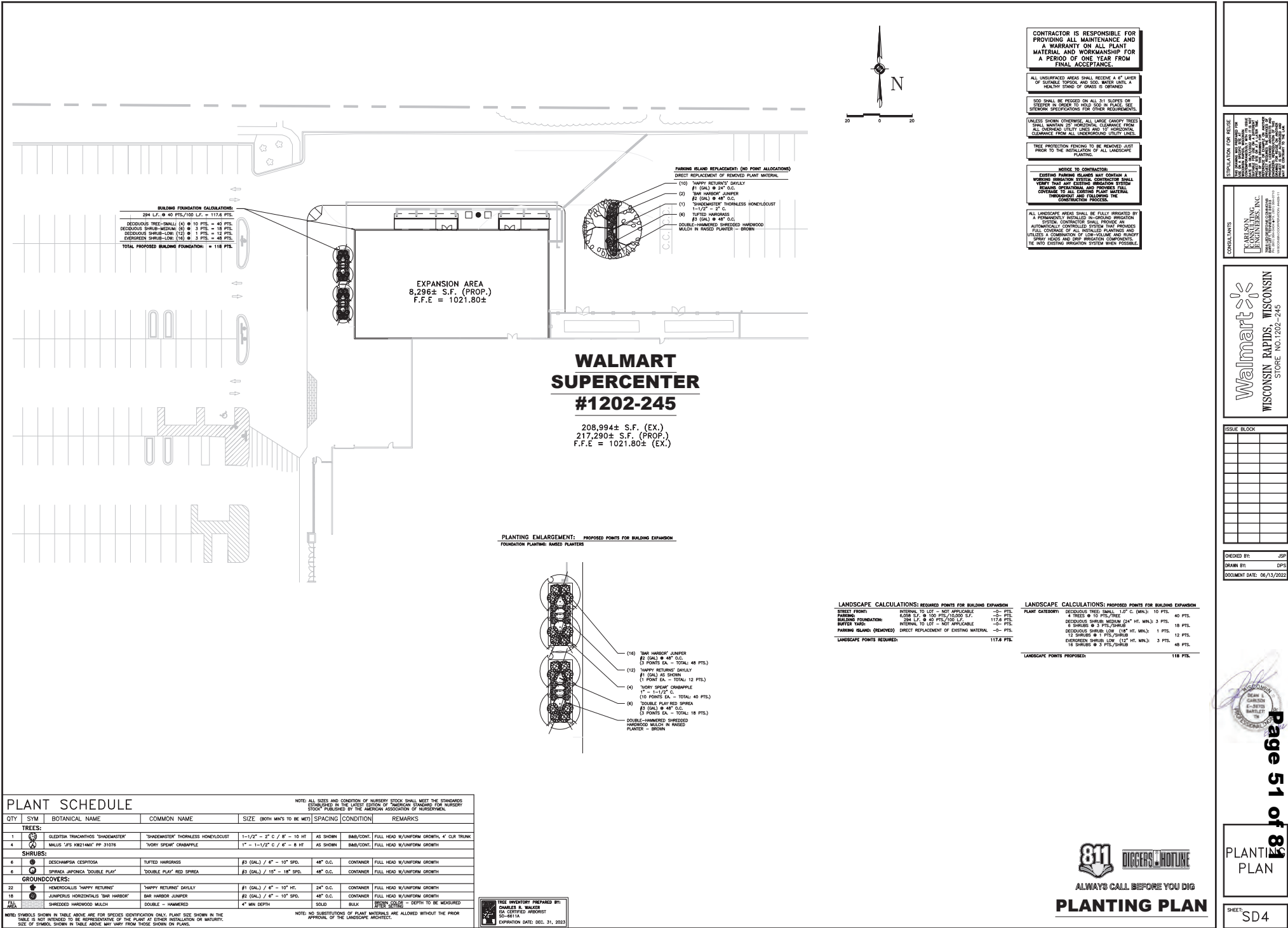
THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT WISCONSIN RAPIDS, WISCONSIN CONTEMPORANEOUSLY WITH ITS DATE ON 6/13/2002 AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME OF THIS DRAWING FOR REFERENCE. EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROFESSIONAL ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

			
WISCONSIN RAPIDS, WISCONSIN 4331 8TH STREET S STORE NO. 1202-245			
NUMBER:	2021.1073	PROTO:	192

[illegible]

PICKUP
FLOOR PLANS

OP1



Administrative Staff Report
Conditional Use: Multi-Family Housing,
9 to 15 units and Temporary
Residential Shelter
Plan Commission Review
520 8th Avenue South
September 1, 2022



<p>Applicant(s):</p> <ul style="list-style-type: none"> • Altmann Construction <p>Staff:</p> <ul style="list-style-type: none"> • Kyle Kearns, Director of Community Development • Carrie Edmondson, Associate Planner <p>Parcel Number(s):</p> <ul style="list-style-type: none"> • 3402962 <p>Lot Information:</p> <ul style="list-style-type: none"> • Effective Frontage: 119 feet • Effective Depth: 132 feet • Square Footage: 15,972 • Acreage: 0.367 Acres <p>Zone(s):</p> <ul style="list-style-type: none"> • "R-3" Multi-Family Medium Density Residential District <p>Council District:</p> <ul style="list-style-type: none"> • District 3 - Zacher <p>Master Plan:</p> <ul style="list-style-type: none"> • Mixed Residential <p>Current Use:</p> <ul style="list-style-type: none"> • Vacant <p>Applicable Regulations:</p> <ul style="list-style-type: none"> • Chapter 11 – Zoning 	<p>Request</p> <p>22-000931; Altmann Construction – public hearing and action on a request for a conditional use permit to renovate a building for multi-family housing and the operation of a temporary residential shelter at 520 8th Avenue South (Parcel ID 3402962)</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> 1. Application 2. Plans 3. Property Information <p>Findings of Fact</p> <ol style="list-style-type: none"> 1. The property is 15,972 square feet with an approximate 12,054 square foot three-story multi-family residential building. 2. Access to the site is via Chase Street. 3. The property is zoned "R-3" Multi-Family Medium Density Residential District. 4. Multi-family housing (9 to 15 units) and a Temporary Residential Shelter are conditional uses within the "R-3" District. 5. Reduced parking may be granted by special exception if actual parking demand is determined to be less than the established standard. <p>Staff Recommendation</p> <p>Approve the request from the applicant to renovate a building for multi-family housing and the operation of a temporary residential shelter at 520 8th Avenue South, subject to the following condition(s):</p> <ol style="list-style-type: none"> 1. Approval of the conditional use permit shall include the designation of twelve on-site parking spaces. 2. Any proposed parking lot reconstruction shall include one ADA-approved parking space and landscape requirements, to be reviewed and approved by the Community Development Department. 3. Any trash containers located outside shall be concealed or suitably screened from public view, to be reviewed and approved by the Community Development Department. 4. Applicable building permits though the City shall be obtained.
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Exhibit Map



Background

The applicant is proposing an interior remodel of the existing building to create multi-family housing and a temporary residential shelter. The remodel would result in 11 separate apartment units and common areas to include a group kitchen and meeting space, laundry room, storage room, and mechanical area. There are four two-bedroom units and seven one-bedroom units proposed with this project. The R-3 Multi-Family Medium Density Residential district is intended to accommodate medium density housing including multi-family housing and compatible community and civic uses. Mary's Place provides housing for individuals in need and the use is consistent with the intent for the R-3 district. There is an existing location in Marshfield that has been very successful. Some tenants stay for a limited time while they are seeking employment and others stay for longer periods as transitional tenants.

Multi-use housing that includes between 9 and 15 units requires a conditional use permit in the R-3 district. The standards for multi-family (9 to 15 unit) development are described below:

Multi-family, 9 to 15 units

Description: *A building containing 9 to 15 dwelling units that is situated on one lot. The units may be rented or owned as in a condominium.*

Parking Requirements: 1 space for each dwelling unit

Supplemental Standards:

(a) Number of principal buildings per parcel. More than one multi-family building with 9 to 15 dwelling units may be located on a parcel of land, provided the overall density is maintained.

(b) Design and construction. A multi-family building with 9 to 15 dwelling units shall meet the design and construction standards for a single-family dwelling.

(c) FHA Compliance. The developer is responsible for complying with all applicable standards in the Fair Housing Act, including accessibility requirements.

The existing structure is non-conforming as it does not meet the current dimensional standards such as setbacks and does not meet the required design and construction standards for single-family dwellings as stated above. However, this proposal reduces the amount of non-conformity, which is permitted through the conversion of a nonconforming use.

Additionally, Chapter 11 Zoning describes a temporary residential shelter and provides the following supplemental standards in Appendix B below:

Temporary Residential Shelter

Description: A place where individuals and families live on a temporary basis and support services including counseling may be provided. Residents typically receive housing at little or no cost, unrelated residents may share sleeping rooms, meals may or may not be provided, and unrelated residents may or may not share bathroom facilities.

