WISCONSIN RAPIDS

PLAN COMMISSION MEETING

September 13, 2021
5:30 PM

PUBLIC MEETING NOTICE

PLANNING COMMISSION	AGENDA ITEM RECIPIENTS
Mayor Blaser, Chairperson	Sue Schill, City Attorney
Ryan Austin, Alderperson	Erika Esser, Secretary
Shane Burkart	Jennifer Gossick, City Clerk
Lee Thao	
Susan Feith	
Eric Daven	
Ben Goodreau	

Notice is hereby given of a meeting of the Wisconsin Rapids Plan Commission held within the Council Chambers at City Hall, 444 West Grand Avenue, Wisconsin Rapids, and via remote audioconferencing on **September 13, 2021, at 5:30 PM. The public can listen to the meeting by calling 1-312-626-6799, Access code: 898 1889 5643**. The meeting will also be streamed LIVE on the City of Wisconsin Rapids Facebook page. This meeting is also available after its conclusion on the City's Facebook page and Community Media's YouTube page, which can be accessed at www.wr-cm.org. If a member of the public wishes to submit comments to the Commission regarding an agenda item, please contact Kyle Kearns via email or phone at kkearns@wirapids.org or 715-421-8225 before the meeting.

AGENDA

1. Approval of the report from the August 2, 2021 Plan Commission meeting
2. **Plan-21-0848; Verso Corporation –** request to alter boundary lines of nonconforming lots to lessen the nonconformity at 231 1st Street North (Parcel ID 3402440), 300 Jackson Street (Parcel ID 3402526), 610 4th Avenue North (Parcel ID 3402445), and 950 4th Avenue North (Parcel ID 3402435)
3. **PLAN-21-0851; Verso Corporation –** request for a Certified Survey Map approval to create three lots at 950 4th Avenue North (Parcel ID 3402435)
4. **PLAN-21-0907; Mark Johnson, Forward Real Estate Services, LLC. –** request for a Certified Survey Map approval to create two lots at 2820 8th Street South (Parcel ID 3412972)
5. **PLAN-21-0852; Mark Johnson, Forward Real Estate Services, LLC. –** request for a site plan review to construct a Caribou Coffee at 2820 8th Street South (Parcel ID 3412972)
6. **PLAN-21-0813; Wisconsin Rapids 3810 8th St S WI, LLC –** request for a site plan review to make site improvements, including to the parking lot, for a restaurant at 3810 8th Street South (Parcel ID 3413805)

7. **PLAN-21-0880; Dale Davis – SWEPS Food Pantry -** request for a site plan review to construct an addition onto a building housing the food pantry at 2321 West Grand Avenue (Parcel ID 3401190)
8. **PLAN-21-0882; Mitch Altman, representing Matalco –** request for a site plan review to construct a building at 4800 Commerce Drive (Parcel ID 3409861)
9. **PLAN-21-0838; Wisconsin Rapids Public School District –** public hearing and action on a request for a conditional use permit amendment to construct an addition on the high school at 1801 16th Street South (Parcel ID 3414751)
10. **PLAN-21-0816; County of Wood –** public hearing and action on a request for a zoning map amendment to rezone 410 Avon Street (Parcel ID 3407750), zoned B-2 General Commercial and R-2 Mixed Residential district, and 431 Saratoga Street (Parcel ID 3407748), zoned B-2 General Commercial, to I-1 Institutional District
11. Adjourn

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at this meeting is not possible due to a disability or other reasons, notification to the city clerk's office at least 24 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the clerk at (715) 421-8200 to request accommodations.

PUBLISH: August 27th & September 3rd, 2021

NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE that the City of Wisconsin Rapids Planning Commission will hold a **Public Hearing on Monday, September 13, 2021 at 5:30 PM** within the Council Chambers at City Hall, 444 West Grand Avenue, Wisconsin Rapids. Participation at the public hearing can be in-person or via remote audioconferencing. **The public can also participate in the hearing by calling 1-312-626-6799 Access code: 898 1889 5643**. The meeting will also be streamed LIVE on the City of Wisconsin Rapids Facebook page. The following items will be heard and possibly acted on:

1. Public hearing and action on a request from the County of Wood for a zoning map amendment request to rezone 410 Avon Street (Parcel ID 3407750) and 431 Saratoga Street (Parcel ID 3407748) from B-2 General Commercial District to I-1 Institutional District.
2. Public hearing and action on a request from the Wisconsin Rapids Public School District for a conditional use permit amendment to construct an addition on the high school at 1801 16th Street South (Parcel ID 3414751).

Further details regarding the specific requests can be obtained within the Community Development Department at City Hall, or by calling the department at 715-421-8228.

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk's office at least 48 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the Clerk at (715) 421-8200 to request accommodations.

Jennifer Gossick,
Wisconsin Rapids City Clerk

REPORT OF THE PLANNING COMMISSION
Date of Meeting: August 2, 2021
Report #1

The Planning Commission met at 4:00 p.m. on August 2, 2021 in the City Hall Council Chambers and via remote audioconferencing. Members present included: Chairperson Shane Blaser, Lee Thao, Susan Feith, and Alderperson Ryan Austin. Ben Goodreau attended portions of the meeting; however due to recurrent technical difficulties was unable to vote on the agenda items. Members Shane Burkart and Eric Daven were excused. Also in attendance was Community Development Director Kyle Kearns.

The meeting was called to order at 4:00 p.m.

1. Approval of the reports from the July 12, 2021 Plan Commission meeting

   Motion by Thao to approve the Plan Commission report from the July 12, 2021, second by Feith.

   Motion carried (4 – 0)

2. **PLAN-21-0730; Steven Mauer** – request for Certified Survey Map approval to combine two lots, which includes the dedication of right-of-way at 2540 Lincoln Street (Parcel ID's 3412447 and 3412445).

   Motion by Blaser to approve the request for a Certified Survey Map to combine two lots, which includes the dedication of right-of-way at 2540 Lincoln Street (Parcel ID's 3412447 and 3412445), second by Austin.

   Motion carried (4 – 0)

3. **PLAN-21-0607; Riverhill Dental Associates** – Public hearing and action on a request for a zoning map amendment to rezone 406 Daly Avenue (Parcel ID 3411001) from R-2 Mixed Residential District to B-2 General Commercial District or B-5 Mixed Use Commercial District.

   Commissioner Goodreau departed from the meeting.

   Public hearing opened at 4:19 p.m.

   Speaking against: none

   Speaking in favor: none

   Public hearing closed at 4:20 p.m.

   Motion by Austin to approve the request for a zoning map amendment to rezone 406 Daly Avenue (Parcel ID 3411001) from R-2 Mixed Residential District to B-5 Mixed Use Commercial District, second by Feith.

   Motion carried (4 – 0)

4. **Adjourn**

   Motion by Thao to adjourn, second by Austin

   Motion carried (4 – 0)

   Meeting adjourned at 4:21 p.m.

Respectfully Submitted by Erika Esser, Secretary

Community Development Department
City of Wisconsin Rapids
444 West Grand Avenue
Wisconsin Rapids, WI 54495
Ph: (715) 421-8228

Memo

To: Plan Commission

From: Kyle Kearns

Date: 09/07/2021

Subject:

2. **Plan-21-0848; Verso Corporation –** request to alter boundary lines of nonconforming lots to lessen the nonconformity at 231 1st Street North (Parcel ID 3402440), 300 Jackson Street (Parcel ID 3402526), 610 4th Avenue North (Parcel ID 3402445), and 950 4th Avenue North (Parcel ID 3402435)
3. **PLAN-21-0851; Verso Corporation –** request for a Certified Survey Map approval to create three lots at 950 4th Avenue North (Parcel ID 3402435)

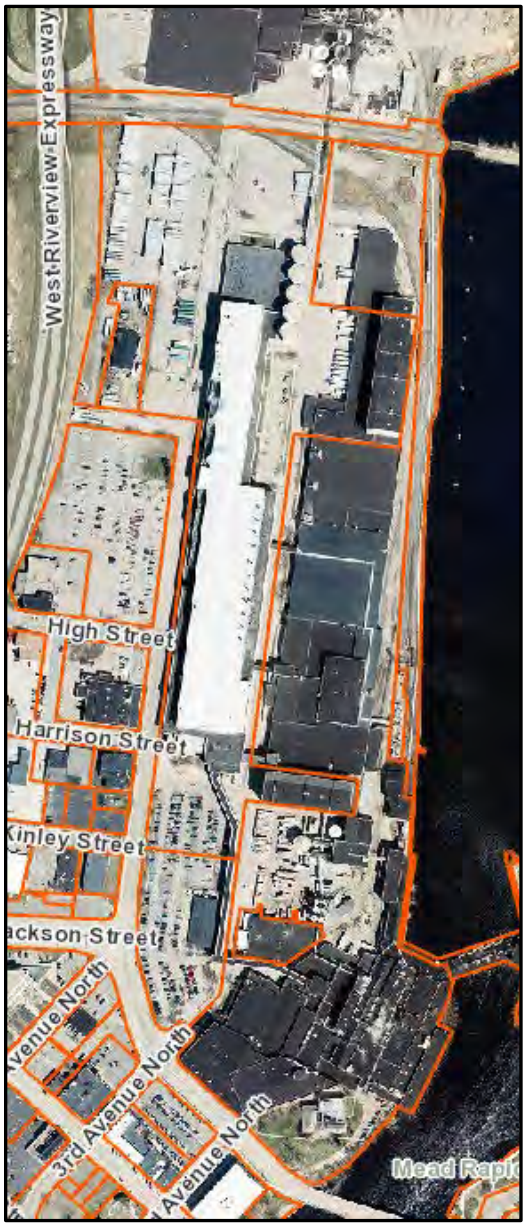
The first request from Verso is to alter property lines of a few lots, to create more regularly shaped lots and lessen any nonconformity. Currently the parcel boundaries for several lots, as indicated below, cross through buildings and in many instances do not meet zoning standards for the M-2 District, such as setbacks. Essentially they are requesting to alter lot lines in order to better divide the major buildings and parking lot. Per section 11.19.03 of the Zoning Ordinance below, Plan Commission shall review and act on the request.

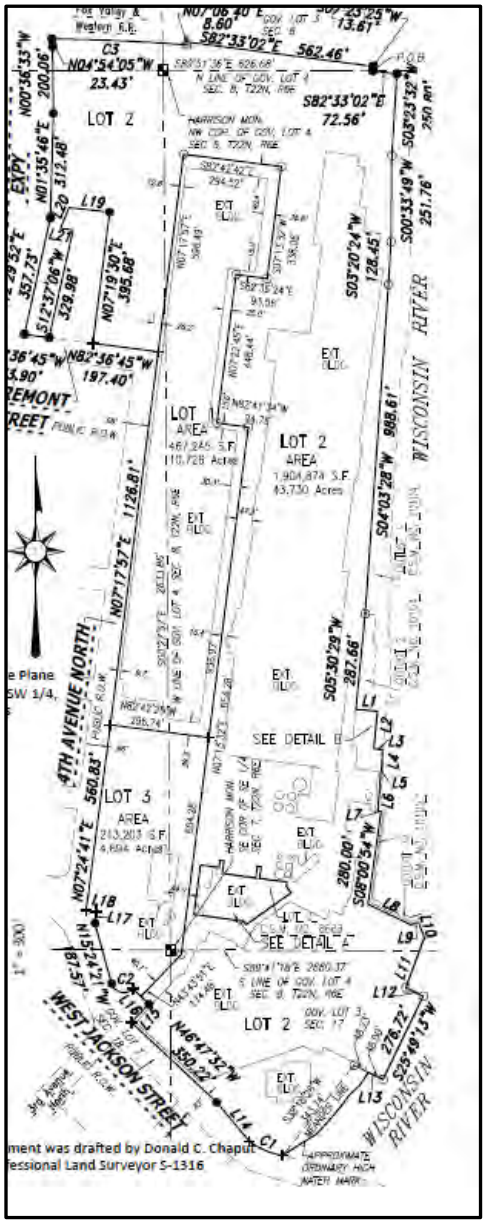
> *(b) Alteration of property boundary lines.*
>
> *The location of a property boundary line of a nonconforming lot shall not be modified by any means, except when the new property boundary line location will make the nonconforming lot to be conforming or lessen the nonconformity. Any such change in a property boundary location shall be reviewed and approved by the Planning Commission.*

Upon review, the ingress/egress will remain the same for the parcels, however, the lot lines will no longer transect through parts of the building. With the proposed parcels, buildings are now more conforming to required setbacks, as before they were zero in some cases. It is important to note that no new lots are being created; 3 lots will remain. Note that an identified building (Sonoco) exists on a lot near the southern portion of lot 2. Staff would recommend approving the lot adjustments as proposed, with the following conditions:

1. Where land is available, and setbacks can be obtained without interfering with adjacent buildings or infrastructure, applicable setback requirements shall be met for existing buildings.
2. The existing building described in Detail A of the proposed CSM shall be provided an access agreement or easement.
3. The Community Development Department shall have the authority to approve minor modifications to the survey.

Vicinity Map – Existing and Proposed Parcel Lines



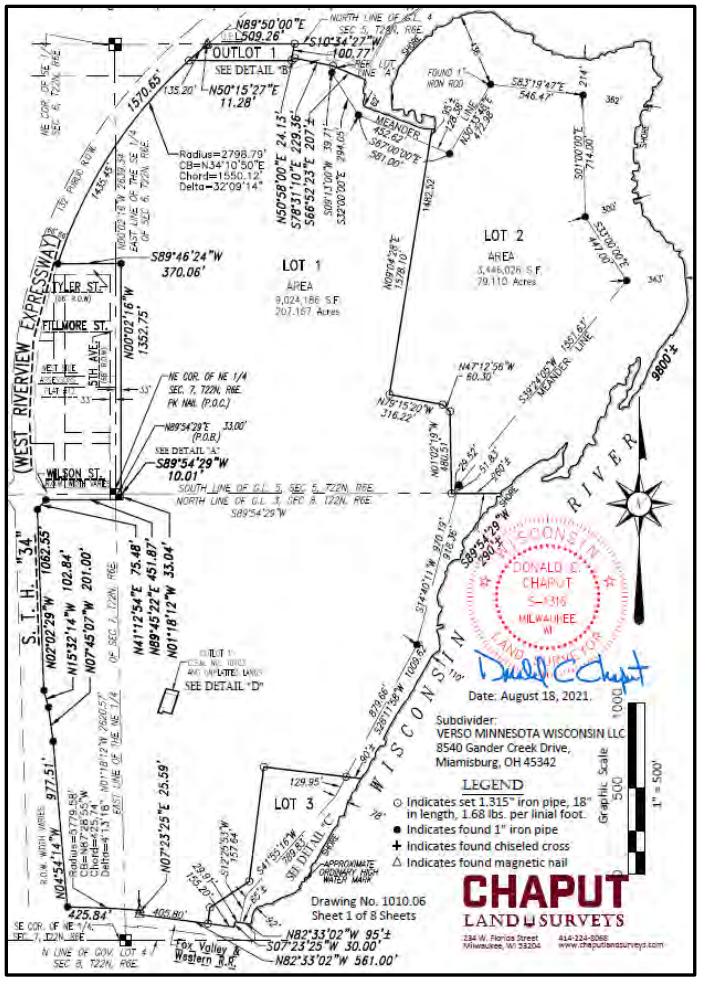


The second request is to create three new lots and one outlot at 950 3rd Avenue North. The creation of lots via CSM requires Plan Commission review and approval. Note that the CSM also shows the conveyance of portions of property to neighboring lands. This large parcel now is the northern pulping operation of the Verso Mill, which is primarily accessed from 5th Avenue North. The intent is to create a parcel (lot 2) encompassing the approximate 80-acre land fill on the northeastern side of the property and a smaller 8.5-acre parcel (lot 3) on the southeastern side. The remaining lands would be 207 acres (lot) and encompass the primary pulping facilities. Outlots and lands to be conveyed have also been identified on the northern property line. Access easements have also been identified to Lot 2 and Lot 3.

The new lots meet the lot standard requirements in the M-2 District. Staff would recommend approving the certified survey map as proposed, with the following condition:

1. Where land is available, and it setbacks can be obtained without interfering with adjacent buildings or infrastructure, applicable setback requirements shall be met for existing buildings.
2. The Community Development Department shall have the authority to approve minor modifications to the survey

Vicinity Map – Existing and Proposed Lots



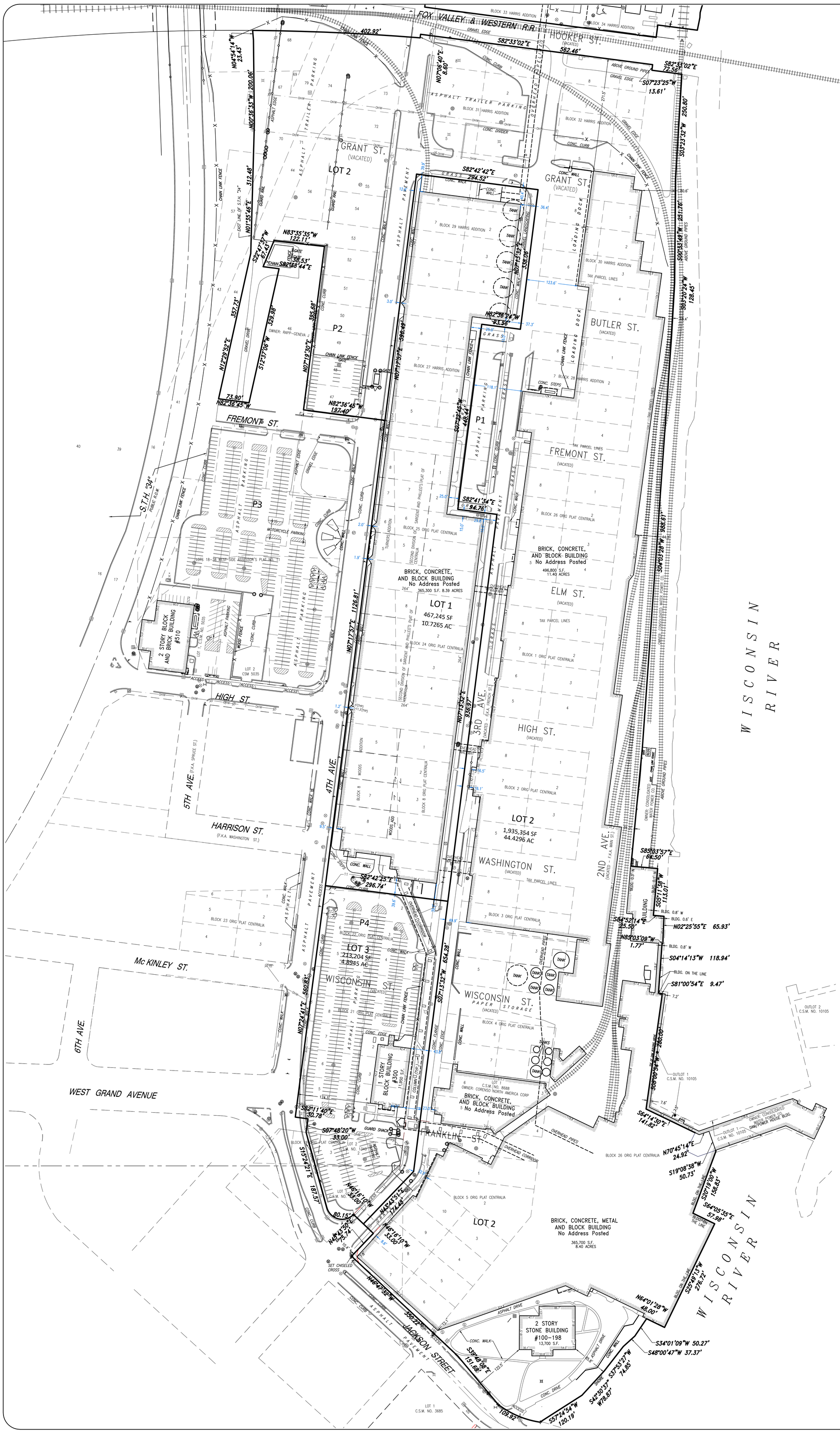
PRELIMINARY CERTIFIED SURVEY MAP

VERSO MINNESOTA WISCONSIN LLC

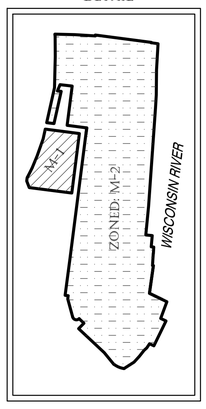
SITE ADDRESS

City of Wisconsin Rapids, Wood County, Wisconsin.