Parking Requirements: 1 space for each 500 square feet of gross floor area devoted to patron services; plus 1 space for each employee on the largest work shift

Supplemental Standards:

(a) Requirements for operator. A temporary residential shelter shall be managed by an organization operating a program approved by the state of Wisconsin pursuant to ch. 51, Wis. Stats., and all relevant administrative rules including chs. DHS 72, DHS 75, and DHS 94, Wis. Admin. Code.

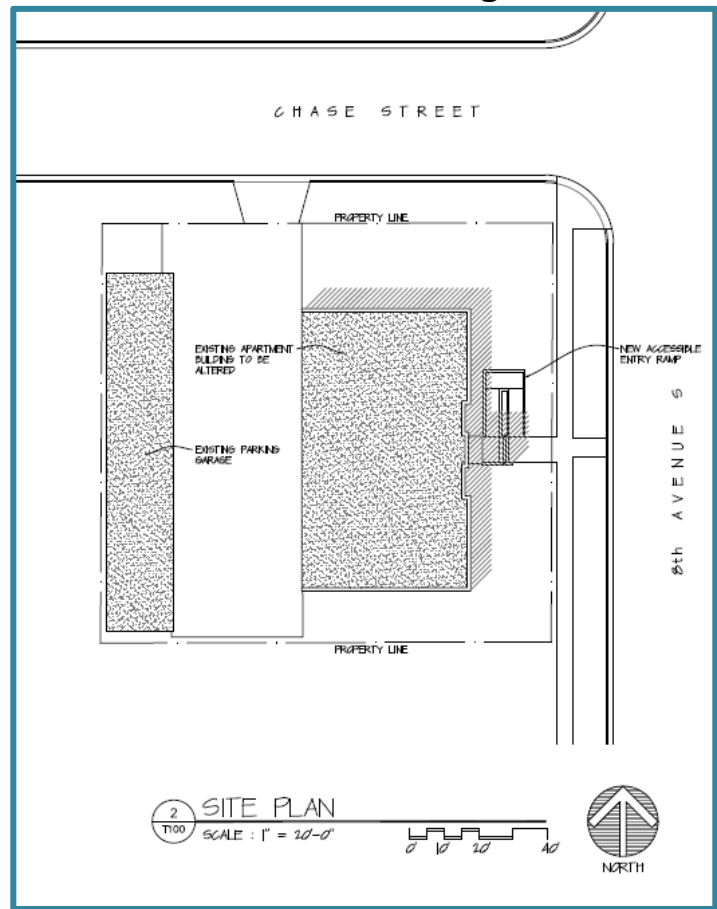
(b) Other approvals. A temporary residential shelter shall be approved by all applicable government entities having authority under law to license or authorize the operation.

(c) Number of residents. The number of residents at a temporary residential shelter shall not exceed 15 occupants at one time.

The applicant is predicting that very few of the residents will own personal vehicles, based upon their experience with the Marshfield location. Therefore, the need to accommodate vehicle parking in the traditional sense will be low. Per section 11.17.03 Off-street parking (r)(3):

Pursuant to the procedures and requirements in Article 5, the Planning Commission may authorize the use of a lesser parking standard for a particular land use as a special exception provided sufficient evidence is provided that shows actual off-street parking demand for that use is less than the standard set forth in Appendix B.

The applicant is asking that the Plan Commission make an exception to allow a reduced parking minimum. They have indicated that the amount of off-street parking combined with available on-street parking will be more than adequate to accommodate demand.



Standards of Review

11.05.55 Basis of decision

Generally, When reviewing conditional uses other than nonconforming conditional uses, the review authority shall consider the following factors:

1) the size of the parcel on which the proposed use will occur;

Analysis: The use is proposed to occur on a 15,972 square foot parcel. The existing building is a three-story 12,054 square foot structure. In addition, there is a 2,420 square foot detached 12 stall garage located on the west side of the property. Vehicular access to the property is from Chase Street.

Findings: The building appears sufficient to accommodate eleven apartment units plus common space. The site includes sufficient vehicular and pedestrian access and adequate green space on the property.

2) the presence of and compatibility with other uses on the subject property, if any;

Analysis: This building is the only structure on the property.

Findings: The proposed attached multi-family housing units/temporary residential shelter would be the only uses on the property. The uses are compatible with each other.

3) the location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses);

Analysis: The subject property is located southwest of the City's downtown among a mix of single-family and multi-family residences. The area is walkable and residents would have easy pedestrian access to the many downtown businesses and uses.

Findings: Multi-family housing and the associated temporary residential shelter include affordable housing options for residents. The multi-family residential nature of this property provides a suitable transition between the surrounding residential, commercial, and civic properties and is consistent with the intent of this zoning district.

4) effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;

Analysis: Multi-family (9 to 15) units require one space per dwelling unit, requiring 11 parking spaces. A temporary residential shelter requires 1 space for each 500 square feet of gross floor area devoted to patron service; plus 1 space for each employee on the largest work shift, requiring 25 parking spaces. The applicant has noted that many residents at the existing Marshfield location do not own personal vehicles and they expect low parking demand at this location as well.

Findings: Ingress and egress to and from the property is from Chase Street to the north. If this were a traditional multi-family development the existing 12 parking spaces would meet the requirement of 11 eleven parking spaces. If there is added concern due to the temporary residential shelter requirements, Plan Commission has the authority to reduce the minimum parking standard per the following section:

Zoning Code Section 11.17.03(R) – Pursuant to the procedures and requirements in Article 5, the Planning Commission may authorize the use of a lesser parking standard for a particular land use as a special exception provided sufficient evidence is provided that shows actual off-street parking demand for that use is less than the standard set forth in Appendix B.

Staff is recommending a reduced minimum parking standard due to low number of expected vehicles on site. Additionally, there is on-street parking available on both Chase Street and on 8th Avenue South.

5) the suitability of the subject property for the proposed use;

Analysis: See the above standards regarding lot size and other site specifics. The applicant has described the use further within the application.

Findings: The building is an adequate size for the proposed use. The building is sufficient to accommodate the 11 units proposed. The subject property is well suited to multi-family units and traditionally the existing building housed 12 multi-family units.

6) effects of the proposed use on the natural environment;

Analysis: The existing site is developed in a traditional manner. The project will however incorporate a ramp in front of the main entrance. The ramp is permitted to exist within the setbacks.

Findings: Impacts to the natural environment would be small, as the site is previously developed and operated as multi-family residences. This is an adaptive reuse project which is a sustainable alternative to new construction, as a reduced amount of building materials are needed to create livable space.

In the case that the garage is demolished and a parking lot is created in its place, the applicant will be directed to work with staff to properly integrate the landscape requirements. If garbage containers are located outside, they will be required to be concealed or suitably screened from public view.

7) effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances;

Analysis: The surrounding properties are primarily residential, but vary in uses ranging from residential, commercial, and civic, with hours of operation varying greatly.

Findings: This area contains a mix of residential uses southwest of downtown. This multi-family project is well suited to the location given the transitional zone in which the property is located.

8) effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts; and

Analysis: The surrounding area is fully developed.

Findings: The use will provide enhancement to the surrounding area. This project will contain space activation of presently non-utilized space. Residents who live at the property will utilize the surrounding resources including business, retail, and public space.

9) any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.

Analysis: Notices regarding the request were sent to neighbors within a 300-foot boundary of the property.

Findings: Concerned citizens can attend the meeting and provide input at the public hearing. As of the date of this memo, one neighbor has voiced concern via phone call to our office.

In summary, the proposed use should not be detrimental to the neighborhood and would likely provide a suitable transition between the residential, commercial, and civic uses immediately surrounding the subject property if the conditions recommended are implemented. Furthermore, this use meets a need for those in the community who may be facing housing displacement or other housing challenges, and redevelops a vacant building in a developed neighborhood. Therefore, staff feels that with the above interpretation, analysis, findings, and conditions, the use would be fitting for the property and therefore would recommend approval, subject to the following conditions listed on page one.



Application in Rapids, Wisconsin

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The City's zoning regulations identify land uses that may be allowed in each of the zoning districts either by right or as a conditional use. By definition, a conditional use is a land use that may or may not be appropriate on a given parcel depending on a wide range of factors that relate to the proposed use and the particular circumstances relating to the parcel and surrounding properties. Conditional uses are therefore considered on a case-by-case basis. As part of the review process, the Planning Commission and Common Council conduct a joint public hearing to solicit input from the general public and other interested parties. When reviewing conditional use applications, the Planning Commission serves in an advisory capacity to the Common Council, which makes the final decision. The recommendation of the Planning Commission and the decision of the Village Board are based on the evidence and testimony received as part of the application and through the public hearing process.

If you submit an application, do not contact any member on the Planning Commission or the Common Council until after a final decision has been made.

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

Application fee: \$250.00 for principal and accessory uses; \$100.00 for temporary uses and \$50.00 for administrative renewals

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Aldersperson notification Before you submit your application, you will need to send a letter to the Aldersperson of the district of where the request is taking place, explaining the request. Please attach the notification letter with your application materials.