CHAPUT LAND SURVEYS LLC



ZONING CLASSIFICATION DETAIL



MUNICIPAL ZONING

Municipal Code: Chapter 11 - Zoning Districts (Appendix C)

Site is zoned: M1 (Enclosed Industrial)

Front yard setback: 25 feet

Side yard setback: 15 feet if adjacent to non-residential, 25 feet if adjacent to residential

Rear yard setback: 25 feet

Manufacturing Parking Requirements: 1 space for each employee on the largest work shift; plus 1 space for each fleet vehicle parked on site.

Municipal Code: Chapter 11 - Zoning Districts (Appendix C)

Site is zoned: M2 (Heavy Industrial)

Front yard setback: 50 feet

Side/Rear yard setback: 25 feet

Chapter 11 - Zoning (Appendix B)(15.05) Manufacturing Parking Requirements: 1 space for each employee on the largest work shift; plus 1 space for each fleet vehicle parked on site.

PARKING LOTS

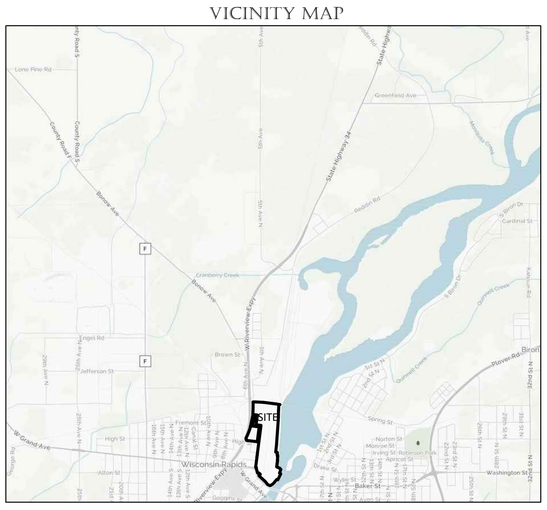
P1 - APPROX. 78 SPACES (BASED CURB LENGTH AND 9' SPACES-NOT MARKED)
P2 - APPROX. 27 SPACES
P3 - APPROX. 316 REGULAR SPACES
P4 - APPROX. 382 REGULAR SPACES

GRAPHIC SCALE

80 0 40 80 160 320

(IN FEET)
1 inch = 80 ft.

VICINITY MAP



DATE

August 11, 2021.

Date	Revision description

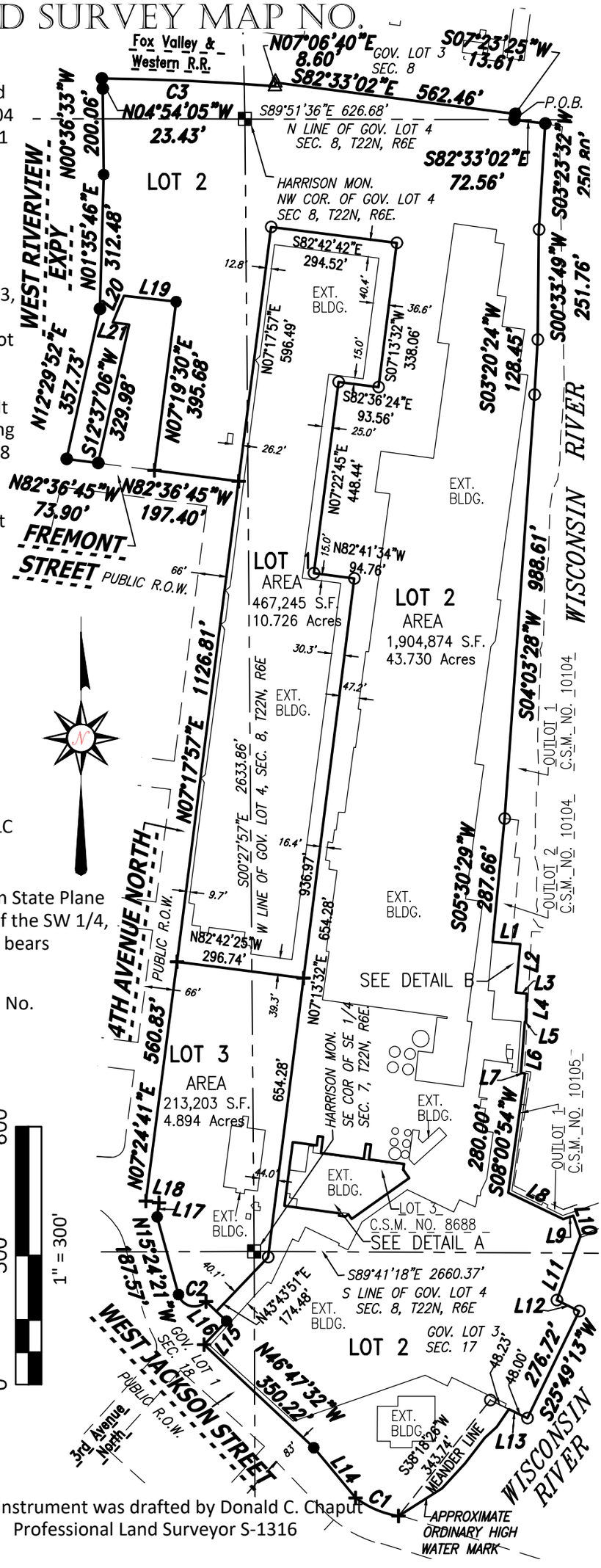
CHAPUT LAND SURVEYS
234 W. Florida Street
Milwaukee, WI 53204
414-224-8068
www.chaputlandsurveys.com

This document is an instrument of professional service, and may be protected by the surveyors work product doctrine or surveyor / client privilege. The information shown hereon is intended solely for the use of the client and client directed third parties.

Drawing No. 1010.05-dzb

CERTIFIED SURVEY MAP NO.

A redivision of Blocks One through Five including vacated Second Avenue North and Northerly of West Jackson Street and Lot 104 Block 8 and Block 19 and Block 21 and Lots 1 through 7 Block 22 and Block 24 and Lots 1 through 8 Block 25 and Block 26 in Original Plat of Centralia, Blocks 27 through 32 including vacated streets in Harris Addition, Lots 43 through 45 and Lots 47 through 57 including vacated Grant Street and vacated 4th Avenue North and Lots 67, 68, 69, 72, 73, 74, 79 in West Side Assessor's Plat No. 11, Lots 1 through 8 in Woods Addition, all of Lot 11 subdivision of the Southeast 1/4 of Section 7, T22N, R6E and Lot 1 and 2 of C.S.M. No. 1340 including vacated Roosevelt St. and vacated Third Avenue North, all being part of Gov. Lot 3 and Gov. Lot 4 of Section 8 and Gov. Lot 1 of Section 18 and Gov. Lot 3 of Section 17 and Southeast 1/4 of the Northeast 1/4 and Southeast 1/4, Northeast 1/4 of the Southeast 1/4 of Section 7, Township 22 North, Range 6 East, all in City of Wisconsin Rapids, Wood County, Wisconsin.



LEGEND

- ● Indicates found 1" iron pipe
- ○ Indicates set 1" iron pipe, 18" in length, 1.13 lbs. per lineal foot.
- ✚ Indicates found chiseled cross
- △ Indicates found magnetic nail

Owner : VERSO MINNESOTA WISCONSIN LLC
8540 Gander Creek Drive,
Miamisburg, OH 45342

All bearings are referenced to the Wisconsin State Plane Coordinate System in which the West line of the SW 1/4, Section 8, Township 22 North, Range 6 East bears S00°27'57"E.

NOTE: Access to Lot 1 Certified Survey Map No. 8688 provided by other Document.

WISCONSIN
DONALD C. CHAPUT
S-1316
MILWAUKEE WI
LAND SURVEYOR

Date: August 17, 2021.

Drawing No. 1010.05
Sheet 1 of 6 Sheets

CHAPUT LAND SURVEYS
234 W. Florida Street
Milwaukee, WI 53204
414-224-8068
www.chaputlandsurveys.com

This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

CERTIFIED SURVEY MAP NO._____

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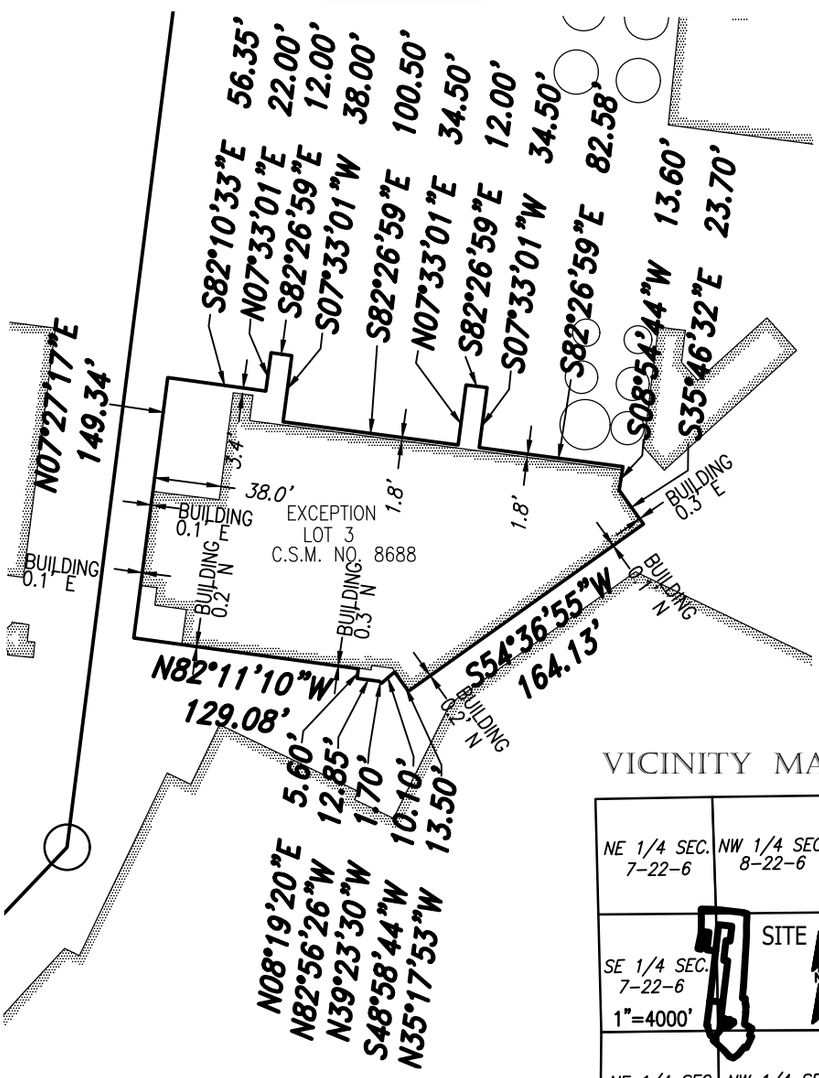
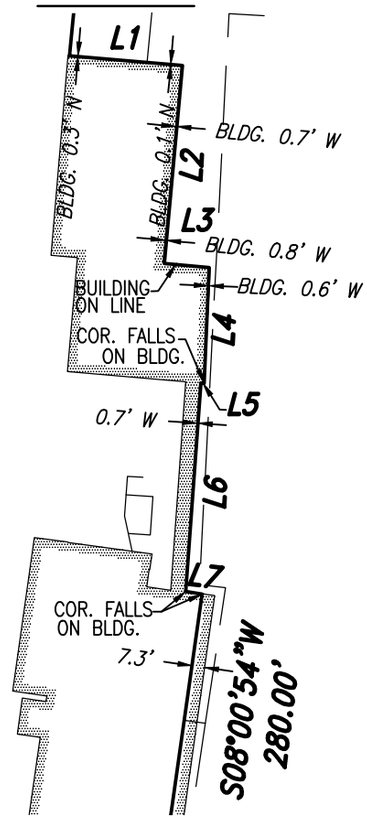
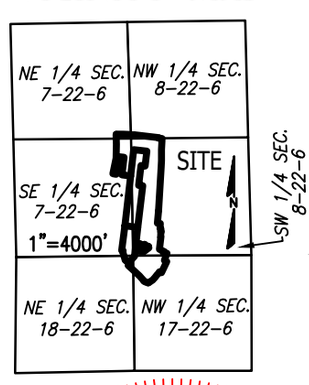
DETAIL A



DETAIL B



VICINITY MAP



LINE TABLE

LINE	BEARING	DIST.
L1	S85°03'57"E	64.50'
L2	S05°11'38"W	113.01'
L3	S84°52'14"E	25.50'
L4	S02°25'55"W	65.93'
L5	N85°03'09"W	1.77'
L6	S04°14'13"W	118.94'
L7	S81°00'54"E	9.47'
L8	S64°14'30"E	141.82'
L9	N70°45'14"E	24.92'
L10	S19°08'38"E	50.73'
L11	S20°19'00"W	158.83'
L12	S64°05'35"E	57.98'
L13	N64°01'28"W	96.23'
L14	N39°48'08"W	151.68'
L15	N43°43'50"E	75.74'
L16	N46°16'10"W	66.00'
L17	N07°48'20"E	33.00'
L18	N82°11'40"W	30.78'
L19	N83°35'35"W	122.11'
L20	S22°47'37"W	67.43'
L21	S82°38'44"E	38.53'

CURVE DATA

CURVE	ARC	RADIUS	CH. BEARING	CHORD	DELTA
C1	109.92'	218.65'	N67°02'42"W	108.77'	28°48'14"
C2	80.15'	38.00'	N75°50'16"W	66.10'	120°51'31"
C3	402.92'	5679.58'	S87°28'00"E	402.84'	4°03'53"

NOTE: Detail A and Detail B are Scale 1"=100'

Graphic Scale

0 100 200

1" = 100'

WISCONSIN
DONALD C. CHAPUT
S-1316
MILWAUKEE WI
LAND SURVEYOR

Date: August 17, 2021.