Office Use Only

Date Received _____

Received By _____

Fee _____

Case # _____

Aldermanic District _____

Plan Commission Date _____

1. Applicant information

Applicant name _____

Street address _____

City, state, zip code _____

Daytime telephone number _____

Email _____

2. Agent contact information

Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

Agent 1

Name _____

Company _____

Street address _____

City, state, zip code _____

Daytime telephone number _____

Email _____

Agent 2

3. Type of application (select one)

- ☐ New conditional use
- ☐ Yes ☐ No Are there any other current conditional use approvals for the property?
If yes, provide the year of issuance and a short description.

- ☐ An amendment of a previously approved conditional use

4. Subject property information

Physical address _____

Parcel number(s) _____

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

- ☐ No
- ☐ Yes
- If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

- ☐ No
- ☐ Yes
- If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> RR Rural Residential | <input type="checkbox"/> R-8 Manufactured Home Park | <input type="checkbox"/> M-1 General Industrial |
| <input type="checkbox"/> R-1 Single-family Residential | <input type="checkbox"/> B-1 Downtown Commercial | <input type="checkbox"/> M-2 Heavy Industrial |
| <input type="checkbox"/> R-2 Mixed Residential | <input type="checkbox"/> B-2 General Commercial | <input type="checkbox"/> I-1 Institutional |
| <input type="checkbox"/> R-3 Multi-family Medium Density Residential | <input type="checkbox"/> B-3 Neighborhood Commercial | <input type="checkbox"/> P-1 Park and Recreation |
| <input type="checkbox"/> R-4 Multi-family High Density Residential | <input type="checkbox"/> B-5 Mixed Use Commercial | <input type="checkbox"/> C-1 Conservancy |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> Planned Development (PDD) | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Floodplain |
| <input type="checkbox"/> Downtown Design | <input type="checkbox"/> Shoreland-Wetland | <input type="checkbox"/> Wellhead Protection |

6. **Current use** Describe the current use of the subject property.

7. **Proposed use** Describe the proposed conditional use or the proposed amendment.

8. **Evaluation criteria** The factors listed below will be used in evaluating this application. Your responses are important.

1. The size of the parcel on which the proposed use will occur.

2. The presence of and compatibility with other uses on the subject property if any.

3. The location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses).

4. Effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site.

5. The suitability of the subject property for the proposed use.

6. Effects of the proposed use on the natural environment.

7. Effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances.

8. Effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts.

9. Any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.

9. Supplemental materials Attach the following to this application form.

- 1. A project map with the information listed in Appendix F of the zoning code.
- 2. Proposed construction plans (if applicable)
- 3. The letter you sent to the Alderperson for the district in which the project is located.

10. Attachments List any attachments included with your application.

11. Other information You may provide any other information you feel is relevant to the review of your application.

12. Mandatory meeting with staff

When did you meet with the Community Development Director? _____ Month/year

13. Applicant certification

- I understand that I, or any of my agents, may not discuss this application with any member of the Planning Commission or the Common Council until after a final decision is rendered.
- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Adam Fischer
Name - print Mary's Place

Name - print

[Signature]
Name - Signature

Name - Signature

2-22-22
Date

Date

Commercial Alterations for:

Mary's Place

520 South 8th Avenue Wisconsin Rapids, WI 54494

Code Data

Governing Code
Wisconsin Enrolled, International Building Code 2015

Occupancy Classification - 303.1
RESIDENTIAL, R2 - APARTMENT, (NOT A CHANGE OF USE)

Allowable Stories - TABLE 504.4
R2 OCC, 5B CONSTRUCTION, SPRINKLED (S) = 3 STORIES

Allowable Area - TABLE 506.2
R2 OCC, SPRINKLED (SM), 21,000 SF ALLOWED

Actual Building Area
12,045 SF TOTAL

Fire Partitions 708.3
DWELLING SEPARATION 1 HOUR AT COMMON WALLS
EXCEPT'S 1&2, SPRINKLED ALLOWS 1/2 HOUR

Floor/Ceiling Assembly 711.2.4.3
DWELLING SEPARATION 1 HOUR AT FLOOR/CEILINGS
EXCEPT'S 1&2 SPRINKLED ALLOWS 1/2 HOUR

Type of Construction - TABLE 601
TYPE VB, WOOD FRAME

Occupant Capacity 1004.1.2
RESIDENTIAL (R2) = 200 SF / OCCUPANT GROSS
12,045 / 200 = 60

Required Exit Width
1005.3.1 (Stairs) 0.30" PER OCC
1005.3.2 (Other) 0.20" PER OCC 72"/55 OCC = 1.30"

Exit Access Travel Distance 1017.2
R2 OCC, SPRINKLED = 250'

Common Path Travel Distance 1006.2.1
R2 OCC, SPRINKLED = 125'

Fire Protection 903.2.8
R2 OCC, BUILDINGS CONTAINING R OCC SHALL BE
SPRINKLED IN COMPLIANCE WITH NFPA R-13

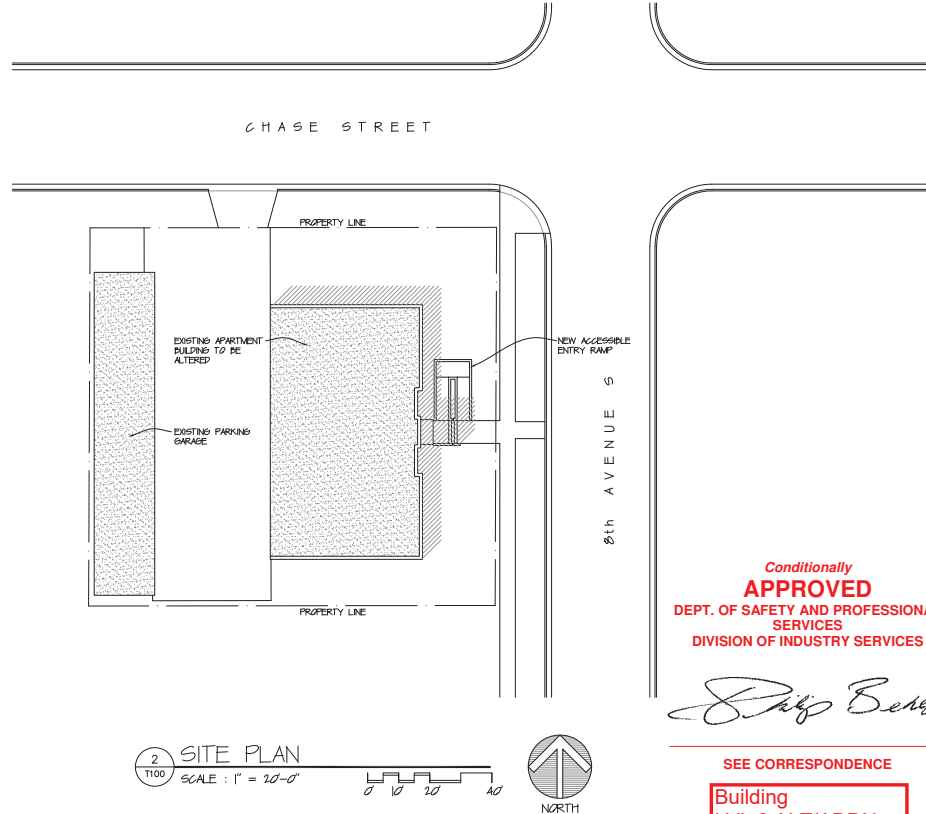
Smoke Barrier 718.4.3
ATTIC COMPARTMENTALIZATION = 3,000 sf Max.

Sanitary Facilities, Table 2902.1
R OCCUPANCY, PER UNIT REQUIREMENTS
1 TOILET
1 LAVATORY
1 BATH / SHOWER
1 KITCHEN SINK
1 LAUNDRY CONNECTION

Design Loads
SOIL BEARING CAPACITY, 3,000 PSF PRESUMED
TABLE 1804.2
ROOF LIVE LOAD = 33.6 PSF
UNBALANCED SNOW LOAD = 50.4 PSF
ROOF DEAD LOAD = 15 PSF
LATERAL LOAD (WIND) = 20 PSF, 115 MPH
FLOOR LIVE LOAD, (ALL FLOORS) 100 PSF

ALL LUMBER USED SHALL BE NEW SPT #5 OR BETTER WITH
STRUCTURAL PROPERTIES AS SPECIFIED IN THE NATIONAL DESIGN
STANDARDS FOR WOOD CONSTRUCTION (NDS) IN THE NDS DOCUMENTS
PUBLISHED BY THE AMERICAN FOREST AND PAPER ASSOCIATION.

NEW IS DEFINED AS WOOD PURCHASED FOR USE ON THIS PROJECT.
SCRAPS OR JUNK OR RECYCLED WOOD SHALL NOT BE USED, ONLY
NEW WOOD.