This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

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Drawing No. 1010.05
Sheet 2 of 6 Sheets

CERTIFIED SURVEY MAP NO._____

A redivision of Blocks One through Five including vacated Second Avenue North and Northerly of West Jackson Street and Lot 104 Block 8 and Block 19 and Block 21 and Lots 1 through 7 Block 22 and Block 24 and Lots 1 through 8 Block 25 and Block 26 in Original Plat of Centralia, Blocks 27 through 32 including vacated streets in Harris Addition, Lots 43 through 45 and Lots 47 through 57 including vacated Grant Street and vacated 4th Avenue North and Lots 67, 68, 69, 72, 73, 74, 79 in West Side Assessor's Plat No. 11, Lots 1 through 8 in Woods Addition, all of Lot 11 subdivision of the Southeast 1/4 of Section 7, T22N, R6E and Lot 1 and 2 of C.S.M. No. 1340 including vacated Roosevelt St. and vacated Third Avenue North, all being part of Gov. Lot 3 and Gov. Lot 4 of Section 8 and Gov. Lot 1 of Section 18 and Gov. Lot 3 of Section 17 and Southeast 1/4 of the Northeast 1/4 and Southeast 1/4, Northeast 1/4 of the Southeast 1/4 of Section 7, Township 22 North, Range 6 East, all in City of Wisconsin Rapids, Wood County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN}
:SS
MILWAUKEE COUNTY}

I, DONALD C. CHAPUT, Professional Land Surveyor, do hereby certify:

THAT I have surveyed, divided and mapped a redivision of Blocks One through Five including vacated Second Avenue North and Northerly of West Jackson Street and Lot 104 Block 8 and Block 19 and Block 21 and Lots 1 through 7 Block 22 and Block 24 and Lots 1 through 8 Block 25 and Block 26 in Original Plat of Centralia, Blocks 27 through 32 including vacated streets in Harris Addition, Lots 43 through 45 and Lots 47 through 57 including vacated Grant Street and vacated 4th Avenue North and Lots 67, 68, 69, 72, 73, 74, 79 in West Side Assessor's Plat No. 11, Lots 1 through 8 in Woods Addition, all of Lot 11 subdivision of the Southeast 1/4 of Section 7, T22N, R6E and Lot 1 and 2 of C.S.M. No. 1340 including vacated Roosevelt St. and vacated Third Avenue North, all being part of Gov. Lot 3 and Gov. Lot 4 of Section 8 and Gov. Lot 1 of Section 18 and Gov. Lot 3 of Section 17 and Southeast 1/4 of the Northeast 1/4 and Southeast 1/4, Northeast 1/4 of the Southeast 1/4 of Section 7, Township 22 North, Range 6 East, all in City of Wisconsin Rapids, Wood County, Wisconsin, which is bounded and described as follows:

COMMENCING at the Northwest corner of Government Lot 4; thence South 89°51'36” East along the North line of Government Lot 4 aforesaid 626.68 feet to a point on the South line of the Fox Valley and Western Railroad Lands and the point of beginning of the lands hereinafter described; thence South 82°33'02" East along said South line 72.56 feet to the Northwest corner of Outlot 1 of Certified Survey Map No. 10104; thence South 03°23'32" West along West line of said Outlot 1 a distance of 250.80 feet to a point; thence South 00°33'49" West along said West line 251.76 feet to a point; thence South 03°20'24" West along said West line 128.45 feet to a point; thence South 04°03'28" West along said West line 988.61 feet to the Northwest corner of Outlot 2 of Certified Survey Map No. 10104; thence South 05°30'29" West along West line of said Outlot 2 a distance of 287.66 feet to a point; thence South 85°03'57" East 64.50 feet to a point; thence South 05°11'38" West along West line of Outlot 1 of Certified Survey Map No. 10104 a distance of 113.01 feet to a point; thence South 84°52'14" East along said West line 25.50 feet to a point; thence South 02°25'55" West along said West line 65.93 feet to a point; thence North 85°03'09" West along said West line 1.77 feet to a point; thence South 04°14'13" West along said West line 118.94 feet to a point; thence South 81°00'54" East along said West line 9.47 feet to a point; thence South 08°00'54" West 280.00 feet to a point on the West line of Outlot 1 of Certified Survey Map No. 10105; thence South 64°14'30" East along said West line 141.82 feet to a point; thence North 70°45'14" East along said West line 24.92 feet to a point; thence South 19°08'38" East along said West line 50.73 feet to a point on the East wall of an existing building; thence South 20°19'00" West along said East wall 158.83 feet to a point; thence South 64°05'35" East along said East wall 57.98 feet to a point; thence South 25°49'13" West along said East wall 276.72 feet to a point; thence North 64°01'28" West along said East wall 96.23 feet to a meander corner; thence South 38°18'26" West along meander line 343.74 feet to a point on the North line of West Jackson Street; thence Northwesterly 109.92 feet along said North line and arc of a curve, whose center lies to the North East, whose radius is 218.65 feet and whose chord bears North 67°02'42" West 108.77 feet to a point; thence North 39°48'08" West along said North line 151.68 feet to a point; thence North 46°47'32" West along said North line 350.22 feet to a point on the East line of 3rd Avenue North; thence North 43°43'50" East along said East line 75.74 feet to a point; thence North 46°16'10" West along said East line 66.00 feet to a point; thence Northwesterly 80.15 feet along said East line and arc of a curve, whose center lies to the North, whose radius is 38.00 feet and whose chord bears North 75°50'16" West 66.10 feet to a point; thence North 15°24'21" West along said North line of West Jackson Street 187.57 feet to a point; thence North 07°48'20" East along said North line 33.00 feet to a point; thence North 82°11'40" West along said North line 30.78 feet to a point on the East line of 4th Avenue North; thence North 07°24'41" East along said East line 560.83 feet to a point; thence North 07°17'57" East along said East line 1126.81 feet to a point on the North line of Fremont Street; thence North 82°36'45" West along said North line 197.40 feet to a point; thence North 07°19'30" East 395.68 feet to a point; thence North 83°35'35" West 122.11 feet to a point; thence South 22°47'37" West 67.43 feet to a point; thence South 82°38'44" East 38.53 feet to a point;

CERTIFIED SURVEY MAP NO._____

A redivision of Blocks One through Five including vacated Second Avenue North and Northerly of West Jackson Street and Lot 104 Block 8 and Block 19 and Block 21 and Lots 1 through 7 Block 22 and Block 24 and Lots 1 through 8 Block 25 and Block 26 in Original Plat of Centralia, Blocks 27 through 32 including vacated streets in Harris Addition, Lots 43 through 45 and Lots 47 through 57 including vacated Grant Street and vacated 4th Avenue North and Lots 67, 68, 69, 72, 73, 74, 79 in West Side Assessor's Plat No. 11, Lots 1 through 8 in Woods Addition, all of Lot 11 subdivision of the Southeast 1/4 of Section 7, T22N, R6E and Lot 1 and 2 of C.S.M. No. 1340 including vacated Roosevelt St. and vacated Third Avenue North, all being part of Gov. Lot 3 and Gov. Lot 4 of Section 8 and Gov. Lot 1 of Section 18 and Gov. Lot 3 of Section 17 and Southeast 1/4 of the Northeast 1/4 and Southeast 1/4, Northeast 1/4 of the Southeast 1/4 of Section 7, Township 22 North, Range 6 East, all in City of Wisconsin Rapids, Wood County, Wisconsin.

LEGAL DESCRIPTION CONTINUED

thence South 12°37'06" West 329.98 feet to a point on said North line of Freemont Street; thence North 82°36'45" West along said North line 73.90 feet to a point on the East line of West Riverview Expressway; thence North 12°29'52" East along said East line 357.73 feet to a point; thence North 01°35'46" East along said East line 312.48 feet to a point; thence North 00°36'33" West along said East line 200.06 feet to a point; thence North 04°54'05" West along said East line 23.43 feet to a point on the South line of the Fox Valley and Western Railroad Lands; thence Southeasterly along said South line 402.92 feet along arc of a curve, whose center lies to the South, whose radius is 5679.58 feet and whose chord bears South 87°28'00" East 402.84 feet to a point; thence North 07°06'40" East along said South line 8.60 feet to a point; thence South 82°33'02" East along said South line 562.46 feet to a point; thence South 07°23'25" West along said South line 13.61 feet to the point of beginning. Together with lands lying between said meander line and the Wisconsin River. Together with rights granted by the State of Wisconsin within the Wisconsin River below the existing buildings. Excepting therefrom Lot 3 of C.S.M. No. 8688.

Said lands as described contains 2,585,322 square feet or 59.350 Acres.

THAT I have made the survey, land division and map by the direction of VERSO MINNESOTA WISCONSIN LLC, owner.

THAT the map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

THAT I have fully complied with Chapter 236 of the Wisconsin Statutes and Ordinances of the City of Wisconsin Rapids in surveying, dividing and mapping the same.

WISCONSIN
DONALD C. CHAPUT
S-1316
MILWAUKEE
WI
LAND SURVEYOR

August 17, 2021.
DATE

DONALD C. CHAPUT
PROFESSIONAL LAND SURVEYOR S-1316

This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

Drawing No. 1010.05
Sheet 4 of 6 Sheets

CERTIFIED SURVEY MAP NO._____

A redivision of Blocks One through Five including vacated Second Avenue North and Northerly of West Jackson Street and Lot 104 Block 8 and Block 19 and Block 21 and Lots 1 through 7 Block 22 and Block 24 and Lots 1 through 8 Block 25 and Block 26 in Original Plat of Centralia, Blocks 27 through 32 including vacated streets in Harris Addition, Lots 43 through 45 and Lots 47 through 57 including vacated Grant Street and vacated 4th Avenue North and Lots 67, 68, 69, 72, 73, 74, 79 in West Side Assessor's Plat No. 11, Lots 1 through 8 in Woods Addition, all of Lot 11 subdivision of the Southeast 1/4 of Section 7, T22N, R6E and Lot 1 and 2 of C.S.M. No. 1340 including vacated Roosevelt St. and vacated Third Avenue North, all being part of Gov. Lot 3 and Gov. Lot 4 of Section 8 and Gov. Lot 1 of Section 18 and Gov. Lot 3 of Section 17 and Southeast 1/4 of the Northeast 1/4 and Southeast 1/4, Northeast 1/4 of the Southeast 1/4 of Section 7, Township 22 North, Range 6 East, all in City of Wisconsin Rapids, Wood County, Wisconsin.

CORPORATE OWNER'S CERTIFICATE

VERSO MINNESOTA WISCONSIN LLC, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certifies that said corporation caused the land described on this map to be surveyed, divided and mapped as represented on this map in accordance with the requirements of the Ordinances of the City of Wisconsin Rapids.

VERSO MINNESOTA WISCONSIN LLC, does further certify that this map is required by S.236.10 or 236.12 to be submitted to the following for approval or objection: City of Wisconsin Rapids.

IN witness whereof, VERSO MINNESOTA WISCONSIN LLC, has caused these presents to be signed by _____, as _____, this _____ day of _____, 2021.

VERSO MINNESOTA WISCONSIN LLC

_____

By: _____

STATE OF WISCONSIN}
:SS
WOOD COUNTY}

PERSONALLY, came before me this _____ day of _____, 2021, _____, as _____, of the above named VERSO MINNESOTA WISCONSIN LLC, to me known as the person who executed the foregoing instrument as such officer as the deed of the corporation, by its authority.

_____
Notary Public, State of Wisconsin
Name Printed: _____
My commission expires ____
My commission is permanent.

August 17, 2021.
DATE

WISCONSIN
DONALD C. CHAPUT
S-1316
MILWAUKEE WI
LAND SURVEYOR

DONALD C. CHAPUT
PROFESSIONAL LAND SURVEYOR S-1316

This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

Drawing No. 1010.05
Sheet 5 of 6 Sheets

CERTIFIED SURVEY MAP NO._____

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CITY OF WISCONSIN RAPIDS APPROVAL

CERTIFIED, that this Certified Survey Map, by VERSO MINNESOTA WISCONSIN LLC, owner, located in the City of Wisconsin Rapids, is hereby approved by the City of Wisconsin Rapids

_____ Date

_____ Shane Blaser, Mayor

_____ Date

_____ Jennifer Gossick, City Clerk

August 17, 2021.
DATE

WISCONSIN
DONALD C. CHAPUT
S-1316
MILWAUKEE WI
LAND SURVEYOR

DONALD C. CHAPUT
PROFESSIONAL LAND SURVEYOR S-1316

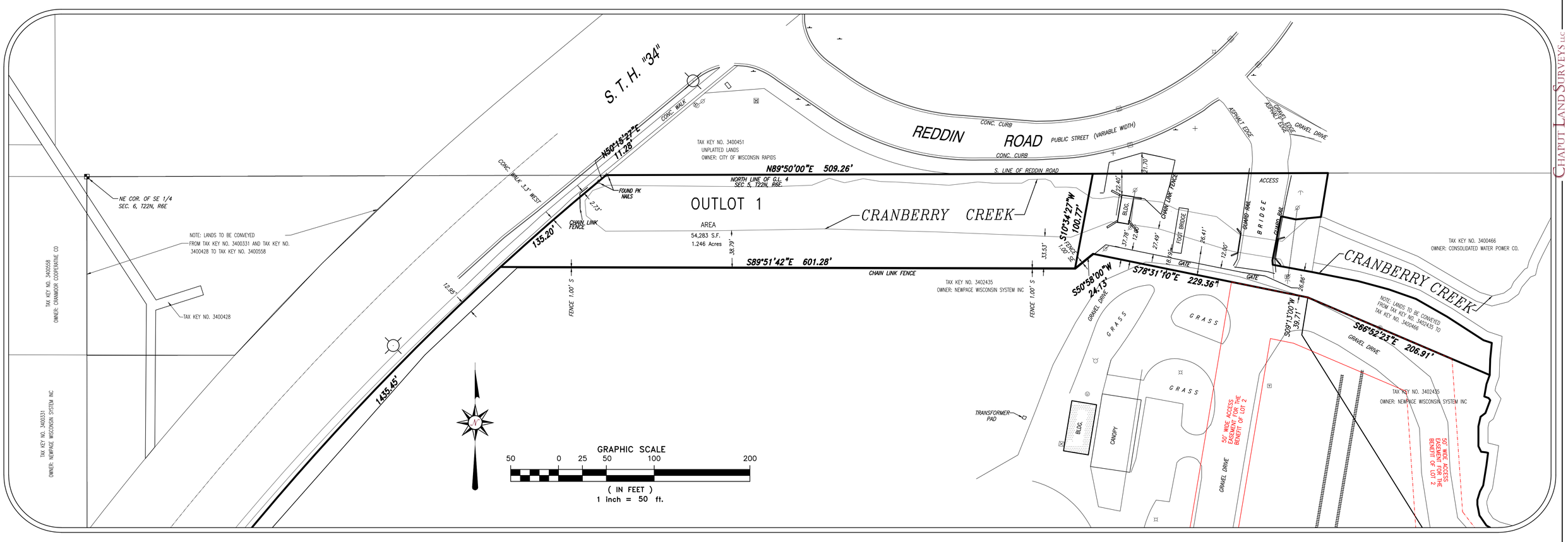
This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

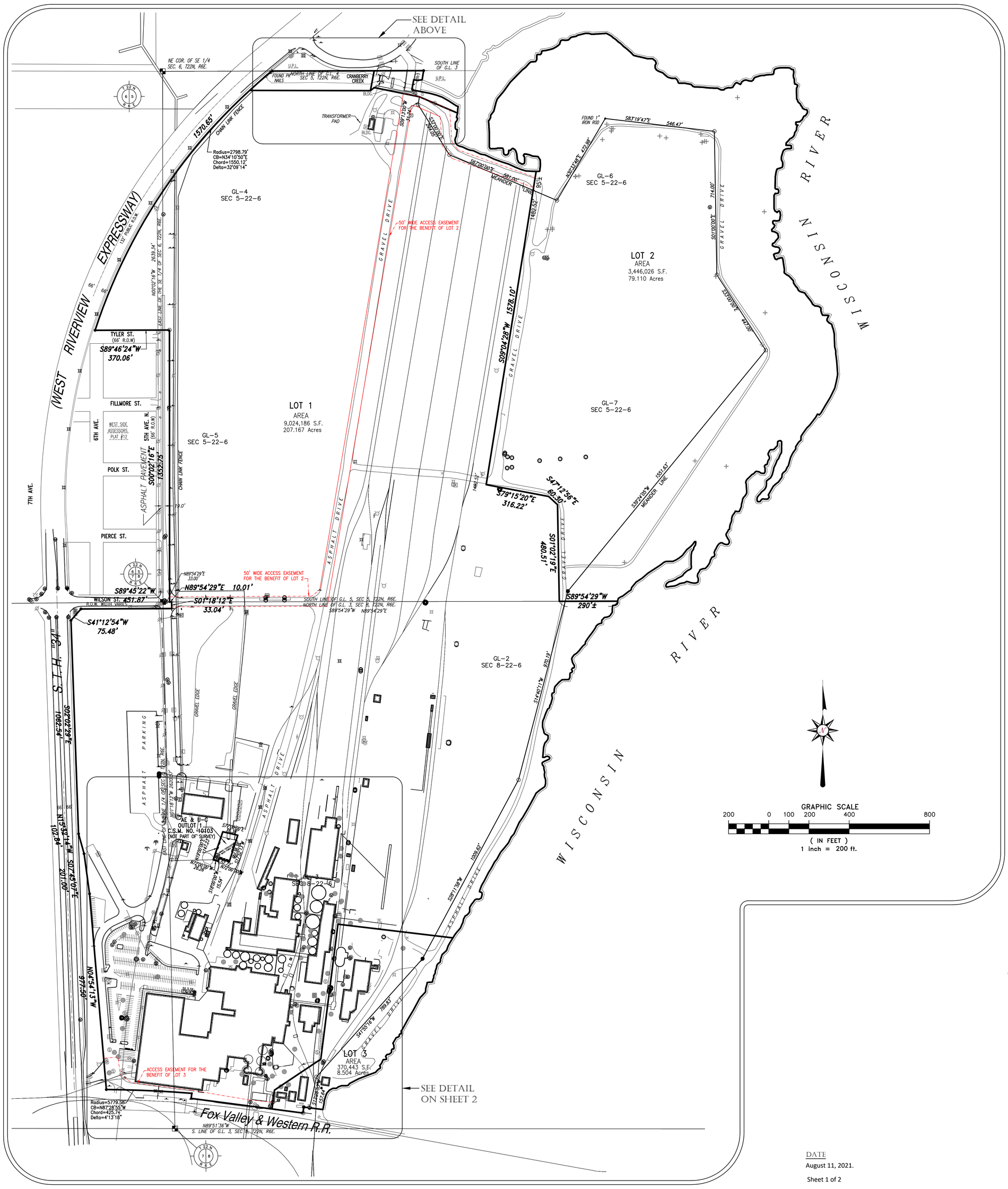
Drawing No. 1010.05
Sheet 6 of 6 Sheets

PRELIMINARY CERTIFIED SURVEY MAP

VERSO MINNESOTA WISCONSIN LLC

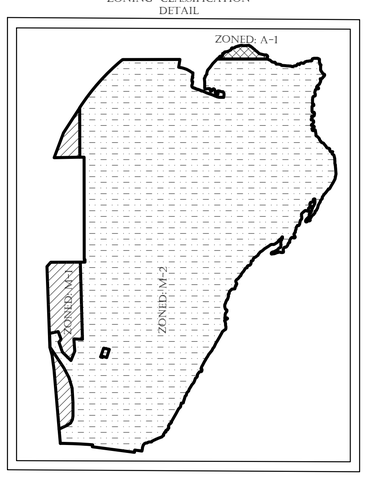
DETAIL





SEE DETAIL ON SHEET 2

ZONING CLASSIFICATION DETAIL



MUNICIPAL ZONING

Municipal Code: Sec. 11.04(2)(j)(6)

Site is zoned: M2 (Open Storage Industrial)

Front setback: 25 feet

Side/Rear setback: 15 feet where adjacent to a street except where adjacent to an R-zone in which case the yard shall be not less than 25 feet.

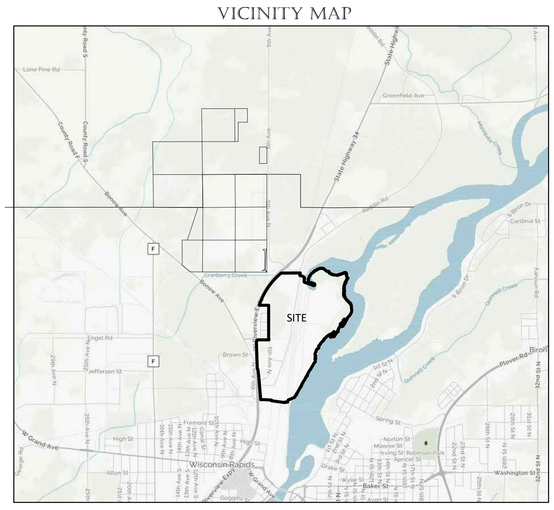
No principal or accessory building constructed after September 1, 1995 shall be closer than 25 feet to the right-of-way line of an expressway, primary arterial, or standard arterial.

Parking restrictions: 1 stall for every 2 employees

SITE ADDRESS

City of Wisconsin Rapids, Wood County, Wisconsin.

VICINITY MAP



DATE

August 11, 2021.

Sheet 1 of 2

CHAPUT LAND SURVEYS
234 W. Florida Street
Milwaukee, WI 53204
414-224-8068
www.chaputlandsurveys.com

Date	Revision description

This document is an instrument of professional service, and may be protected by the surveyors work product doctrine or surveyor / client privilege. The information shown hereon is intended solely for the use of the client and client directed third parties.

Drawing No. 1010.06-dzb

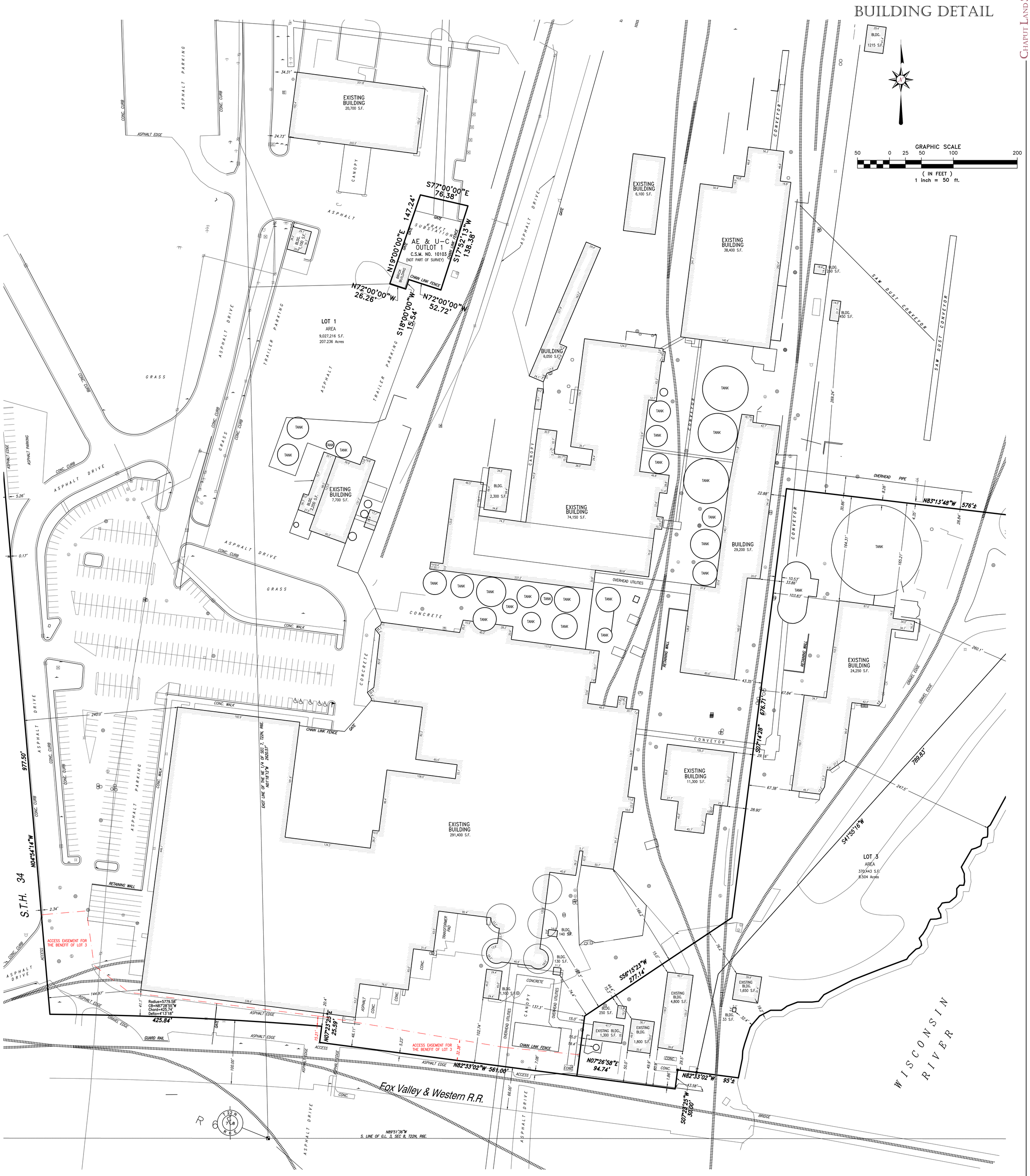
PRELIMINARY CERTIFIED SURVEY MAP

VERSO MINNESOTA WISCONSIN LLC

SITE ADDRESS
City of Wisconsin Rapids, Wood County, Wisconsin.

CHAPUT LAND SURVEYS LLC

BUILDING DETAIL



DATE
August 11, 2021.

Sheet 2 of 2

CHAPUT LAND SURVEYS
234 W. Florida Street
Milwaukee, WI 53204
414-224-8068
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Date	Revision description

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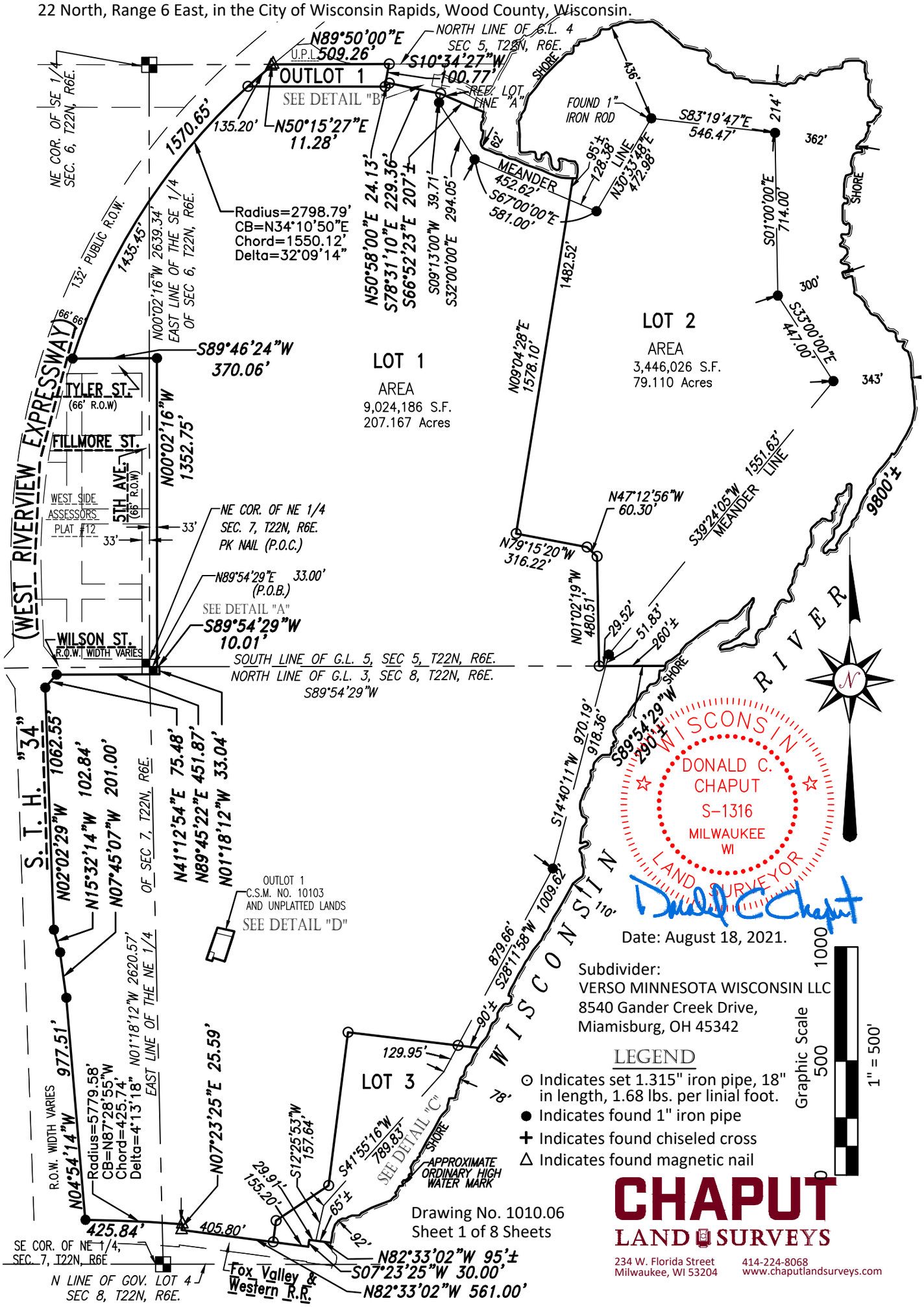
Drawing No. 1010.06-dzb

CERTIFIED SURVEY MAP NO._____

A redivision of Lot 1 of Certified Survey Map No. 10103-37-03, being a part of Government Lots 4, 5, 6 and 7 of Section 5, Government Lot 2 and 3 of Section 8, and lands in the Northeast 1/4 and Southeast 1/4 of the Southeast 1/4 of Section 6 and the Northeast 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 7, all in Town 22 North, Range 6 East, in the City of Wisconsin Rapids, Wood County, Wisconsin.



CERTIFIED SURVEY MAP NO. _____

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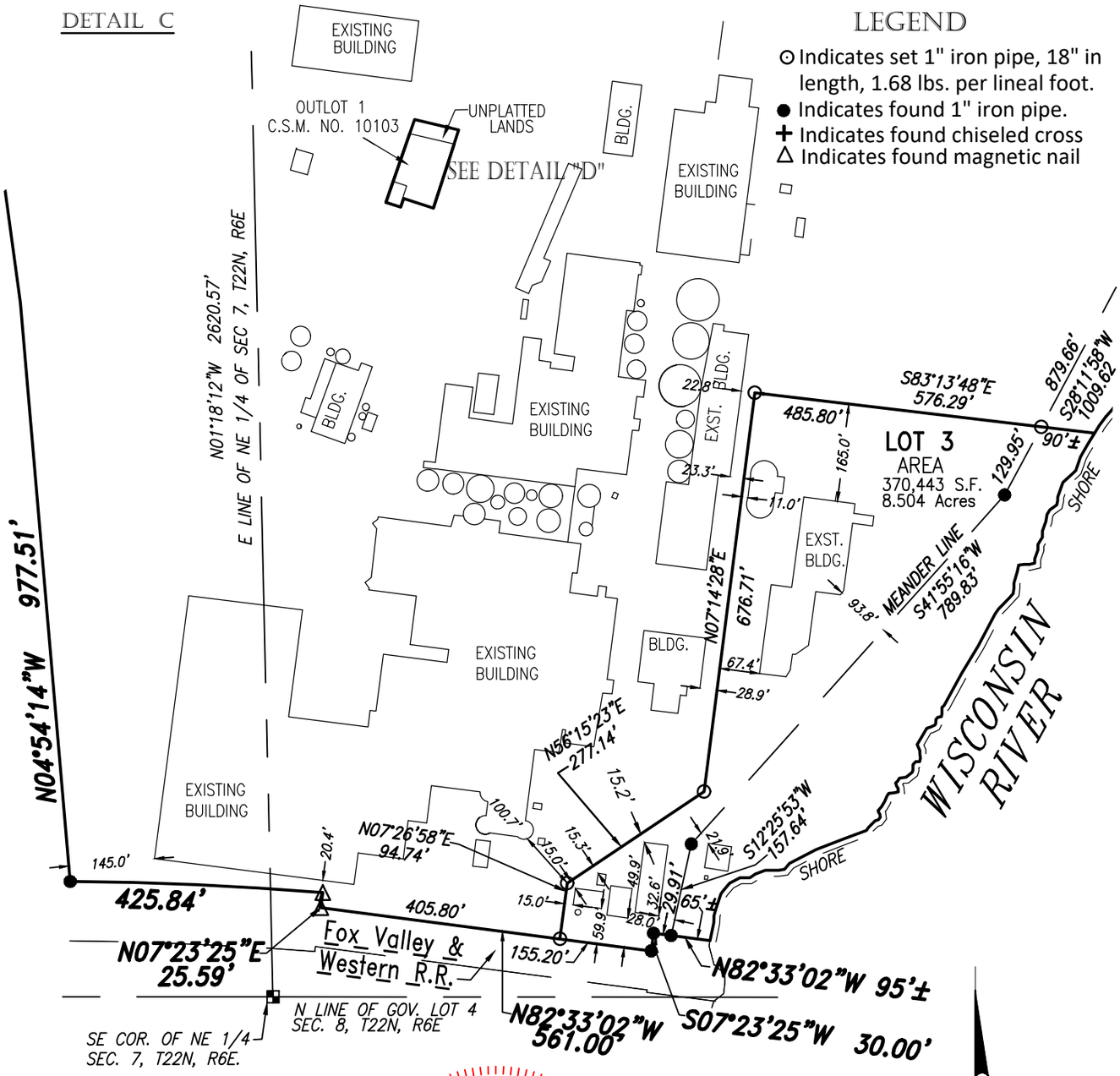
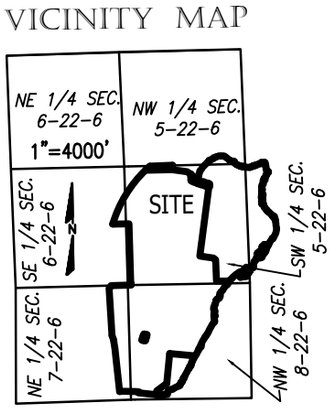
DETAIL C

LEGEND

⊙ Indicates set 1" iron pipe, 18" in length, 1.68 lbs. per lineal foot.
● Indicates found 1" iron pipe.
✚ Indicates found chiseled cross
△ Indicates found magnetic nail



VICINITY MAP



WISCONSIN
DONALD C. CHAPUT
S-1316
MILWAUKEE WI
LAND SURVEYOR

Date: August 18, 2021.

GRAPHIC SCALE
0' 250' 500'
1" = 250'

CHAPUT LAND SURVEYS
234 W. Florida Street
Milwaukee, WI 53204
414-224-8068
www.chaputlandsurveys.com

This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

Drawing No. 1010.06
Sheet 2 of 8 Sheets

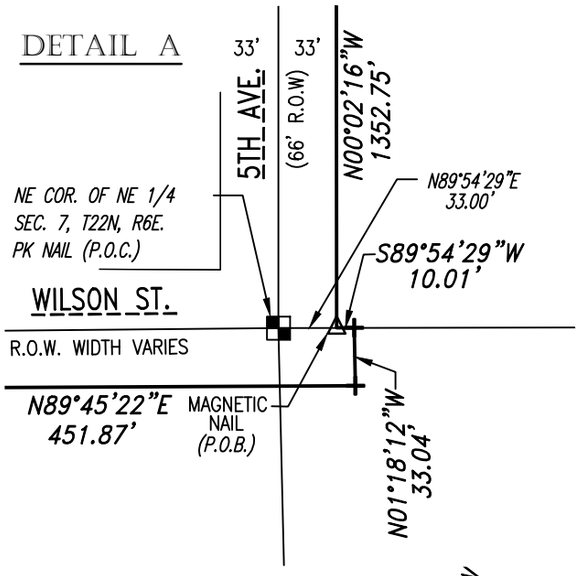
CERTIFIED SURVEY MAP NO. _____

A redivision of Lot 1 of Certified Survey Map No. 10103-37-03, being a part of Government Lots 4, 5, 6 and 7 of Section 5, Government Lot 2 and 3 of Section 8, and lands in the Northeast 1/4 and Southeast 1/4 of the Southeast 1/4 of Section 6 and the Northeast 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 7, all in Town 22 North, Range 6 East, in the City of Wisconsin Rapids, Wood County, Wisconsin.

All bearings are referenced to the Wisconsin State Plane Coordinate System in which the East line of the NE 1/4, Section 7, Township 22 North, Range 6 East bears N01°18'12"W.

NOTE: Access to Outlot 1 Certified Survey Map No. 10103 provided by other Document.