Conditionally
APPROVED
DEPT. OF SAFETY AND PROFESSIONAL
SERVICES
DIVISION OF INDUSTRY SERVICES

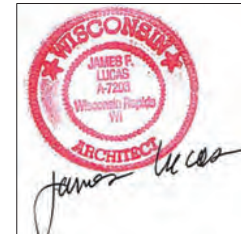
James P. Lucas

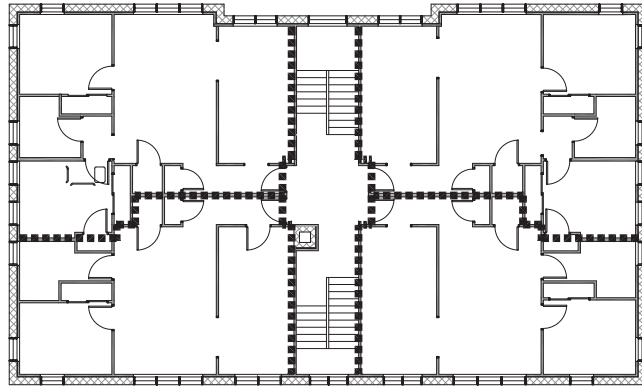
SEE CORRESPONDENCE

Building
LVL 3 ALT/ADDN
DIS-062228448
CB-082201399-PRB
8/2/2022

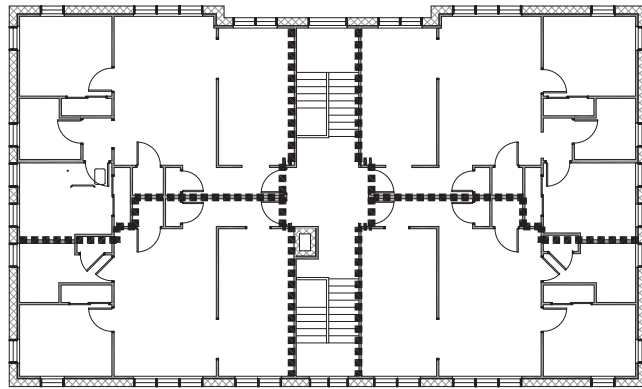
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A101	GRADE FLOOR PLAN
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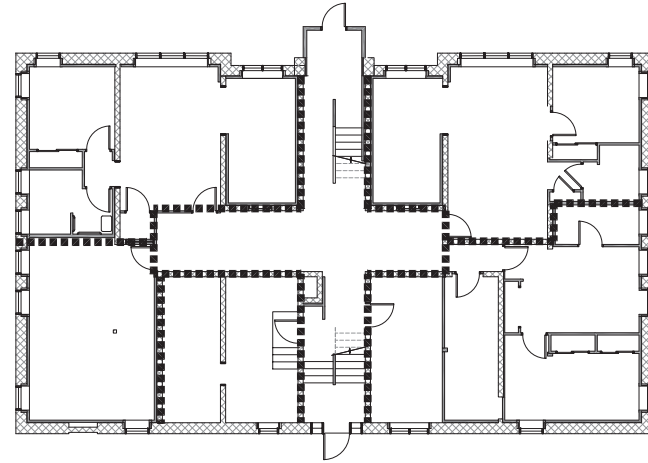




2 SECOND FLOOR PLAN
A100



3 THIRD FLOOR PLAN
A100



 FIRST FLOOR PLAN



- UNIT SEPARATION - 1/2 HOUR RATED -
 (1) LAYER 5/8" TYPE X DRYWALL
 BOTH SIDES OF 2x FRAMING
 UL 1002 1 HOUR WALL ASSEMBLY
- DOORS IN 1 HR BARRIERS SHALL
 ALSO BE 1 HR RATED WITH CLOSERS
 AND LATCHING HARDWARE
- FLOOR/CEILING HORIZONTAL SEPARATION -
 1" NOMINAL SOLID WOOD FLOOR DECK
 - 2"x10" SPT FLOOR FRAMING 16" OC
 5/8" TYPE X FIRECORE ONE-WALL BOARD
 UL FPL/CL0 ASSEMBLY, (1 HOUR UL 150)

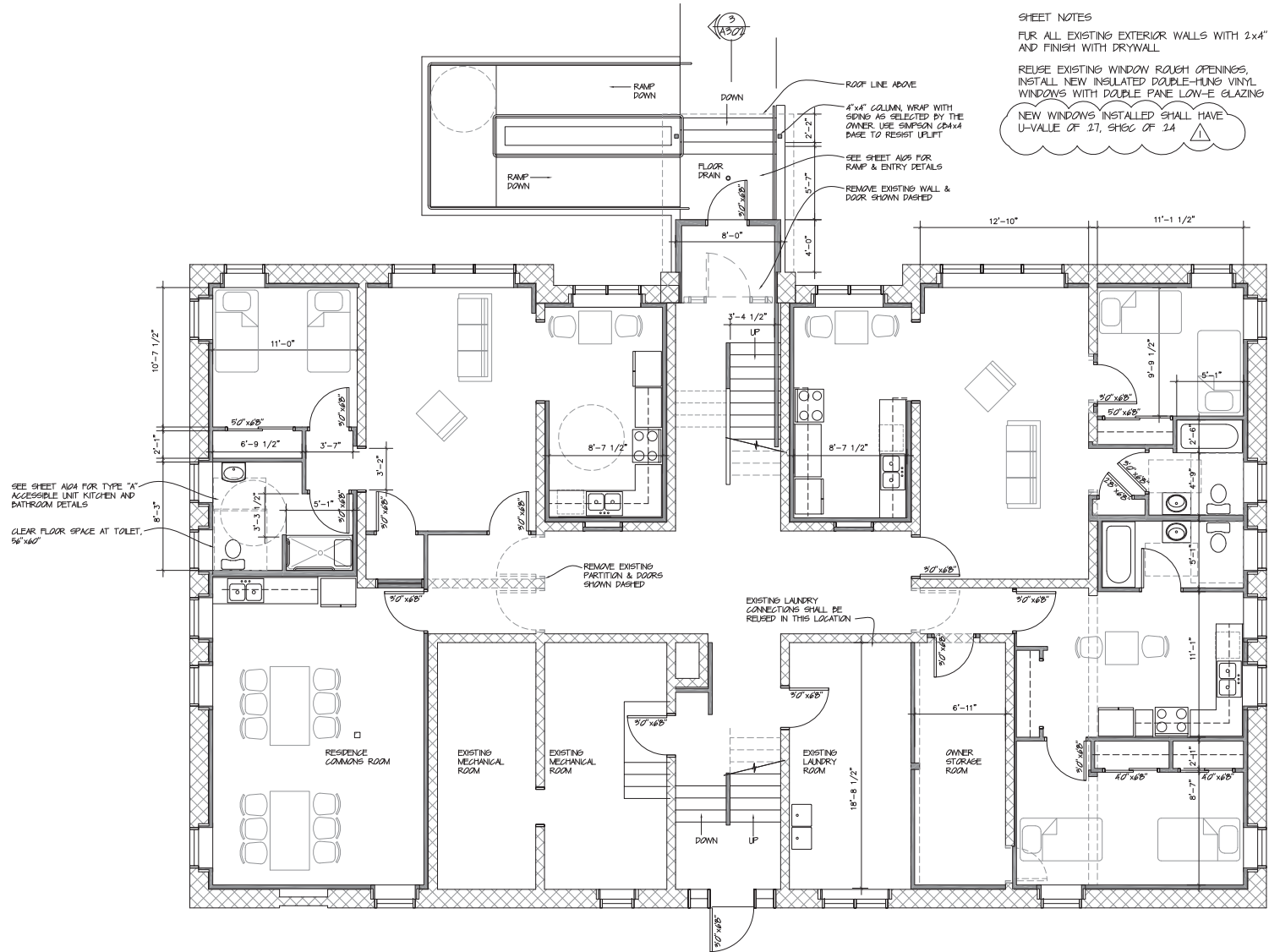
NEW FRAMED PARTITION

EXISTING CMU PARTITION

EXISTING TO BE DEMOLISHED

EXISTING TO REMAIN





1
A101 FIRST FLOOR PLAN
SCALE : 1/4" = 1'-0"

DOORS IN 1 HR BARRIERS SHALL ALSO BE 1 HR RATED WITH CLOSERS AND LATCHING HARDWARE

SHEET NOTES
FOR ALL EXISTING EXTERIOR WALLS WITH 2x4" AND FINISH WITH DRYWALL
REUSE EXISTING WINDOW ROUGH OPENINGS. INSTALL NEW INSULATED DOUBLE-HUNG VINYL WINDOWS WITH DOUBLE PANE LOW-E GLAZING
NEW WINDOWS INSTALLED SHALL HAVE U-VALUE OF 2.7, SHGC OF 0.4