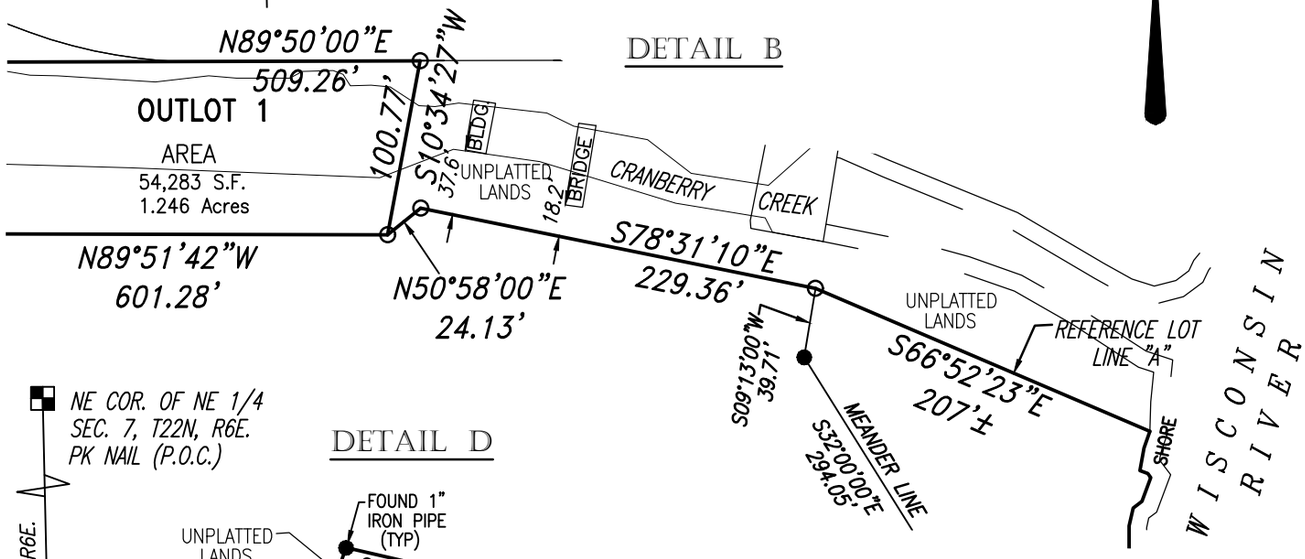
NOTE: All Details are 1"=100'

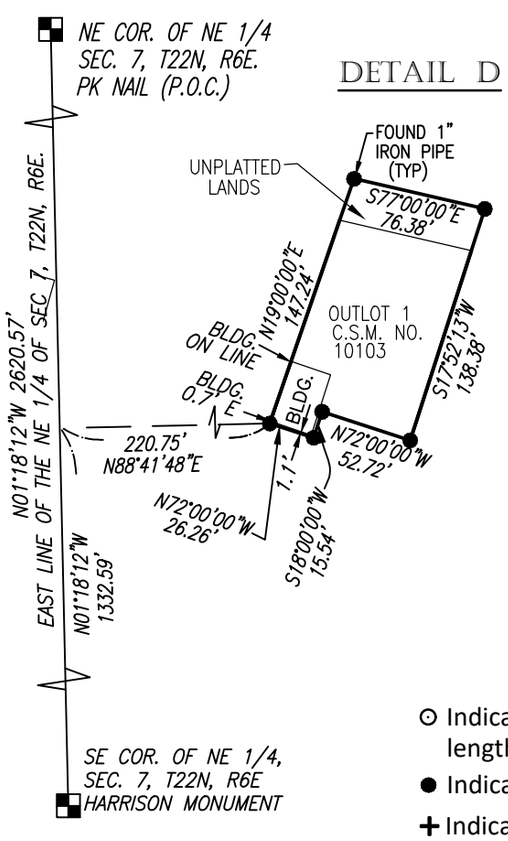


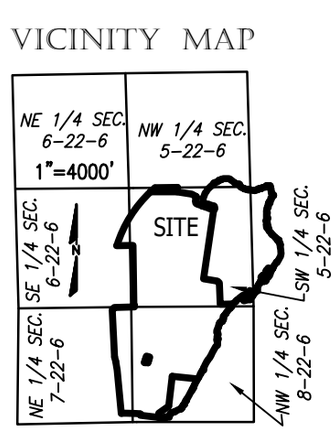
Graphic Scale

0 100 200

1" = 100'







WISCONSIN
DONALD C.
CHAPUT
S-1316
MILWAUKEE
WI
LAND SURVEYOR

⊙ Indicates set 1" iron pipe, 18" in length, 1.68 lbs. per lineal foot.

● Indicates found 1" iron pipe.

✚ Indicates found chiseled cross

△ Indicates found magnetic nail

Date: August 18, 2021.

Drawing No. 1010.06
Sheet 3 of 8 Sheets

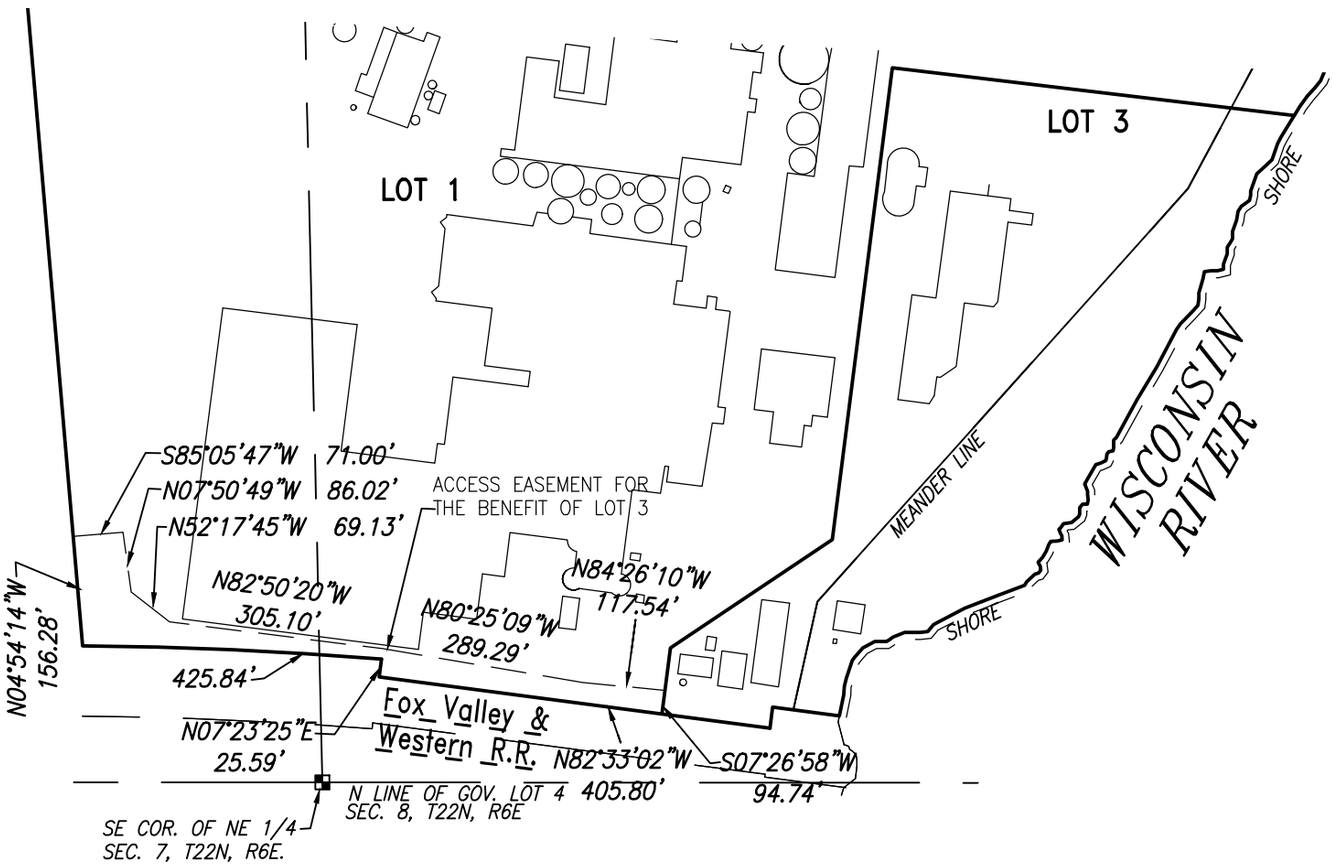
This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

CHAPUT
LAND SURVEYS
234 W. Florida Street
Milwaukee, WI 53204
414-224-8068
www.chaputlandsurveys.com

CERTIFIED SURVEY MAP NO. _____

A redivision of Lot 1 of Certified Survey Map No. 10103-37-03, being a part of Government Lots 4, 5, 6 and 7 of Section 5, Government Lot 2 and 3 of Section 8, and lands in the Northeast 1/4 and Southeast 1/4 of the Southeast 1/4 of Section 6 and the Northeast 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 7, all in Town 22 North, Range 6 East, in the City of Wisconsin Rapids, Wood County, Wisconsin.

LOT 3 ACCESS EASEMENT



WISCONSIN
DONALD C. CHAPUT
S-1316
MILWAUKEE WI
LAND SURVEYOR

Donald C Chaput

Date: August 18, 2021.

GRAPHIC SCALE
0' 250' 500'
1" = 250'

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Professional Land Surveyor S-1316

Drawing No. 1010.06
Sheet 4 of 8 Sheets

CERTIFIED SURVEY MAP NO._____

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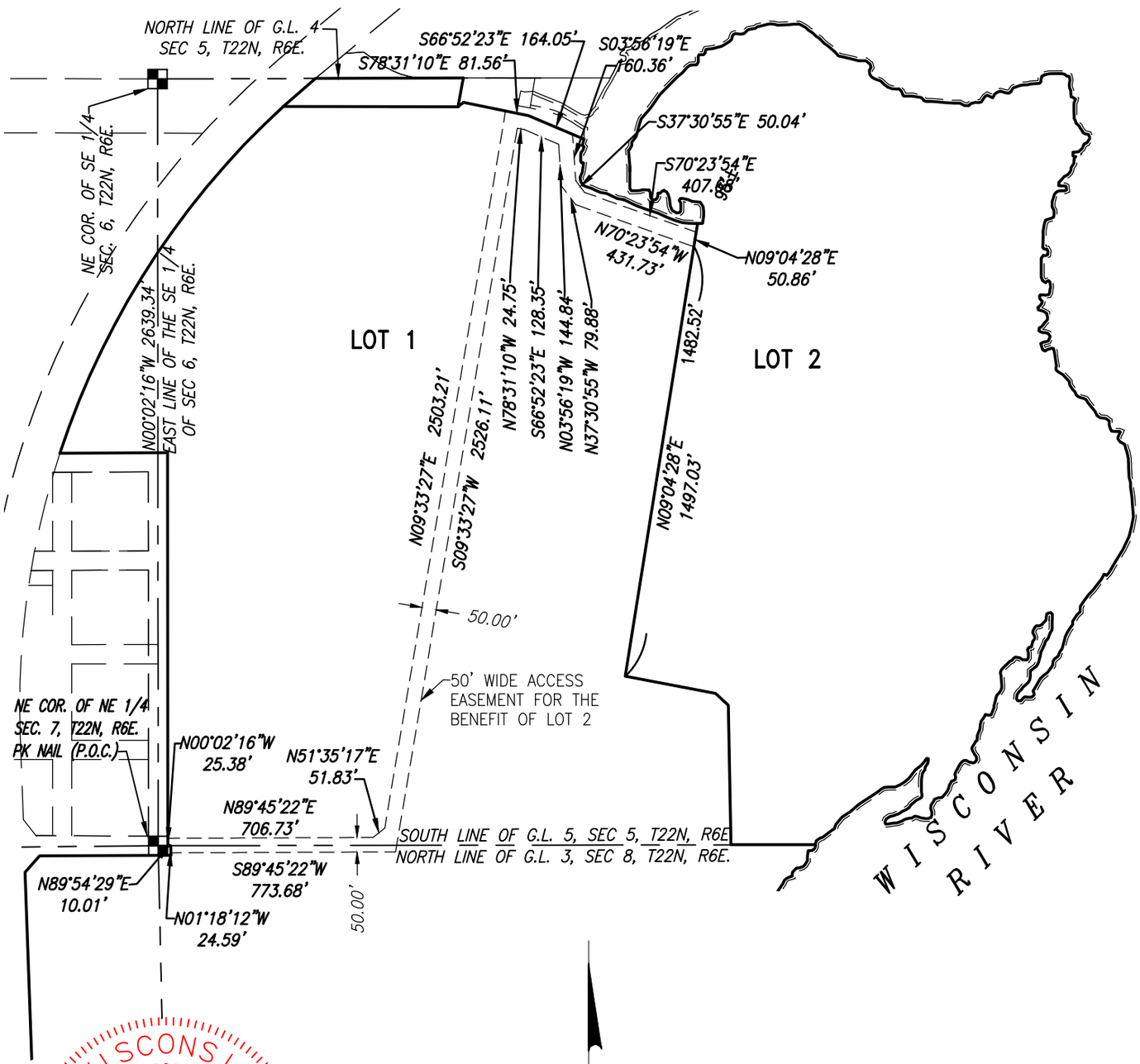
LOT 2 ACCESS EASEMENT



WISCONSIN
DONALD C. CHAPUT
S-1316
MILWAUKEE WI
LAND SURVEYOR

Date: August 18, 2021.

Graphic Scale
0 500 1000
1" = 500'

CHAPUT LAND SURVEYS
234 W. Florida Street
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This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

Drawing No. 1010.06
Sheet 5 of 8 Sheets

CERTIFIED SURVEY MAP NO._____

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WISCONSIN
DONALD C. CHAPUT
S-1316
MILWAUKEE WI
LAND SURVEYOR

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN}
:SS
MILWAUKEE COUNTY}

I, DONALD C. CHAPUT, Professional Land Surveyor, do hereby certify:

THAT I have surveyed, divided and mapped a redivision of Lot 1 of Certified Survey Map No. 10103-37-3, being a part of Government Lots 4, 5, 6 and 7 of Section 5, Government Lot 2 and 3 of Section 8, and lands in the Northeast 1/4 and Southeast 1/4 of the Southeast 1/4 of Section 6 and the Northeast 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 7, all in Town 22 North, Range 6 East, in the City of Wisconsin Rapids, Wood County, Wisconsin, which is bounded and described as follows:

COMMENCING at a the Northeast corner of the Northeast 1/4 of said Section 7, thence North 89°54’29”East along the South line of the Government Lot 4 aforesaid 33.00 feet to a point on the East line of 5TH Avenue and the point of beginning of the lands to be described; thence North 00°02'16" West along said East line 1352.75 feet to a point on the North line of Tyler Avenue; thence South 89°46'24" West along said North line 370.06 feet to a point on the East line of S.T.H. “34”; thence Northeasterly 1570.65 feet along said East line and arc of a curve, whose center lies to the East, whose radius is 2798.79 feet and whose chord bears North 34°10'50" East 1550.12 feet to a point; thence North 50°15'27" East along said East line 11.28 feet to a point on the North line of Government Lot 4; thence North 89°50'00" East along said North line 509.26 feet to a point; thence South 10°34'27" West 100.77 feet to a point; thence North 50°58'00" East 24.13 feet to a point; thence South 78°31'10" East 229.36 feet to a meander corner, which is 207 feet more or less North 66°57'33" West from the bank of Wisconsin River also known as Reference Lot line "A"; thence South 09°13'00" West along a meander line 39.71 feet to a meander corner; thence South 32°00'00" East along a meander line 294.05 feet to a point; thence South 67°00'00" East along a meander line 581.00 feet to a point; thence North 30°33'48" East along a meander line 472.98 feet to a point; thence South 83°19'47" East along a meander line 546.47 feet to a point; thence South 01°00'00" East along a meander line 714.00 feet to a point; thence South 33°00'00" East along a meander line 447.00 feet to a point; thence South 39°24'05" West along a meander line 1551.63 feet to a point; thence South 14°40'11" West along a meander line 970.19 feet to a point; thence South 28°11'58" West along a meander line 1009.62 feet to a point; thence South 41°55'16" West along a meander line 789.83 feet to a point; thence South 12°25'53" West along a meander line 157.64 feet to a point on the North line of the Fox Valley & Western Railroad, said point being North 82°33'02" West 67 feet more or less from the bank of the Wisconsin River; thence North 82°33'02" West along said North line 29.91 feet to a point; thence South 07°23'25" West along said North line 30.00 feet to a point; thence North 82°33'02" West along said North line 561.00 feet to a point; thence North 07°23'25" East along said North line 25.59 feet to a point; thence Westerly 425.84 feet along said North line and arc of a curve, whose center lies to the South, whose radius is 5779.58 feet and whose chord bears North 87°28'55" West 425.74 feet to a point on the East line of S.T.H. “34”; thence North 04°54'14" West along said East line 977.51 feet to a point; thence North 07°45'07" West along said East line 201.00 feet to a point; thence North 15°32'14" West along said East line 102.84 feet to a point; thence North 02°02'29" West along said East line 1062.55 feet to a point; thence North 41°12'54" East along said East line 75.48 feet to a point on the South line of Wilson Street; thence North 89°45'22" East along said South line 451.87 feet to a point on the East line of 5TH Avenue; thence North 01°18'12" West along said East line 33.04 feet to a point; thence South 89°54'29" West along said East line 10.01 feet to the point of beginning. Together with lands lying between said meander line, reference lot line "A" and the Wisconsin River. Subject to rights of the public for Cranberry Creek. Said lands as described contains 12,894,938 square feet or 296.027 Acres.

That I have made this survey, land division and map by the direction of VERSO MINNESOTA WISCONSIN LLC, owner.

That such map is correct representation of all exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statues and Ordinances of the City of Wisconsin Rapids, in surveying, dividing and mapping the same.

August 18, 2021.
DATE

Donald C Chaput
DONALD C. CHAPUT
PROFESSIONAL LAND SURVEYOR S-1316

This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

Drawing No. 1010.06
Sheet 6 of 8 Sheets

CERTIFIED SURVEY MAP NO._____

A redivision of Lot 1 of Certified Survey Map No. 10103-37-03, being a part of Government Lots 4, 5, 6 and 7 of Section 5, Government Lot 2 and 3 of Section 8, and lands in the Northeast 1/4 of the Southeast 1/4 and the Southeast 1/4 of the Southeast 1/4 of Section 6 and the Northeast 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 7, all in Town 22 North, Range 6 East, in the City of Wisconsin Rapids, Wood County, Wisconsin.

CORPORATE OWNER'S CERTIFICATE

VERSO MINNESOTA WISCONSIN LLC, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certifies that said corporation caused the land described on this map to be surveyed, divided and mapped as represented on this map in accordance with the requirements of the Ordinances of the City of Wisconsin Rapids.

VERSO MINNESOTA WISCONSIN LLC, does further certify that this map is required by S.236.10 or 236.12 to be submitted to the following for approval or objection: City of Wisconsin Rapids.

IN witness whereof, VERSO MINNESOTA WISCONSIN LLC, has caused these presents to be signed by _____, as _____, this _____ day of _____, 2021.

VERSO MINNESOTA WISCONSIN LLC

_____

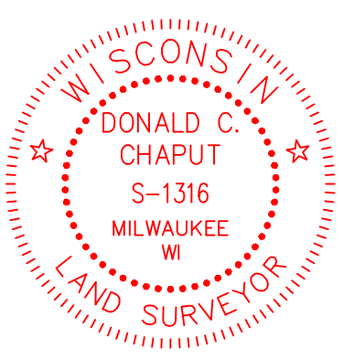
By: _____

STATE OF WISCONSIN}
:SS
WOOD COUNTY}

PERSONALLY, came before me this _____ day of _____, 2021, _____, as _____, of the above named VERSO MINNESOTA WISCONSIN LLC, to me known as the person who executed the foregoing instrument as such officer as the deed of the corporation, by its authority.

_____
Notary Public, State of Wisconsin
Name Printed: _____
My commission expires ____
My commission is permanent.

August 18, 2021.
DATE



DONALD C. CHAPUT
PROFESSIONAL LAND SURVEYOR S-1316

This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

Drawing No. 1010.06
Sheet 7 of 8 Sheets

CERTIFIED SURVEY MAP NO._____

A redivision of Lot 1 of Certified Survey Map No. 10103-37-03, being a part of Government Lots 4, 5, 6 and 7 of Section 5, Government Lot 2 and 3 of Section 8, and lands in the Northeast 1/4 of the Southeast 1/4 and the Southeast 1/4 of the Southeast 1/4 of Section 6 and the Northeast 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 7, all in Town 22 North, Range 6 East, in the City of Wisconsin Rapids, Wood County, Wisconsin.

CITY OF WISCONSIN RAPIDS APPROVAL

CERTIFIED, that this Certified Survey Map, by VERSO MINNESOTA WISCONSIN LLC, owner, located in the City of Wisconsin Rapids, is hereby approved by the City of Wisconsin Rapids

_____	_____
Date	Shane Blaser, Mayor
_____	_____
Date	Jennifer Gossick, City Clerk

August 18, 2021.
DATE

WISCONSIN
DONALD C. CHAPUT
S-1316
MILWAUKEE
WI
LAND SURVEYOR

DONALD C. CHAPUT
PROFESSIONAL LAND SURVEYOR S-1316

This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

Drawing No. 1010.06
Sheet 8 of 8 Sheets

Community Development Department
City of Wisconsin Rapids
444 West Grand Avenue
Wisconsin Rapids, WI 54495
Ph: (715) 421-8228

Memo

To: Plan Commission

From: Kyle Kearns

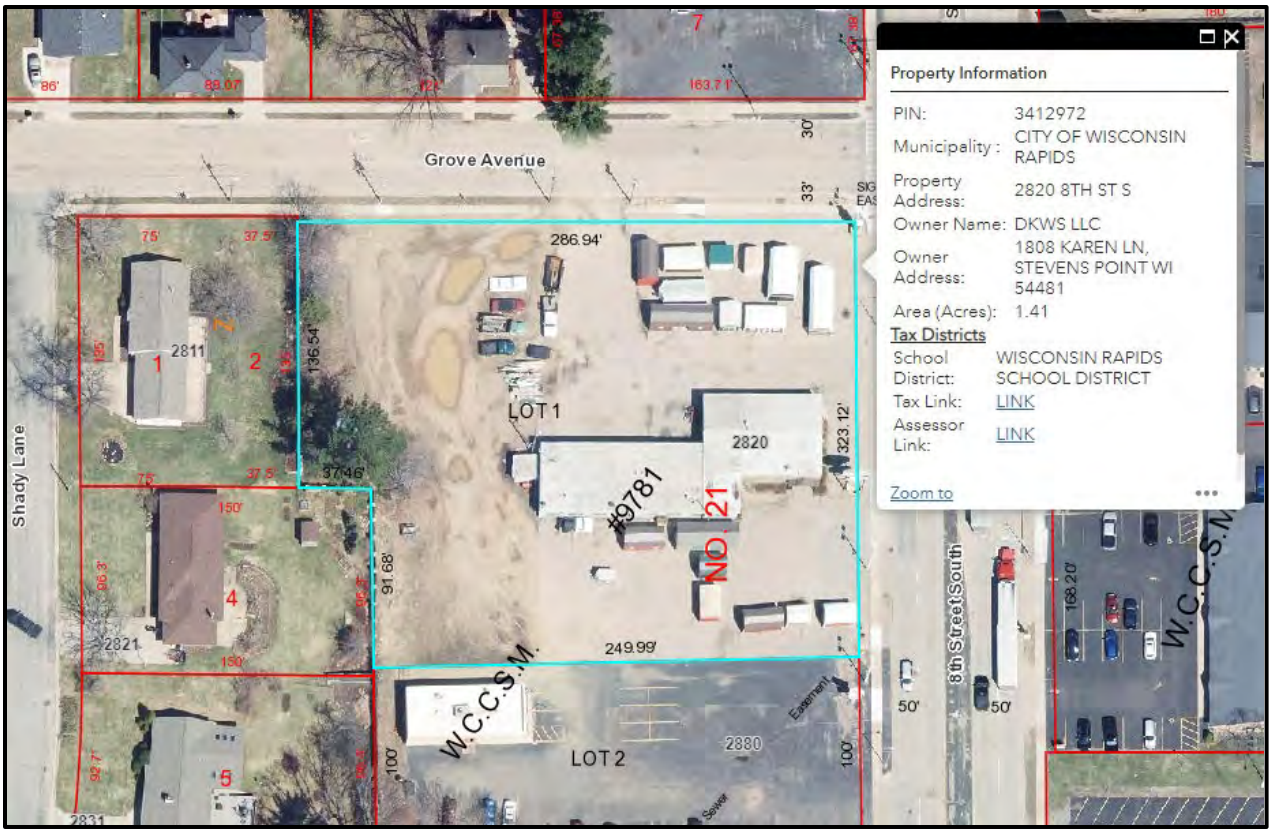
Date: 9/8/2021

Subject: **PLAN-21-0907; Mark Johnson, Forward Real Estate Services, LLC. –** request for a Certified Survey Map approval to create two lots at 2820 8th Street South (Parcel ID 3412972)

The request is to create two lots at 2820 8th Street South. This request is associated with a request to construct a Caribou Coffee building on one of the lots. The creation of new lots requires a certified survey map and approval by the Plan Commission. Standards of review are analyzed below.

The property is zoned B-2 Commercial District and requires 10,000 square feet and 90 lineal feet of lot width (50 feet of frontage). The proposed lots meet the minimum lot size requirements. Additionally, ingress/egress for the lots would be from Grove Avenue and 8th Street South. Applicable lot and access requirements are met; therefore, staff would recommend approving the proposed CSM, with the following condition: City staff shall have the authority to review and approve minor modifications.

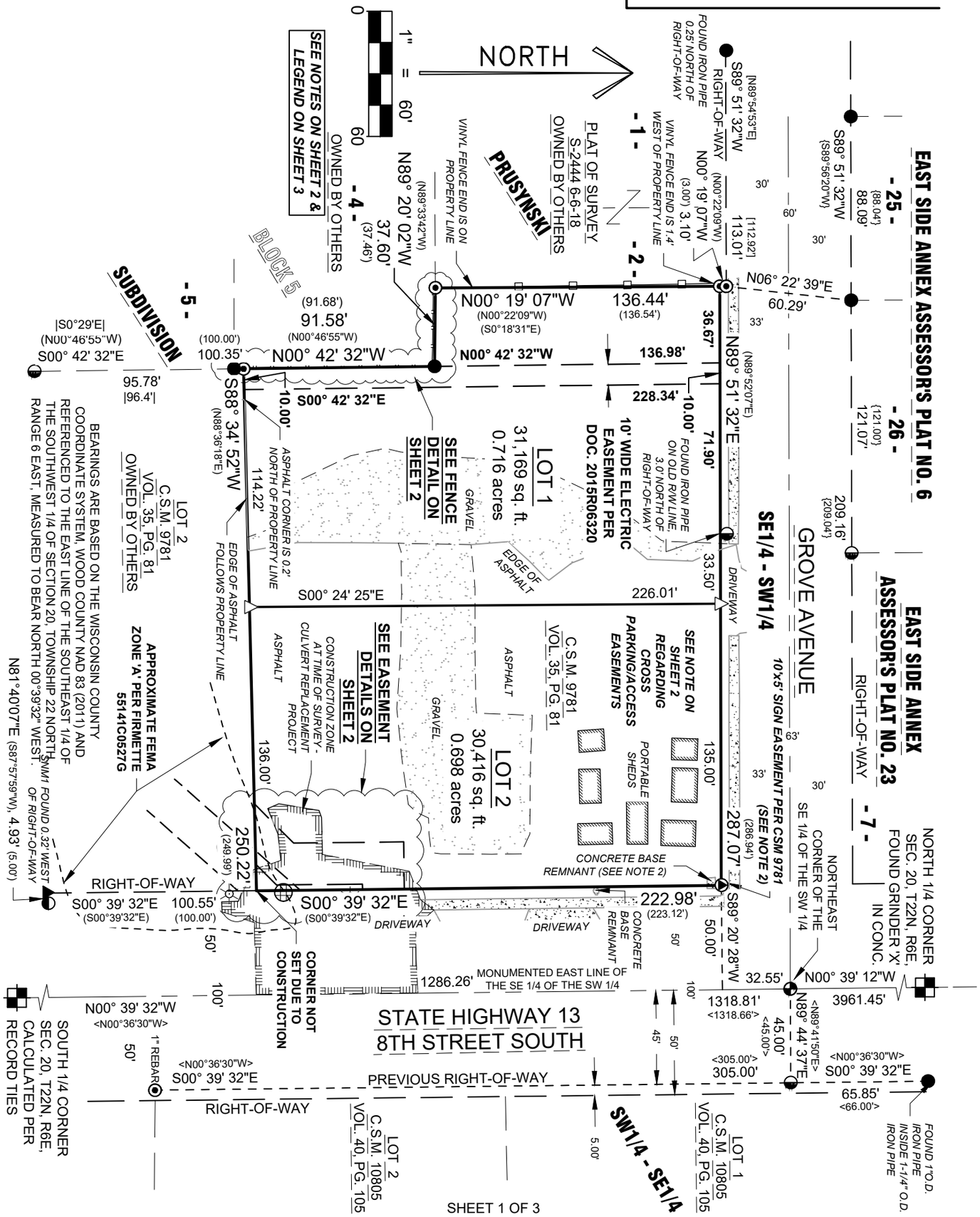
Vicinity Map



PRELIMINARY

WOOD COUNTY CERTIFIED SURVEY MAP NO._____

Of Lot 1 of Certified Survey Map No. 9781 recorded in Volume 35 of Certified Survey Maps on page 81 as Document No. 2014R06413 located in part of the Southeast 1/4 of the Southwest 1/4 of Section 20, Township 22 North, Range 6 East, City of Wisconsin Rapids, Wood County, Wisconsin.



RIVERSIDE LAND SURVEYING LLC
5310 WILLOW STREET, WESTON, WI 54476 PH 715-241-7500 - FAX 715-355-6894
email - mail@riversidelandsurveying.com

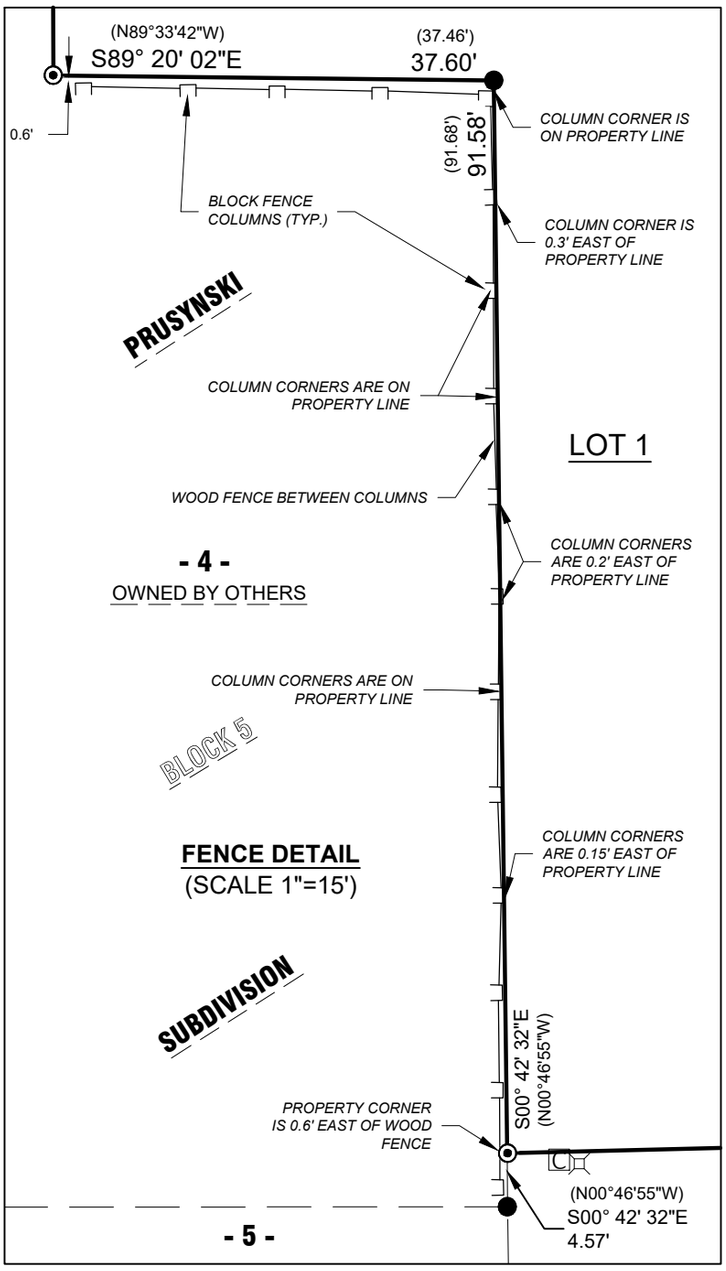
DRAWN BY	DATE
S.M.H.	SEPTEMBER 4, 2021
CHECKED BY	PROJECT NO.
N.J.W.	3623

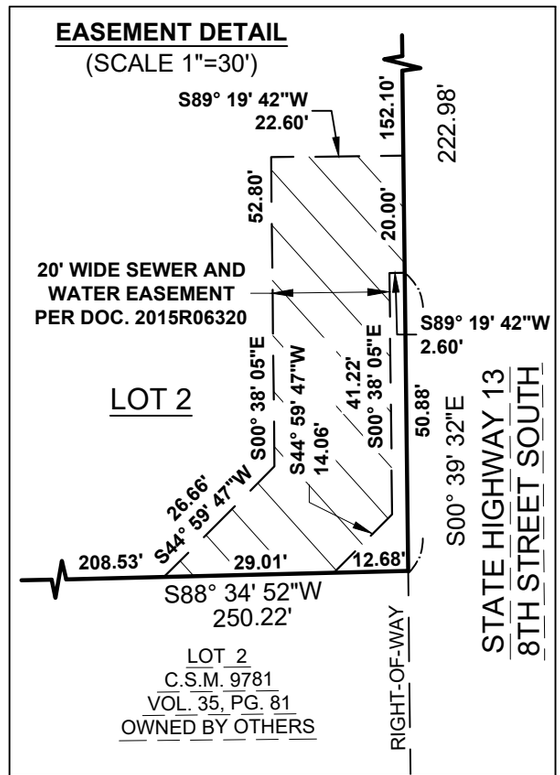
PREPARED FOR: FORWARD REAL ESTATE

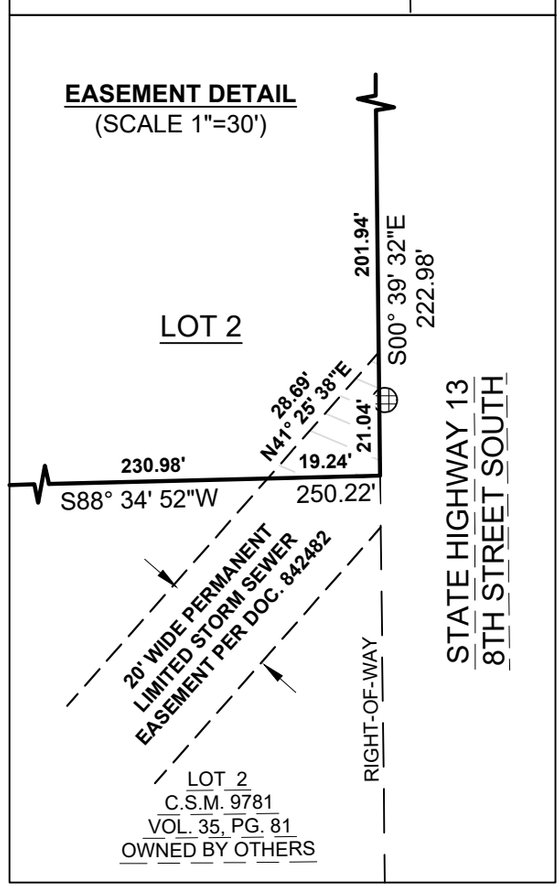
PRELIMINARY

WOOD CO. CERTIFIED SURVEY MAP NO. _____

Of Lot 1 of Certified Survey Map No. 9781 recorded in Volume 35 of Certified Survey Maps on page 81 as Document No. 2014R06413 located in part of the Southeast 1/4 of the Southwest 1/4 of Section 20, Township 22 North, Range 6 East, City of Wisconsin Rapids, Wood County, Wisconsin.







NOTE:

1.) A CROSS PARKING EASEMENT EXISTS BETWEEN LOTS 1 & 2 OF CSM 9781 AND ALSO AN ACCESS EASEMENT ACROSS CURRENT & FUTURE DRIVEWAYS LOCATED ON LOTS 1 AND 2 OF SAID CSM 9781 FOR USE BETWEEN LOTS 1 AND 2 OF SAID CSM PER DOC. 2014R06659

2.) THE EXACT LOCATION OF THE 10'x5' SIGN EASEMENT IN THE NORTHEAST CORNER OF THE PROPERTY PER CSM 9781 IS UNABLE TO BE MAPPED. THERE IS NO LONGER A SIGN BUT A CONCRETE BASE FOR A PREVIOUS SIGN WAS FOUND. IT IS UNKNOWN IF THIS EASEMENT IS STILL VALID.

RIVERSIDE LAND SURVEYING LLC
5310 WILLOW STREET, WESTON, WI 54476 PH 715-241-7500 - FAX 715-355-6894
email - mail@riversidelandsurveying.com

DRAWN BY	DATE
S.M.H.	SEPTEMBER 4, 2021
CHECKED BY	PROJECT NO.
N.J.W.	3623

PREPARED FOR: FORWARD REAL ESTATE

PRELIMINARY

WOOD CO. CERTIFIED SURVEY MAP NO. _____

Of Lot 1 of Certified Survey Map No. 9781 recorded in Volume 35 of Certified Survey Maps on page 81 as Document No. 2014R06413 located in part of the Southeast 1/4 of the Southwest 1/4 of Section 20, Township 22 North, Range 6 East, City of Wisconsin Rapids, Wood County, Wisconsin.