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FIRST FLOOR PLAN

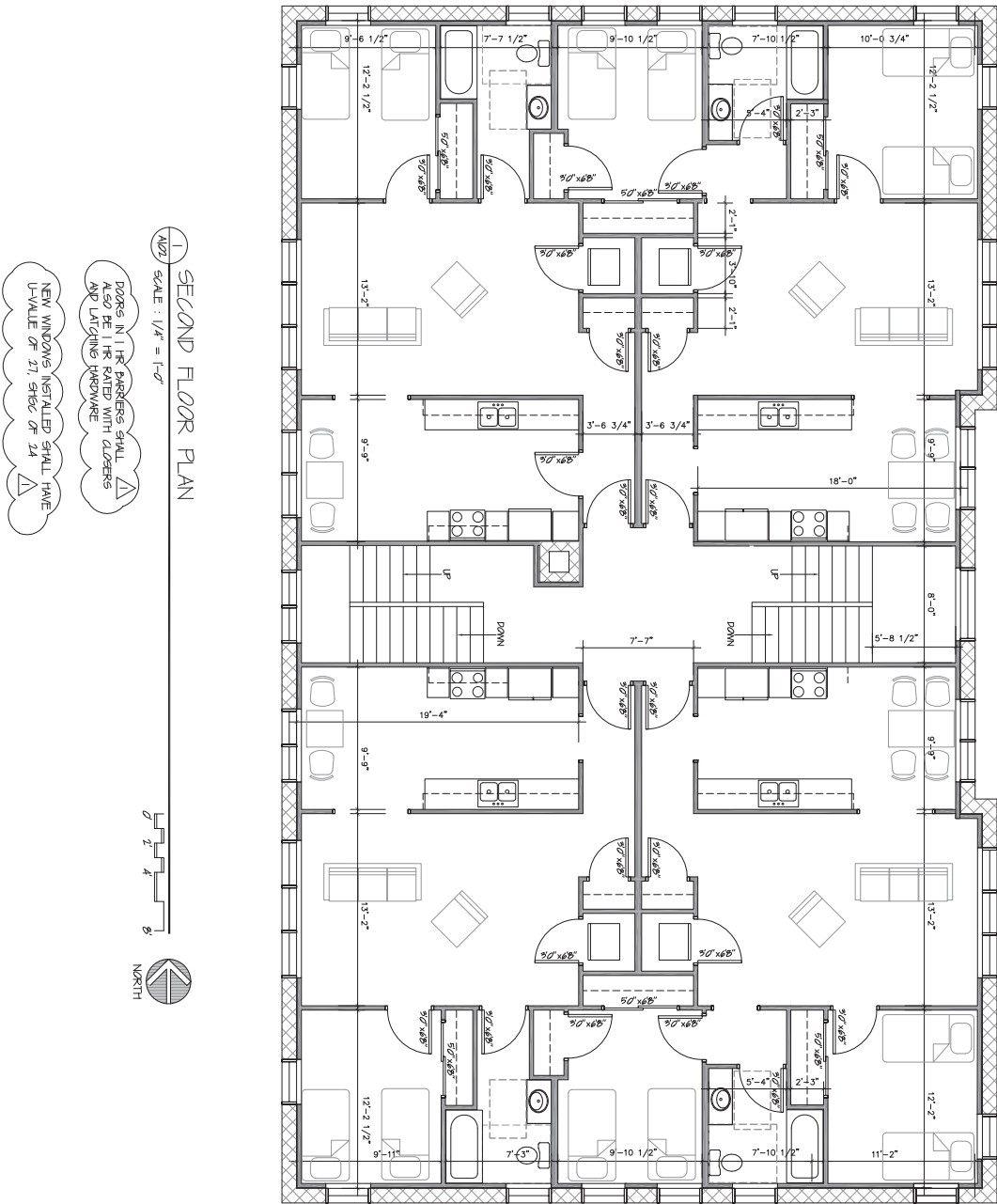
COMMERCIAL ALTERATIONS
FOR
MARY'S PLACE
560 8th AVENUE S
WISCONSIN RAPIDS, WI 54484

	REVISIONS
Prelim	3/28/22
Con Docs	3/28/22
Approval	4/21/22
Rev. 1	5/12/22

DATE
Apr. 6, 22
PROJECT NO.
22 012

A101

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A102

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Rev. I	8/122	
DATE	APR 16, 22	
PROJECT NO.	22-072	

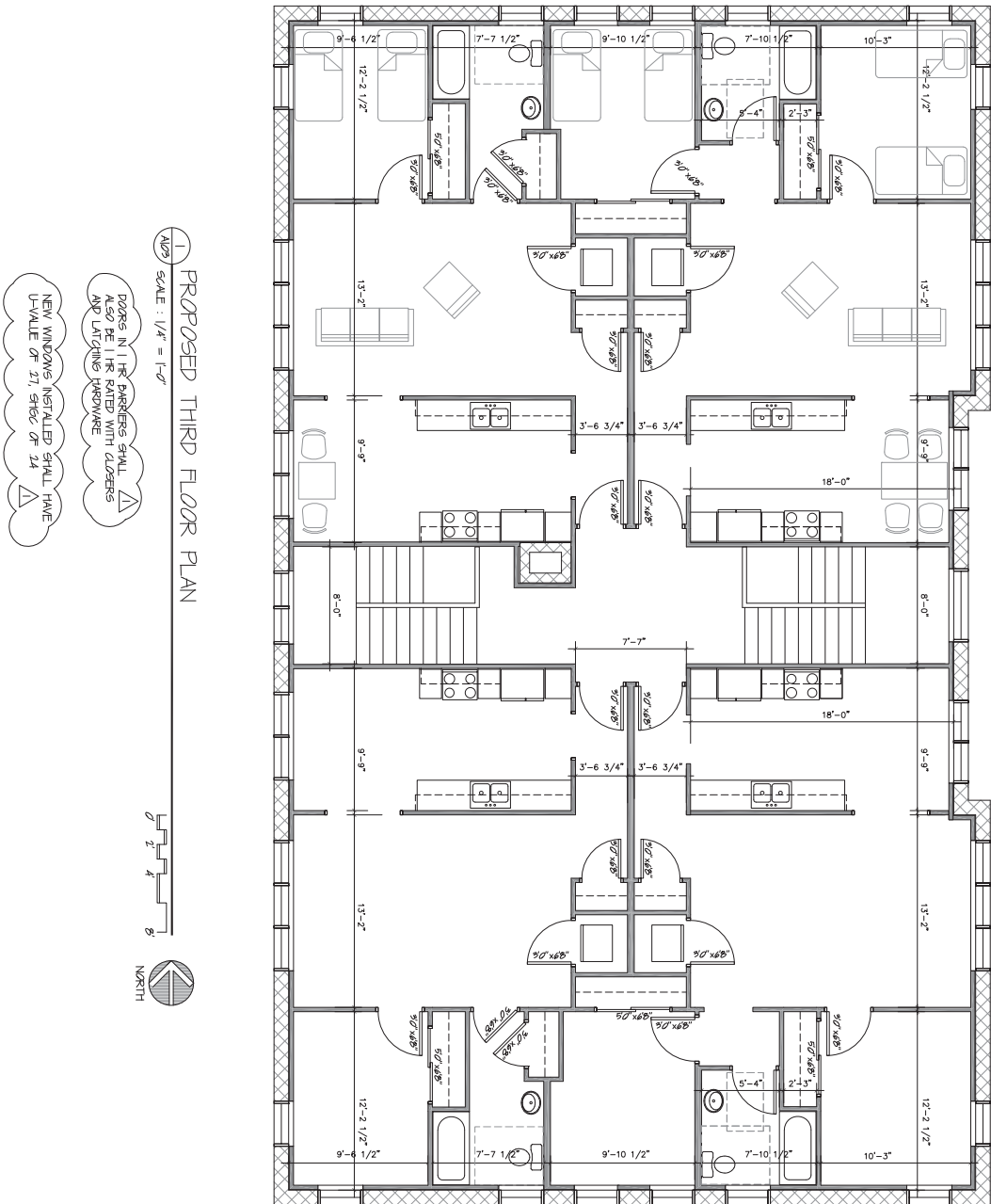
COMMERCIAL ALTERATIONS
FOR
MARY'S PLACE
560 8th AVENUE S
WISCONSIN RAPIDS, WI 54494

SECOND FLOOR
PLAN

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A103

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Con Doc's	5/25/22	
Approval	4/22	
Rev. 1	8/12	

COMMERCIAL ALTERATIONS
FOR
MARY'S PLACE
560 8th AVENUE S
WISCONSIN RAPIDS, WI 54494

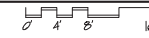
THIRD FLOOR PLAN

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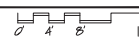