LEGEND

- FOUND RAILROAD SPIKE
- FOUND SNM1 MONUMENT
- FOUND 3/4" REBAR (UNLESS NOTED OTHERWISE)
- FOUND 1" O.D. IRON PIPE
- FOUND 1-1/4" O.D. IRON PIPE
- FOUND 2" O.D. IRON PIPE
- FOUND WOOD COUNTY BRASS CAP MONUMENT
- SET MAG NAIL
- ( ) - RECORDED BEARING/LENGTH PER CSM 9781
- < > - RECORDED BEARING/LENGTH PER CSM 10805
- [ ] - RECORDED BEARING/LENGTH PER PLAT OF SURVEY, S-2444, DATED 6-6-18
- STORM WATER INLET
- C - COMMUNICATIONS VAULT
- COMMUNICATIONS PEDESTAL
- LIGHT POLE
- VINYL FENCE
- CONCRETE
- GRAVEL
- { } - RECORDED BEARING/LENGTH PER EAST SIDE ANNEX ASSESSOR'S PLAT NO. 6
- | | - RECORDED BEARING/LENGTH PER PRUSYNSKI SUBDIVISION

I, Nathan J. Wincentsen, Professional Land Surveyor S-2539, hereby certify to the best of my knowledge and belief: That I have surveyed, mapped and divided Lot 1 of Certified Survey Map No. 9781 recorded in Volume 35 of Certified Survey Maps on page 81 as Document No. 2014R06413 located in part of the Southeast 1/4 of the Southwest 1/4 of Section 20, Township 22 North, Range 6 East, City of Wisconsin Rapids, Wood County, Wisconsin, described as follows:

Commencing at the South 1/4 corner of said Section 20; Thence North 00°39'32" East along the monumented East line of the Southeast 1/4 of the Southwest 1/4, 1286.26 feet; Thence South 89°20'28" West, 50.00 feet to the West right-of-way line of State Highway 13 and the point of beginning; Thence South 00°39'32" East along said West right-of-way line, 222.98 feet to the South line of said Lot 1; Thence South 88°34'52" West along said South line, 250.22 feet to the West line of said Lot 1; Thence North 00°42'32" West along said West line, 91.58 feet; Thence North 89°20'02" West along said West line, 37.60 feet; Thence North 00°19'07" West along said West line, 136.44 feet to the South right-of-way line of Grove Avenue; Thence North 89°51'32" East along said South right-of-way line, 287.07 feet to the point of beginning.

That the above described parcel of land contains 61,585 square feet or 1.414 acres, more or less;

That said parcel is subject to all easements, restrictions and right-of-ways of record including a Cross parking Easement and Access Easement per Document No. 2014R06659, a 10' wide Electric Easement per Document No. 2015R06320, a 20' wide Sewer and Water Easement per Document No. 2015R06320, a 20' wide permanent limited Storm Sewer Easement per Document No. 842482 and a 10' by 5' Sign Easement per Certified Survey Map No. 9781;

That I have made this survey, division and map thereof at the direction of Forward Real Estate, Agent of said parcel;

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes, Chapter A-E7 of the Wisconsin Administrative Code and the subdivision regulations of the City of Wisconsin Rapids in Surveying, Mapping and Dividing the same.

That said map is a correct and accurate representation of the exterior boundaries of said parcel and the division thereof.

Dated this_____ day of_____

_____
Riverside Land Surveying LLC
Nathan J. Wincentsen
P.L.S. No. 2539

City of Wisconsin Rapids Planning Commission
There are no objections to this survey map with respect to Chapter 12, Municipal Code and amendments thereto.

Certified this _____ day of _____, 2021
Planning Commission - City of Wisconsin Rapids

_____
Secretary - City Engineeer

RIVERSIDE LAND SURVEYING LLC
5310 WILLOW STREET, WESTON, WI 54476 PH 715-241-7500 - FAX 715-355-6894
email - mail@riversidelandsurveying.com

DRAWN BY	DATE
S.M.H.	SEPTEMBER 4, 2021
CHECKED BY	PROJECT NO.
N.J.W.	3623

PREPARED FOR: FORWARD REAL ESTATE

Administrative Staff Report

Caribou Coffee
Site Plan & Architectural Review
2820 8th Street South
September 8, 2021

WISCONSIN RAPIDS
Department of Community Development

Applicant(s):

- Mark Johnson, Forward Real Estate Services, LLC.

Staff:

- Kyle Kearns

Parcel Number(s):

- 3412972

Lot Information:

- Effective Frontage: 610 feet
- Effective Depth: 286 feet
- Square Footage: 61,560
- Acreage: 1.413 Acres

Zone(s):

- "B-2" General Commercial District

Council District:

- District 7

Master Plan:

- Commercial

Current Use:

- Vacant

Applicable Regulations:

- Chapter 11 - Zoning

Request

PLAN-21-0852; Mark Johnson, Forward Real Estate Services, LLC. – request for a site plan review to construct a Caribou Coffee at 2820 8th Street South (Parcel ID 3412972)

Attachment(s)

1. Application
2. Site Plan
3. Building Renderings
4. Lighting Plan

Findings of Fact

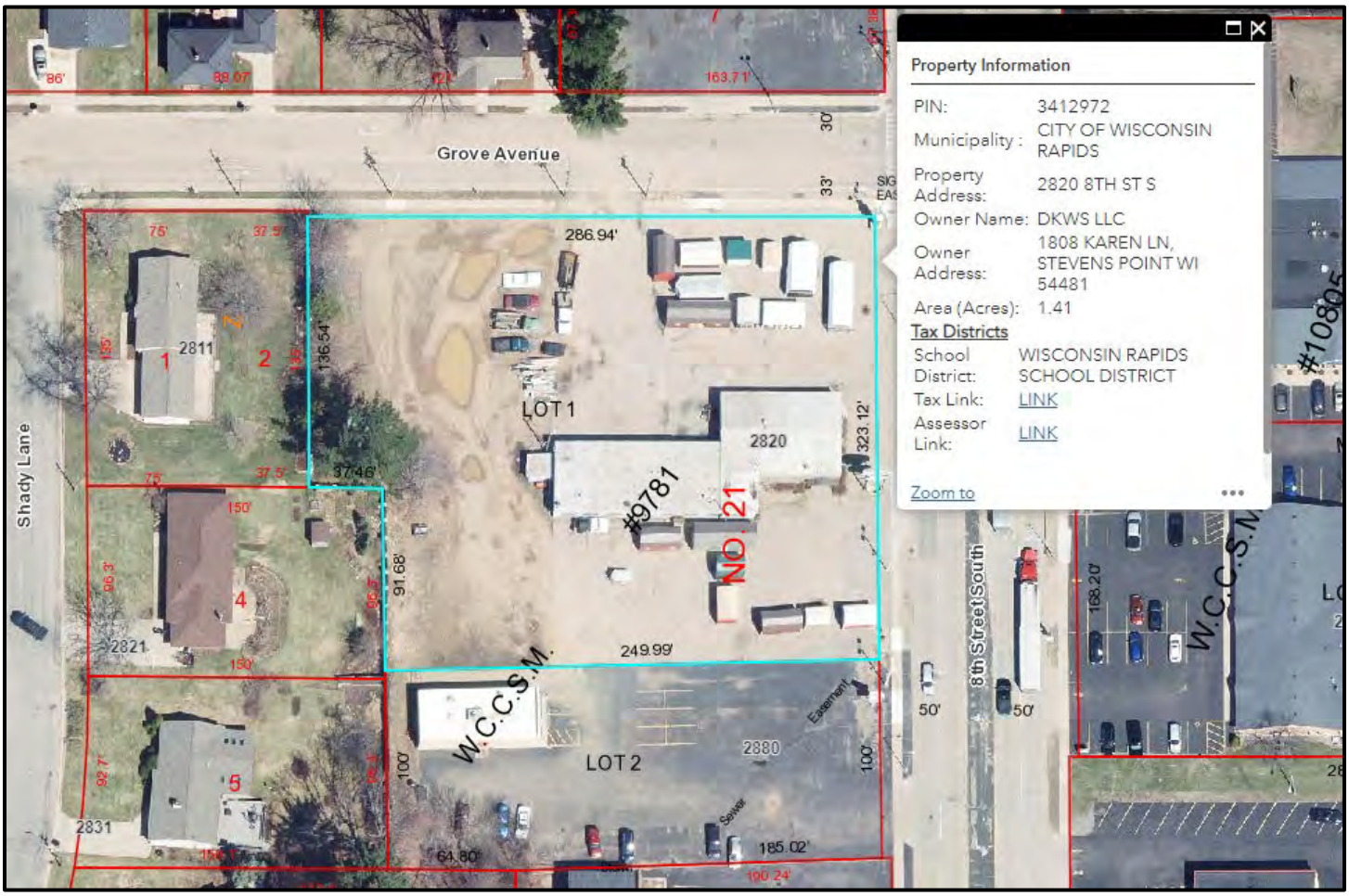
1. The proposed project is to construct a Caribou Coffee building with drive-through, outdoors seating and parking.
2. The building is a smaller footprint and is to primarily attract drive-through traffic.
3. Access is proposed on Grove Avenue and 8th Street South.
4. The property is zoned "B-2" General Commercial District.
5. A restaurant use is permitted in the B-2 District
6. A building plan – architectural review (AR), plan of operation (PO), site plan (SP), and zoning permit (ZP) are required.

Staff Recommendation

Approve the request from the applicant for site plan review and architectural review to construct a Caribou Coffee at 2820 8th Street South (Parcel ID 3412972), subject to the following condition(s):

a) A detailed landscaping plan shall be provided meeting all applicable landscape requirements for the development, to be reviewed and approved by the Community Development Department.
b) The refuse enclosure shall match the design and colors of the primary building.
c) Cut-off lighting fixtures or equivalent shall be used for the development, and lighting from the development shall not exceed 0.2 foot-candles at neighboring commercial property lines.
d) Applicable permits through the City shall be obtained.
e) Community development department shall have the authority to approve minor modifications to the plans.

Vicinity Map



Background

The applicant, representing Caribou Coffee, is proposed to construct a small 600 square foot building on the corner of Grove Avenue and 8th Street South. The building is primarily to accommodate drive-through patrons, but also will offer a walk-up window and outdoor seating. The submitted plans and renderings are attached and have been reviewed further below.

Standards of Review

1) **Use**

Analysis: A restaurant type use is permitted in the B-2 District. The property is currently vacant and is proposed to be split into two lots.

Findings: Note that a building plan – architectural review (AR), plan of operation (PO), site plan review (SP), and zoning permit (ZP) are required.

2) Dimensional Standards

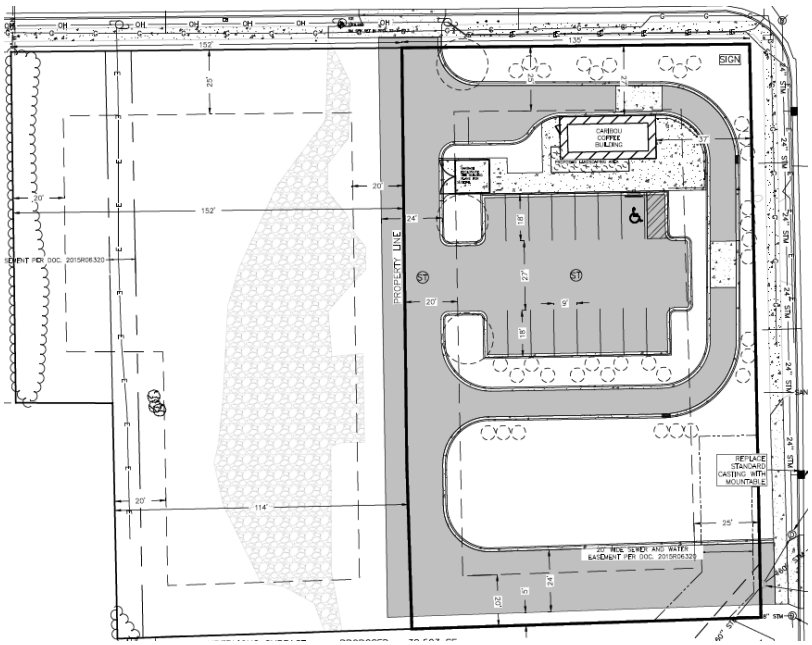
Analysis: The B-2 district requires 10,000 square feet, and the lot is 61,560 square feet, but will be built upon a 30,000 square foot lot. The building footprint is approximately 600 square feet. The building coverage ratio is about 2% meeting the 60% (max.) requirement and impervious surface is approximately 62% which meets the 80% (max.) requirement.

Findings: The applicable dimensional standards appear to be met.

3) Ingress/Egress

Analysis: Access to the site is proposed via a shared driveway on Grove Avenue, as well as a driveway on 8th Street South. The 8th Street driveway may also be permitted for use by the newly created lot to the west. It is important to note that a driveway on 8th Street South is being vacated.

Findings: Driveway standards are met, regarding width and location. Additionally, the proposed development removes one driving, improving access and safety to the site, and also creates a shared driveway for future development on the adjacent lot.



4) Parking

Analysis: The use requires 1 space for each 3 patron seats or 1 space for each 300 square feet gross flour area devoted to patron service, whichever is greater; plus 1 for each employee on the largest work shift. of gross floor area. Therefore, the parking requirement on site is between 3-8 stalls. A total of 15 stalls will exist onsite, meeting the parking requirement. While parking isn't shared onsite, a drive aisle is proposed between both lots, which would connect to both driveways from either lot.

Findings: The development meets the parking requirements with a total of 15 stalls, as well as the dimensional standards. Furthermore, while the drive-up window is situated near the street, it allows the building to be nearer to the street and for the share drive aisle. The configuration also limits access on both Street frontages and aligns the driveways well with adjacent businesses and intersections.

5) Landscaping

Analysis: A total of 60 landscape points shall be provided along the frontage, prorated for every 100 linear feet, meaning 218 points are required. A total of 40 landscape points shall be provided on a prorated basis for every 100 feet of building foundation perimeter, meaning 43.6 points are required. Lastly the parking lot landscaping requires a minimum of 100 landscape points for every 10,000 square feet paved area; meaning 146 points are required. The applicant has identified landscape areas but did not include specific types or species. Note that a buffer yard is not required for the development as it does not directly abut a residential zone on the side or rear of the property.

Findings: The site plan shows general landscaped areas around the driveway, parking, and drive-through which should be enough area (11,634 sq. ft.), 33% of the site, to meet the requirements. Upon review, a total of 255

street frontage landscape points are proposed, in the form of large and medium trees. Staff would recommend a detailed landscaping plan be provided meeting all applicable landscape requirements for the development, to be reviewed and approved by the Community Development Department.

6) Architectural Review

Analysis: Renderings have been submitted, showing façade finishing materials primarily of glass, hardie plank siding, and stone. Small A-frame design resemble that of a cottage and incorporates rustic touches, such as horizontal beams and lanterns. The proposed refuse enclosure is proposed to be made of a similar wood material.

Findings: From an architectural standpoint, the building is aesthetically appealing and incorporates a variety of finishing materials. Furthermore, the windows, doors, stone, and other accents will make up over 50% of all front façades. Additionally, the hardie plank siding, metal roof and horizontal beam features add significant character to the building. The refuse enclosure will be constructed of a wood/hardie plank material matching the building. Staff would recommend the color of the refuse enclosure to match colors on the building. Overall, the building will create an attractive and inviting element on 8th Street South and will fit within the corridor.

7) Lighting & Photometric Plan

Analysis: Regulations for onsite lighting are related to light trespass (foot-candles) beyond the property line and total lighting levels (lumens). Lighting from the business use should not exceed 0.2 foot-candles at a neighboring commercial property line. The applicant previously has submitted a lighting plan which shows values of 0.3-foot candles at the adjacent lot lines, and measurements of 1.5-foot candles near the right-of-way.

Findings: Staff would recommend cut-off lighting fixtures or equivalent be used for the development, and that lighting from the business not exceed 0.2 foot-candles at neighboring commercial property lines.

In summary, the proposed building and development plan are fitting and will improve the character of the 8th Street corridor. Therefore, staff would recommend approval of the site plan and architectural review, subject to the items mentioned above and summarized on page one of the staff report.

Photos

n of Operation Application
sin Rapids, Wisconsin

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Office Use Only

Date Received _____

Received By _____

Fee _____

Case # _____

Aldermanic District _____

Plan Commission Date _____

Overview: The Planning Commission reviews site plans and plans of operation for those land uses specifically requiring such review as listed in the land-use matrix (Appendix A of the zoning code).

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at https://wisconsinrapids.zoninghub.com/

Application fee: $175.00 for new; $125.00 for amendment of prior approval

Note: Site plan/plan of operation review and architectural review can be combined into one application fee.

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

1. Applicant information

Applicant name: Mark Johnson, Forward Real Estate Services, LLC

Street address: _____

City, state, zip code: _____

Daytime telephone number: 612-730-5032

Email: mark@forwardreservices.com

2. Agent contact information Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Agent 1	Agent 2
Name	Nick Bancuk	Charles Schatz
Company	Marathon Technical Services	Reprise Architecture
Street address		
City, state, zip code		
Daytime telephone number	715-843-7592	612-669-4729
Email		

3. Type of application (check all that apply)

- [x] Site plan — Complete Part A, B and D
- [ ] Plan of operation — Complete Part A, C and D

- [ ] New project
- [ ] Amendment of prior approval (if any)

If an amendment, the date of last approval (if any): _____

Part A. About the Property

4. Subject property information

Physical address 2820 8th Street South, Wiscsonsin Rapids

Parcel number(s) 3412972

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

- [x] No
- [ ] Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

- [x] No
- [ ] Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to https://wisconsinrapids.zoninghub.com/zoningmap.aspx)

The subject property is located in the following base zoning district(s). (check all that apply)

- [ ] RR Rural Residential
- [ ] R-1 Single-family Residential
- [ ] R-2 Mixed Residential
- [ ] R-3 Multi-family Medium Density Residential
- [ ] R-4 Multi-family High Density Residential
- [ ] R-8 Manufactured Home Park
- [ ] B-1 Downtown Commercial
- [ ] B-2 General Commercial
- [x] B-3 Neighborhood Commercial
- [ ] B-5 Mixed Use Commercial
- [ ] M-1 General Industrial
- [ ] M-2 Heavy Industrial
- [ ] I-1 Institutional
- [ ] P-1 Park and Recreation
- [ ] C-1 Conservancy

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- [ ] Planned Development (PDD)
- [ ] Downtown Design
- [ ] Shoreland
- [ ] Shoreland-Wetland
- [ ] Floodplain
- [ ] Wellhead Protection

Part B. Site Plan (See the standards and requirements in Division 6 of Article 6.)