1
A201
EXTERIOR ELEVATION east
SCALE : 1/8" = 1'-0"

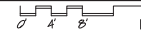


2
A201
EXTERIOR ELEVATION north
SCALE : 1/8" = 1'-0"

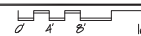


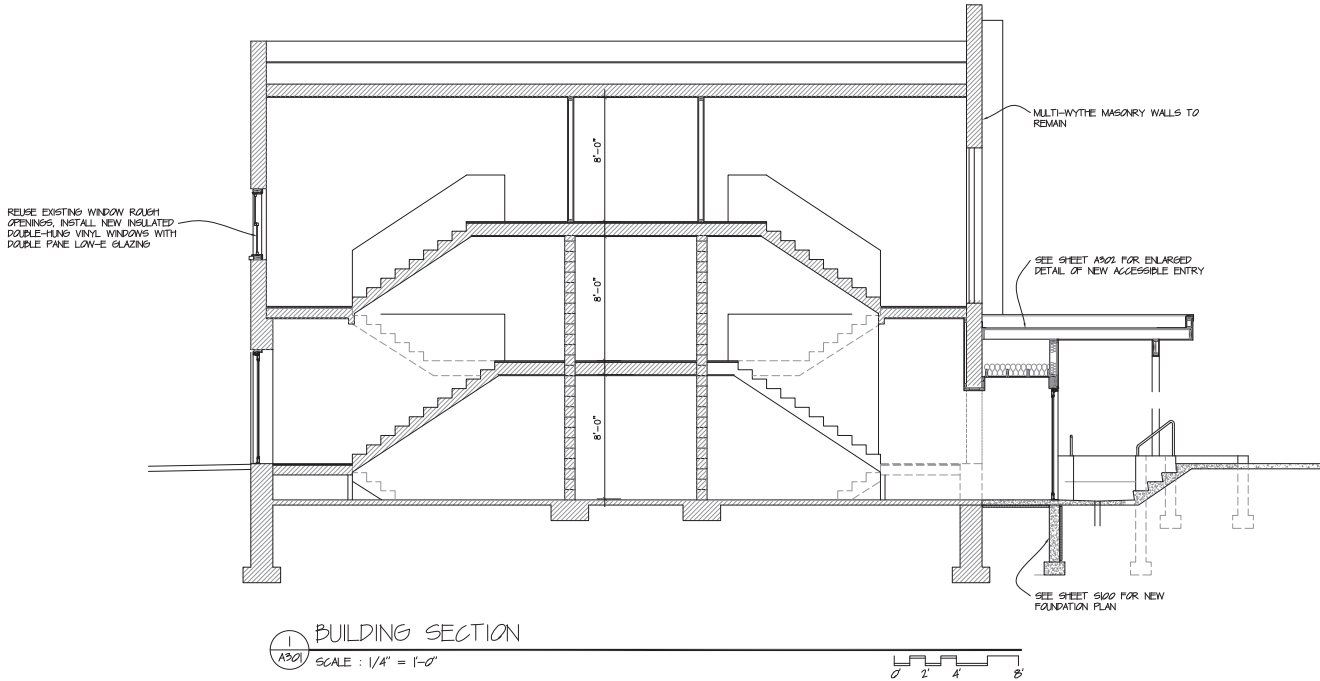


2
A201
EXTERIOR ELEVATION west
SCALE : 1/8" = 1'-0"



1
A201
EXTERIOR ELEVATION south
SCALE : 1/8" = 1'-0"





EXISTING BUILDING MASONRY ENVELOPE TO REMAIN AS IT IS. ALL OF THE EXISTING FLOOR, ROOF AND BEARING WALLS STRUCTURE SHALL ALSO REMAIN. NEW CARPENTRY WILL INCLUDE NEW PARTITIONS AND FLOORING AT ALL EXISTING EXTERIOR WALLS.



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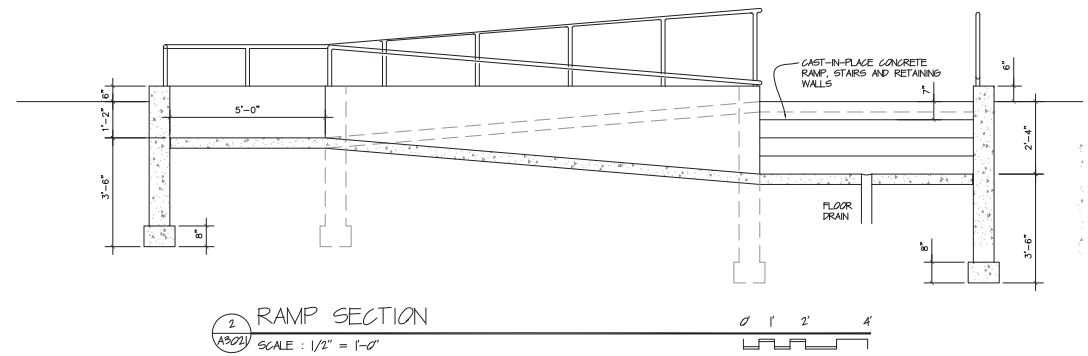
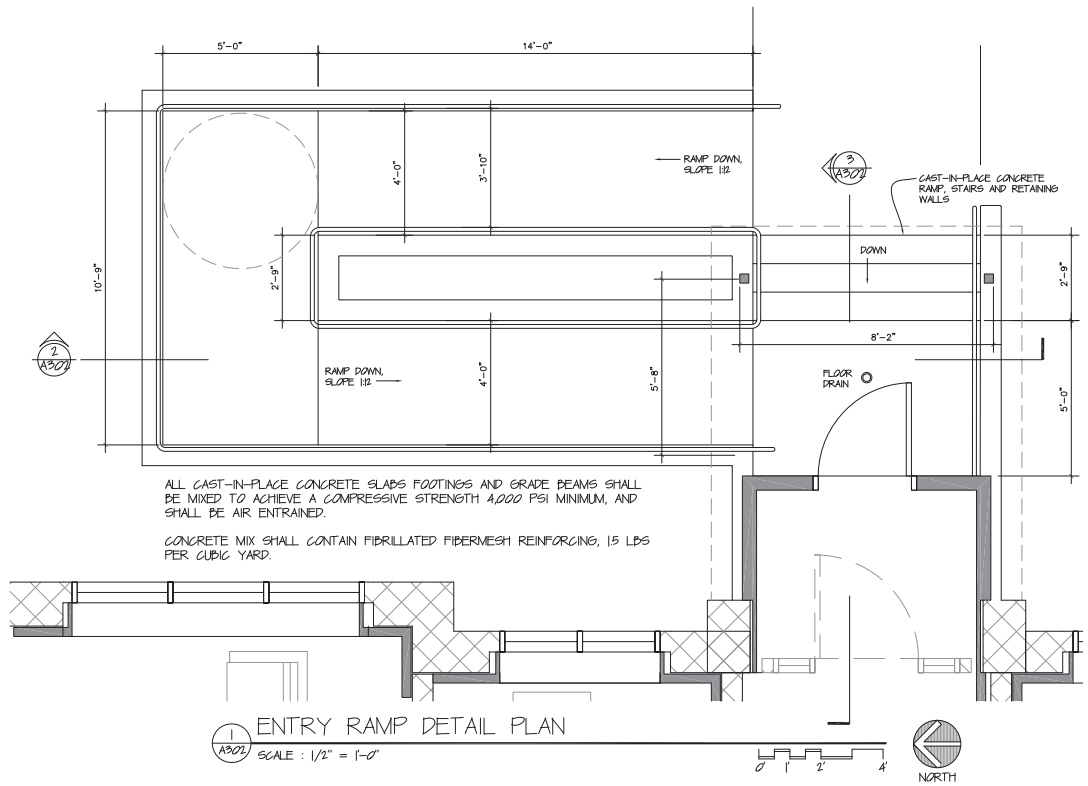
FIRST FLOOR PLAN

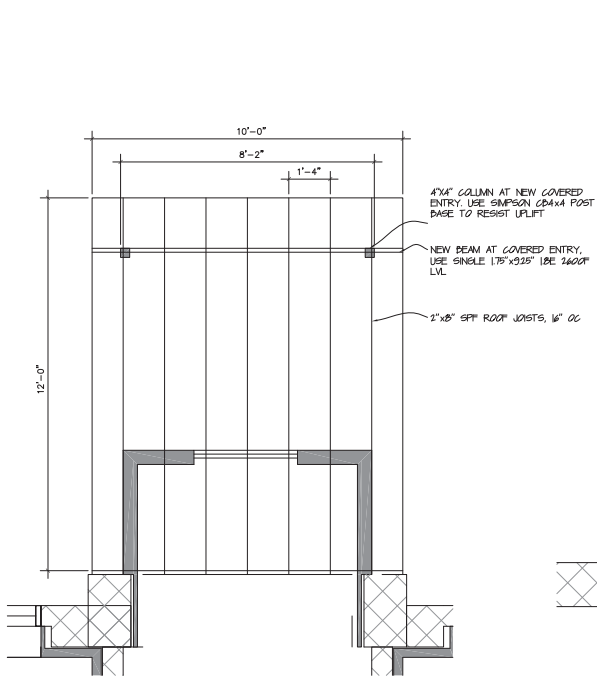
COMMERCIAL ALTERATIONS

FOR
MARY'S PLACE
540 81st AVENUE S
WISCONSIN RAPIDS, WI 54494

REVISIONS
5/25/22
5/25/22
6/2/22
DATE
DATE
Apr. 6, 22
PROJECT NO.
22 012

A301

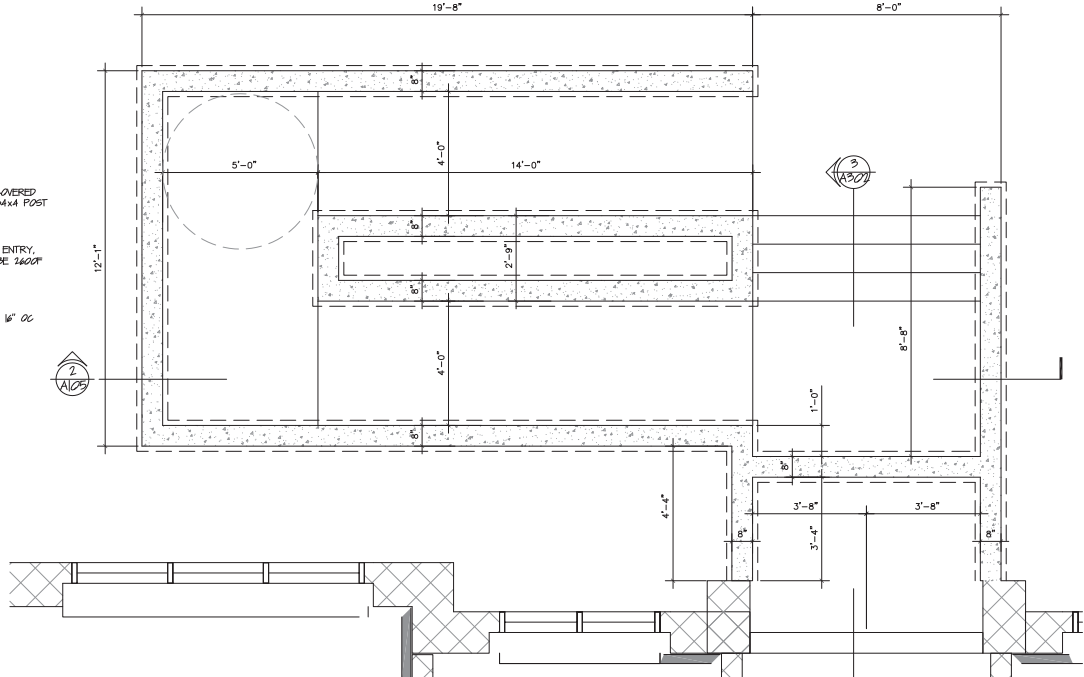




2 ENTRY ROOF FRAMING PLAN
SCALE: 1/2" = 1'-0"

0 1 2 4

NORTH



1 RAMP FOUNDATION PLAN
SCALE: 1/2" = 1'-0"

0 1 2 4

NORTH

ALL CAST-IN-PLACE CONCRETE SLABS FOOTINGS AND GRADE BEAMS SHALL BE MIXED TO ACHIEVE A COMPRESSIVE STRENGTH 4,000 PSI MINIMUM, AND SHALL BE AIR ENTRAINED.

CONCRETE MIX SHALL CONTAIN FIBRILLATED FIBERMESH REINFORCING, 15 LBS PER CUBIC YARD.



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NEW RAMP FOUNDATION
PLAN

COMMERCIAL ALTERATIONS

FOR
MARY'S PLACE
540 8TH AVENUE S
WISCONSIN RAPIDS, WI 54494

REVISIONS
5/25/22
5/25/22
6/2/22
DATE
Rev. 1
DATE
Apr. 6, 22
PROJECT NO.
22 012

S100



MEMO

To: Plan Commission
From: Kyle Kearns, Director of Community Development
Carrie Edmondson, Associate Planner
Date: August 31, 2022
RE: City of Wisconsin Rapids – 22-000929: Public hearing and action on a request to amend Chapter 11-Zoning Ordinance, specifically Appendix A Land-Use Matrix, and Appendix B Land Uses to reclassify and define Tourist Rooming House.

The Community Development Department has been directed to present a simplified ordinance for Tourist Rooming Houses based on recent conversation by Plan Commission and Common Council. Therefore, below are changes that would permit the use in residential districts, rather than as a conditional use, and remove all supplemental standards. While standards are removed, note that state statutes still require additional requirements, such as a state permit and inspection by health officials.

Appendix A Land-Use Matrix – 5.06 Tourist Rooming House

Series/Land Use	Secondary Review	RR	R-1	R-2	R-3	R-4	R-8	B-1	B-2	B-3	B-5	I-1	P-1	M-1	M-2	C-1
Tourist Rooming House	AR, SP, ZP	€ P	€ P	€ P	€ P	-	-	-	-	-	-	-		-	-	-

Appendix B Land Uses – 5.06 Tourist Rooming House

Tourist Rooming House

Description: A place where a single-family dwelling, individual rooms in a single-family dwelling, and/or one or more cabins and cottages are offered to transient guests for rent, provided the total number of guest rooms does not exceed 8. The term does not include other forms of transient lodging including bed and breakfasts and overnightlodging.

Parking Requirements: 1 space for each guest room

Supplemental Standards:

~~(a) State permit.~~ Prior to the establishment of a tourist rooming house, the operator shall obtain a tourist rooming house permit from the Wisconsin Department of Health Services, or the department's authorized agent, and maintain such permit for the life of the use or until the department no longer requires such permit. [1]

~~(b) Display of permit.~~ The operator shall display the current tourist rooming house permit in a conspicuous location inside the tourist rooming house.

~~(c) Accommodations tax.~~ Prior to the establishment of a tourist rooming house, the operator shall obtain any permit or license, as may be required by the City, for the purpose of collecting an accommodations tax as may be adopted by the City and/or any other purpose.



~~(d) Registry.~~ The operator of the tourist rooming house shall keep an accurate register showing the names of all guests. This registry shall be kept on file for a period of one year and shall be available for inspection by city officials at any time upon request.

~~(e) Agent.~~ The operator of a tourist rooming house shall name one or more agents, who shall be responsible for the management of the property and who will serve as the primary point of contact. An agent must reside in the City of Wisconsin Rapids or within 5 miles of the city. In the event a different agent is named, a revised permit application shall be filed with the City Clerk no less than 5 business days prior to the effective date of the change in agent(s). Nothing herein shall be construed as to prohibit the property owner from being named as an agent so long as he or she resides in the City.

~~(f) Building codes.~~ Prior to the establishment of a tourist rooming house or the expansion of an existing tourist rooming house, the building inspector shall certify that the dwelling meets all applicable building code requirements.

No special standards apply to Tourist Rooming Houses, however additional state or local requirements may exist.

While staff doesn't recommend the changes above, if they occur, staff recommends amending chapter 20, Licenses, Permits, and Business Regulations to clarify a license for Tourist Rooming Houses, similar to Mobile Vending. Chapter 20.14(2) currently requires a permit for Rooming Houses but does not explicitly define Tourist Rooming Houses. A separate license could incorporate additional protections for the public safety and welfare, such as a local designated agent, room tax registrations, and building inspection. For reference, staff have attached an example of Tourist Rooming House licensing. For a separate license to be required under chapter 20, separate action would be required by the Legislative Committee and Common Council.

LICENSES AND PERMITS

Sec. 9-94. Application for license.

The application for the license shall contain the following, and an inspection and investigation shall be made as follows:

- (1) *Information required.* Application for a mobile home park license shall be filed with the city clerk. The application shall be in writing signed by the applicant and shall contain the following:
 - (a) The name and address of the applicant.
 - (b) The location and legal description of the mobile home park.
 - (c) A complete plan of the park showing the locations of all roads, lots, utilities and common areas of the park.
 - (d) Plans and specifications of all buildings and other structures constructed or to be constructed within the mobile home park.
 - (e) Such further information as may be requested by the judiciary, license and cemetery committee to enable it to determine if the proposed park will comply with legal requirements.
- (2) *Inspection and investigation.* The application and all accompanying plans and specifications shall be filed in triplicate with the building services supervisor. The board of public works, the chief of police and the building services supervisor shall investigate the applicant and inspect the proposed plans and specifications. If the applicant is found to be of good moral character, and the proposed mobile home park will be in compliance with all provisions of this article and with ATCP 125Wis. Admin. Code and § 66.0435 Wis. Stats., the council shall approve the application and, upon completion of the park according to the plans, the city clerk shall issue the license.
- (3) *Transfer applications.* Upon application for a transfer of the license, the council shall approve a transfer if the license committee and the chief of police shall report that the transferee is of good moral character.

(Code 1982, § 12.11(4))

Sec. 9-95. Penalty.

Any violation of this article shall be subject to a penalty as set forth in section 1-05 of this Code.

(Code 1982, § 12.11(5))

Article VI. Short-Term Rental**Sec. 9-100. Purpose.**

- (1) The purpose of this Article is to ensure that the quality of short-term rentals operating within the City is adequate for protecting public health, safety, and general welfare, including determining the responsibilities of owners, operators and property managers offering these properties for tourists or transient occupants, to protect the character and stability of all areas, especially residential areas, within the City of Marshfield; to provide minimum standards necessary for the health and safety of

MARSHFIELD MUNICIPAL CODE

persons occupying or using the buildings, structures, and premises; and provisions for the administration and enforcement thereof.

(ORD 1433, 5/12/20)

Sec. 9-101. Definitions.

- (1) For the purpose of administering and enforcing this Article, the terms or words used herein shall be interpreted as follows:
 - a. Words used in the present tense include the future.
 - b. Words in the singular number include the plural number.
 - c. Words in the plural number include the singular number.
- (2) The following definitions and conditions apply unless specifically modified:

Corporate Entity. A corporation, partnership, limited liability company, or sole proprietorship licensed to conduct business in this state.

Dwelling Unit. One (1) or more rooms with provisions for living, cooking, sanitary, and sleeping facilities and a bathroom arranged for the exclusive use by one (1) person or (1) family.

License. The Short-Term Rental License issued under Article VI of this chapter.

Owner. The owner of a short-term rental unit.

Person. Shall include a corporation, firm, partnership, association, organization and any other group acting as a unit as well as individuals, including a personal representative, receiver or other representative appointed according to law. Whenever the word person is used in any section of this Article prescribing a penalty or fine, as to partnerships or associations, the word shall include the partners or members hereof, and as to corporations, shall include the officers, agents or members thereof who are responsible for any violation of such section.

Resident Agent. Any person appointed by the owner of a short-term rental to act as an agent on behalf of the owner.

Short-Term Rental. A residential dwelling that is offered for a fee and for fewer than 29 consecutive days, as defined in Wis. Stat. Sec. 66.0615(1)(dk).

State. The State of Wisconsin Department of Health, or its designee.

(ORD 1433, 5/12/20)

Sec. 9-102. Operation of Short-Term Rentals.

- (1) No person shall maintain, manage, or operate a short-term rental without a short-term rental license. Every short-term rental shall be operated by a property owner or a resident agent.
- (2) Each short-term rental is required to have the following licenses and permits:
 - a. Tourist Rooming House License from Wood County or Marathon County, depending on which county the short-term rental unit is located in;
 - b. A seller's permit issued by the Wisconsin Department of Revenue;
 - c. A Room Tax Permit;
 - d. A license issued pursuant to the provisions of this Article.
- (3) Each short-term rental shall comply with the following:

LICENSES AND PERMITS

- a. A minimum of 2 off-street parking spaces are required. Existing parking on-site may be utilized.
- b. Name plates or other signage shall follow the regulations of the Sign Code in Chapter 24 of the Municipal code. An identification sign does not require a sign permit; however the sign area cannot exceed 6 square feet. No other signage advertising the short-term rental is permitted on site. Off-site advertising in media channels relating to the availability of the rental may take place only after all City, County, and State permits and licenses have been obtained.
- c. Occupancy shall be limited to 2 persons per bedroom, plus an additional 2 persons. At no time may the number of guests exceed 8 regardless of the number of bedrooms in the dwelling unit.
- d. The number of occupants in any unit shall not exceed the limits set forth in the State of Wisconsin Uniform Dwelling Code and other applicable County and City housing regulations based upon the number of bedrooms in each unit.
- e. No recreational vehicles (RVs), campers, tents, or temporary lodging arrangement shall be used as a means of providing additional accommodations for paying guests or other invitees.
- f. Any outdoor event held at the short-term rental shall last no longer than one day occurring between the hours of 8:00am and 10:00pm. Any activities shall be in compliance with regulations regarding noise and vibrations in Section 10-33 of the Municipal Code.
- g. All rentals of the short-term rental shall be subject to payment of the City of Marshfield room tax at the current applicable rate.
- h. Compliance with all state, county, and local regulations is required.
- i. A short-term rental license will not be issued until the City has proof that the appropriate County health department has completed an inspection and a license is issued.
- j. Short-term rental licenses are issued for a one year period and must be renewed annually subject to City approval or denial.

(ORD 1433 5/12/20)

Sec. 9-103. Short-Term Rental License Procedure.

- (1) The City Clerk's office shall issue a short-term rental license to all applicants following the approval of an application and the filing of all documents and records required under this Article. The application shall also contain the following information:
 - a. Identify the property owner;
 - b. Identify the resident agent with contact information;
 - c. Identify the lodging marketplace, if applicable;
 - d. The maximum occupancy for the premises;
 - e. The license term;
 - f. Contact information for the City.
- (2) The resident agent must be authorized to allow City employees, officers and their designees, to enter the owner's property for purposes of inspection and enforcement of this Article and the Municipal Code.
- (3) All applications for a short-term rental license shall be filed with the City Clerk's office on forms provided. Applications must be filed by the property owner. A resident agent may be identified by

MARSHFIELD MUNICIPAL CODE

the owner. No permit shall be issued unless the completed application form is accompanied by payment of the required fee.

- (4) Each application shall include the following information and documentation for each short-term rental unit:
 - a. Wood County or Marathon County License for a Tourist Rooming House License or Bed and Breakfast License issued under Wis. Stat. Sec. 254.64;
 - b. A copy of a completed State Lodging Establishment Inspection form dated within one (1) year of the date of issuance or renewal;
 - c. Seller's Permit from the Department of Revenue, if any;
 - d. Floor plan and requested maximum occupancy;
 - e. Site plan including available onsite parking;
 - f. Designation of the resident agent (if applicable);
- (5) Terms and Filing Date.
 - a. Each permit and license shall run during a calendar year. The filing fee shall be paid upon filing of the application.
 - b. Any application which does not include all of the information and documentation shall not be considered as complete.
- (6) Application Review Procedure.
 - a. When satisfied that the application is complete, the City Clerk shall forward initial applications for permits and licenses to the appropriate City Departments for review. If the City Clerk in consultation with City staff determines that the application meets the requirements of this Article, they may approve the application. If the City Clerk in consultation with City staff determines that the application does not meet the requirements of this Article, they may deny the application.
- (7) Renewal.
 - a. Each application for a renewal of a permit or license shall include updated information for the documentation on file with the City Clerk and payment of the applicable fee. The City Clerk shall verify that the information provided on the renewal application is complete and in accordance with the requirements of this Article. The City Clerk shall request reports from the City of Marshfield Police regarding any complaints received, calls for service or actions taken regarding the short-term rental properties. The City Clerk shall issue renewal licenses within thirty (30) days of the filing of the application unless the information provided is incomplete or otherwise not in compliance with the requirements of this Article and/or reports from the Police Department and the Zoning Administrator indicate that there are complaints or actions involving the property.
 - b. If the City Clerk finds that the license or permit should not be renewed, the City Clerk shall deny the renewal.
 - c. No permit or license shall be renewed if the applicant or property has outstanding fees, taxes, or forfeitures owed to the City, or is under an order issued by the Building Inspector, or his designee, to bring the premises into compliance with City ordinances, unless arrangements for payment have been approved by the City Clerk.
- (8) Resident Agent.
 - a. All short-term rentals are required to appoint a resident agent for the receipt of service of notice of violation of this Article's provisions and for service of process pursuant to this Article. Such a designation shall be made by the owner and shall accompany each application

LICENSES AND PERMITS

form. The owner may designate themselves as the resident agent. Said applicant shall immediately notify the City Clerk of any change in residence or information regarding the resident agent.

- b. To qualify as a resident agent the person must meet the following requirements:
 - i. The applicant is authorized by the owner to accept service of process for all City communications, citations, and orders.
- c. Each resident agent shall be authorized by the property owner to act as the agent for the owner for the receipt of service of notice of violation of this Article's provisions and for service of process pursuant to this Article and shall be authorized by the owner to allow City employees, officers and their designees, to enter the owner's property for purposes of inspection and enforcement of this Article and/or the City Municipal Code.

(ORD 1433, 5/12/20)

Sec. 9-104. Standards for Short-Term Rentals.

- (1) Each short-term rental shall comply with this Article's requirements or any other applicable City ordinance.
- (2) Room Tax.
 - a. Each short-term rental shall comply with the room tax reporting requirements of the City Municipal Code Chapter 4-38.
- (3) Display of Permit.
 - a. Each license or permit shall be displayed on the inside of the main entrance door of each short-term rental.

(ORD 1433 5/12/20)

Sec. 9-105. Appeal and License Revocation.

- (1) The denial of any license or permit application or renewal under this Article may be appealed by filing a written appeal request with the City Clerk within 10 days of the City's notice of denial. The appeal shall be heard by the Judiciary and Licensing Committee.
- (2) A license may be revoked for one or more of the following reasons:
 - a. Failure to make payment on taxes or debt owed to the City;
 - b. Failure to make payment on the City of Marshfield room tax;
 - c. 3 or more calls for police service, building inspection, or the county health department for nuisance activities or other law violations in a 12 month period.
 - d. Failure to maintain all necessary county and state permits and licenses within 12 months of obtaining the City license;
 - e. Any violation of local, county, or state laws that substantially harm or adversely impact the predominately residential uses and nature of the surrounding.

(ORD 1433 5/12/20)

MARSHFIELD MUNICIPAL CODE

Sec. 9-106. Penalties.

- (1) Any person who shall violate any provision of this Article shall be subject to a penalty as provided in Section 1-05 in this Code.
- (2) Penalties set forth in this section shall be in addition to all other remedies of injunction, abatement or costs whether existing under this Article or otherwise.

(ORD 1433 5/12/20)

Sec. 9-107. Fees.

- (1) Fees for licenses required by this Article are due and payable before the issuance of a new license and renewal license annually before January 1 of each year. The cost for the short-term rental license can be found in the City's fee schedule.

(ORD 1433 5/12/20)