6. Building type. Which of the following building types best describes the building?

- [ ] Townhouse
- [ ] Multi-family
- [ ] Institutional
- [x] Commercial
- [ ] Work/live
- [ ] Industrial
- [ ] Parking structure

Please refer to Appendix D for any design requirements that may apply.

7. Encroachments.

Aside from driveways connecting to the street, will any part of the proposed project encroach into a public right-of-way?

- [x] No
- [ ] Yes

If yes, please explain.

8. Site parameters (area in square feet or acres)

Subject property	1.41 acres	
Building coverage	600 SF plus future TBD	
Outdoor storage	NA	
Stormwater facilities	TBD	
Impervious surfaces	TBD	Impervious surfaces include buildings, parking areas and driveways, sidewalks, decks, patios, and other types of 'hard' surfaces.
Landscaping and other undeveloped areas	Provided	
Wetlands	NA	Attach appropriate documentation if there are any wetlands.
100-year floodplain	NA	

9. Street access

Name	New Access	Change to Existing Access	No Change to Existing Access
8th Street South	☐	✔	✔
Grove Avenue	✔	✔	✔
	☐	☐	☐

10. Traffic generation

Will the proposed project create 500 trips per day or more?

- [x] No
- [ ] Yes Attach a traffic impact report to this application. See s. 11.06.151 of the zoning code for additional details.

Will the proposed project create 300 trips per day or more, but less than 500?

- [x] No
- [ ] Yes The city may require a traffic impact report as described in s. 11.06.151 of the zoning code. Please contact the Community Development Department for further guidance.

11. Parking (See the standards and requirements in Article 17 of the zoning code.)

Minimum number of required spaces		See Appendix B of the zoning code for parking requirements for the proposed land use(s).
Proposed number of spaces	16	If the number of proposed spaces exceeds what is required by more than 15 percent, the Planning Commission may grant a special exception to allow oversized parking areas. (See s. 11.17.03(r) of the zoning code.)
ADA van accessible spaces	one	

Other ADA accessible spaces	Outdoor patio and restroom	
Number of electric charging stations (if any)	NA	Charging stations are not required, but are recommended.
Bicycle parking spaces	3	Bike parking is not required, but is recommended. (See s. 11.17.06 of the zoning code.)
Number of spaces in front of the building	0	The number of spaces in front of the building may be limited depending on the zoning district. (See Appendix C of the zoning code.)
Number of spaces on the side(s) of the building	7	
Number of spaces to the rear of the building	9	

12. Outdoor lighting (See the standards and requirements in Article 18 of the zoning code.)

	Number of Fixtures	Lumens
Building 1	TBD	TBD
Building 2	TBD	TBD
Building 3	NA	NA
Parking lot 1	TBD	12480
Parking lot 2	TBD	TBD
Parking lot 3	NA	NA
Other		
Other		
Total		

Maximum lighting levels at each property boundary line (in footcandles):	1.0	Attach a photometric plan to this application along with manufacturer's cut sheets for the different kinds of light fixtures.
Height of parking lot lights above grade (if any):	15'	

13. Fencing. Will the proposed project include fencing?

☐ No

☒ Yes (See Article 15 of the zoning code for the standards and requirements that apply.)

If yes, please describe and/or attach a fencing plan.

Recycling and trash enclosure will have opaque fence aroudn perimeter. Also decrative railing around patio

14. Stormwater. Describe how stormwater generated on the site will be handled.

TBD per site plan design, impervious areas and review by Marathon Technical Services.

15. Site plan. Attach a site plan drawn to scale with the following information to the extent it applies to the proposed project. The items with an asterisk are required. Check those elements that are included.

Background Project Information

- [x] Project name*
- [x] Applicant name*
- [x] Preparation date/revision*
- [x] Name of preparer*

Survey Information

- [x] North arrow and graphic scale*
- [x] Address of subject property or legal description*
- [x] Property boundaries *
- [x] Acreage of subject property*

Project Development Information

- [x] Land use summary table by density/intensity and acreage*
- [ ] Easements/rights-of-ways (location, width, purpose, ownership)
- [ ] Common areas/conservancy areas (location, purpose, ownership)
- [ ] Land to be dedicated to the public (boundaries, area, purpose)

Setting

- [ ] Property boundaries within 50 feet of the subject property
- [ ] Land uses within 50 feet of the subject property
- [ ] Zoning district boundaries within 50 feet of the subject property
- [ ] Municipal boundaries within 50 feet of the subject property

Site Features (existing and proposed)

- [ ] Ground contours when slopes exceed 8 percent
- [ ] Wetlands
- [ ] Woodlands
- [ ] Wildlife habitat, including critical wildlife habitat
- [ ] Environmentally sensitive features
- [ ] Water resources (rivers, ponds, etc.) and ordinary high-water mark for navigable waters
- [ ] Floodplain boundaries and elevations of the same

Buildings and Outdoor Storage/Activity Areas

- [ ] Existing and proposed
- [ ] Existing within 50 feet of subject property

Required Setbacks

- [ ] Yard setbacks (front, side, rear and shore)
- [ ] On-site septic systems
- [ ] On-site wells and off-site wells within 10 feet of the perimeter of the subject property

Landscaping Features (existing and proposed)

- [ ] Fences, buffers, and berms
- [ ] Pervious and impervious surfaces by type
- [ ] Site amenities (benches, fountains, etc.)
- [ ] Existing trees and other prominent vegetation
- [ ] Trees / shrubs to be planted, including a plant list and specs.

Trees / shrubs to be retained

Outdoor Lighting (existing and proposed)

- [ ] Location
- [ ] Fixture specifications

Stormwater Facilities (existing and proposed)

- [ ] Location
- [ ] Specifications for each facility

Utilities (existing and proposed)

- [ ] Location
- [ ] Type (sewer, telephone, etc.) (buried or overhead, if applicable)
- [ ] Size/capacity, if applicable

Transportation Facilities (existing and proposed)

- [ ] Streets
- [ ] Driveways and road access onto public and private roads
- [ ] Sidewalks and trails
- [ ] Fire lanes (i.e., fire apparatus access)
- [ ] Clear visibility triangles (location and dimensions)

On-Site Parking (existing and proposed)

- [ ] Access aisles and parking spaces by size
- [ ] Location of accessible parking spaces
- [ ] Location and specifications/dimensions for accessibility ramps
- [ ] Type and location of on-site parking signs and traffic control signs
- [ ] Surface materials for parking lot (e.g., concrete, bituminous concrete, pavers)
- [ ] Snow storage areas
- [ ] Areas designated for queuing of vehicles for drive-through facilities (e.g., car washes, drive-up service windows, etc.
- [ ] Pedestrian walks between the parking lot and the building
- [ ] Designated areas of a parking area for pedestrian walks
- [ ] Loading lanes and loading docks
- [ ] Stormwater drainage
- [ ] Distance between parking areas and adjoining properties if less than 20 feet
- [ ] Areas designated for bicycle parking

Signs (existing and proposed)

- [ ] Location
- [ ] Specifications for each sign including type, height, dimensions, lighting, and other factors considered during the review process

Part C. Plan of Operation

16. Operating conditions

Hours of operation:	6a-9p, 7 days a week	
Estimated number of full-time employees	Six	
Estimated number of part-time employees	Fifteen	
Maximum number of employees onsite at peak hours	Six	
Will the proposed business operation create any noise outside of the building?	just the speaker box at menu order board	Refer to s. 11.06.147 of the zoning code.
Will the proposed business operation create any emissions (e.g., fumes, smoke, steam, vapor, dust,) to the atmosphere?	No	Refer to s. 11.06.148 of the zoning code.
Will the proposed business operation create any vibrations outside of the building?	No	Refer to s. 11.06.149 of the zoning code.
Will the proposed business operation involve any explosives or other flammable materials?	No	Refer to s. 11.06.150 of the zoning code.
Will the proposed business operation involve any radioactive materials?	No	
Will the proposed business operation create special needs for wastewater disposal?	No	
Will the proposed business operation require unusually high levels of public water?	No	

17. Licensing. What kind of federal, state, county or city licensees will be required to operate the proposed business?

Health Department License

Part D. Other

18. Attachments List any attachments included with your application.

19. Other information You may provide any other information you feel is relevant to the review of your application.

Forward Real Estate has contingent contract to purchase the property with DKWS, LLC, David Karl and Karen Karl, dated 7.28.21.

20. Mandatory meeting with staff

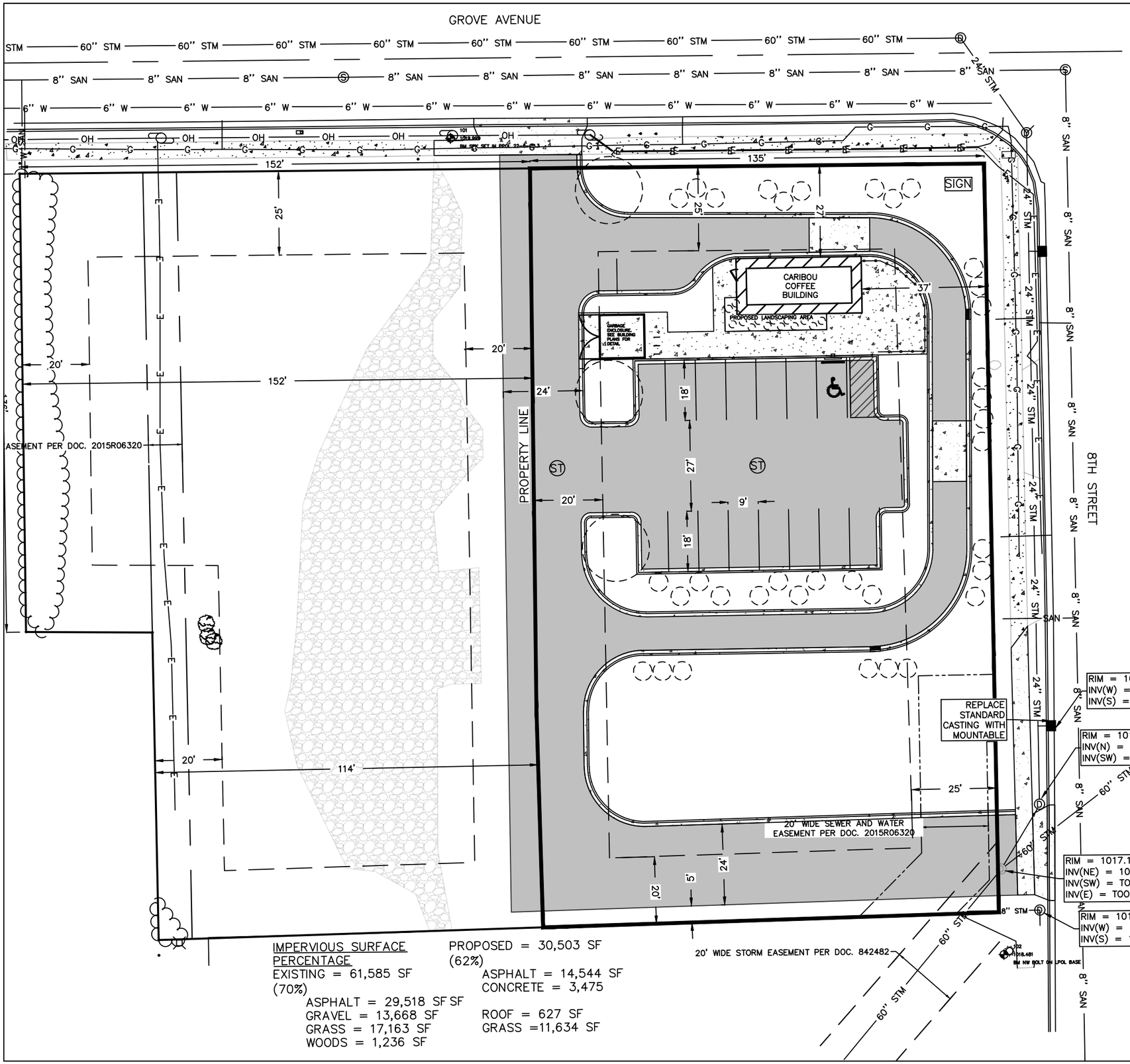
When did you meet with the Community Development Director? August 23,2021 Month/year

21. Applicant certification

- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Mark Johnson		8.24.21
Name – print	Name – Signature	Date
Name – print	Name – Signature	Date



IMPERVIOUS SURFACE PERCENTAGE

EXISTING = 61,585 SF (70%)
- ASPHALT = 29,518 SF SF
- GRAVEL = 13,668 SF
- GRASS = 17,163 SF
- WOODS = 1,236 SF

PROPOSED = 30,503 SF (62%)
- ASPHALT = 14,544 SF
- CONCRETE = 3,475
- ROOF = 627 SF
- GRASS =11,634 SF

BLOCK LEGEND:

- PEDESTRIAN CROSSING AHEAD SIGN
- TELEPHONE PEDISTAL
- EXISTING CURB INLET
- EXISTING CATCH BASIN
- EXISTING STORM SEWER MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED LANSCAPING TREE (DESIGN TO FOLLOW)
- PROPOSED LANSCAPING SHRUB (DESIGN TO FOLLOW)

HATCH LEGEND:

- PROPOSED BUILDING
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- EXISTING GRAVEL

MTS
MARATHON TECHNICAL SERVICES LLC
404 FRANKLIN ST
WAUSAU, WI 54403
PHONE: 715-843-2292
FAX: 715-843-7292
WWW.MTSLLC.NET

REVISION DATE

SURVEYED BY: VREELAND ASSOCIATES
DESIGNED BY: MTS
DRAWN BY: JUSTIN H.
APPROVED BY: NICK B.

PROJECT DETAILS
PROJECT NUMBER: XXXX
PROJECT PHASE: PRELIMINARY
PROJECT MILESTONE: CONCEPT

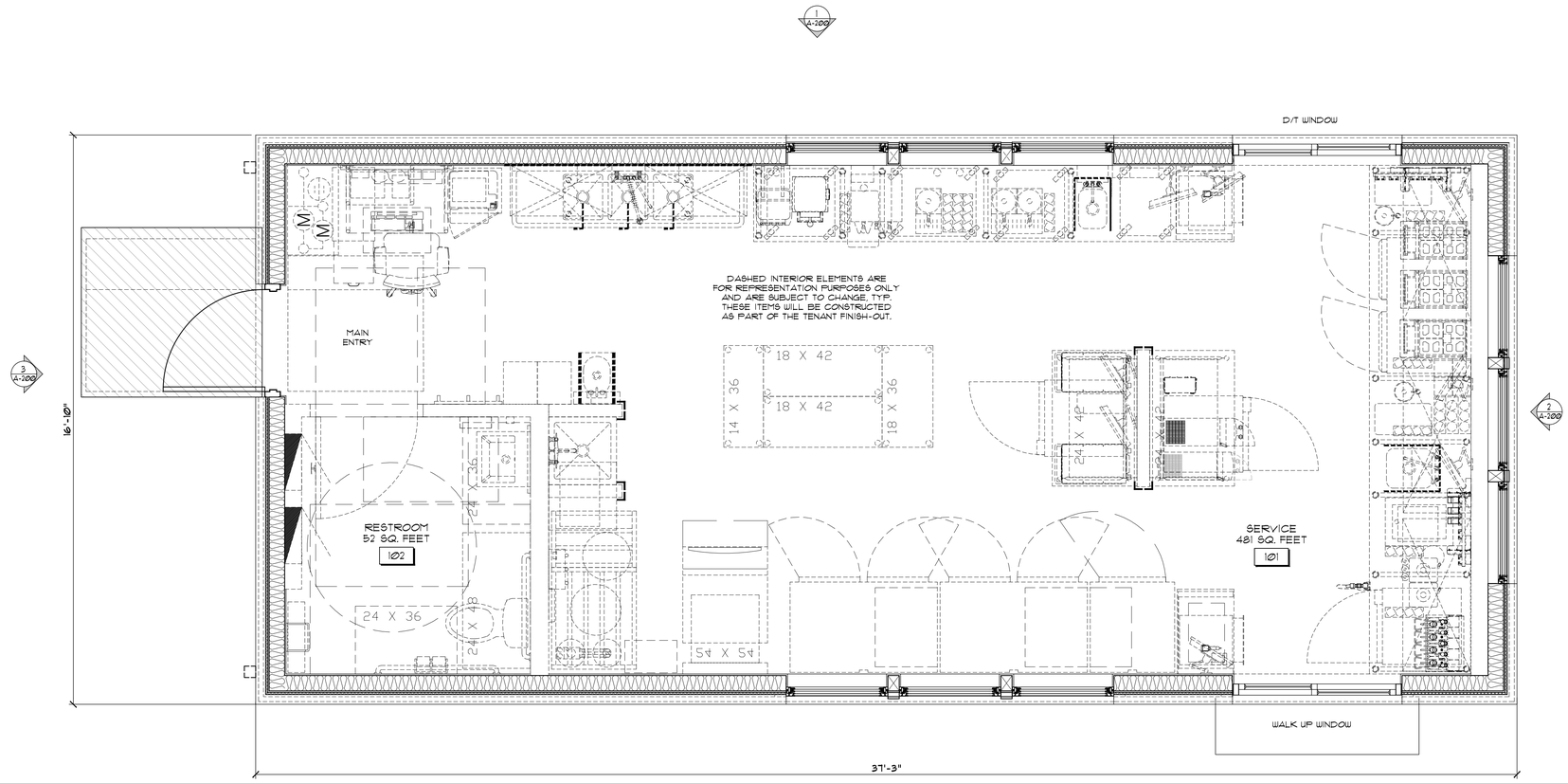
PROPOSED SITE PLAN

PROJECT NAME
MOSINEE, MARATHON COUNTY

SCALE
1" = 30'

SHEET NO.

Caribou COFFEE
Caribou COFFEE



1 FLOOR PLAN
1/2" = 1'-0"

NORTH

reprise DESIGN
Architecture, Inc.
13400 Portland Avenue South
Suite 100, Portland Corporate Center
Burnsville, MN 55337
Office: (952) 252-4042
Fax: (952) 252-4049

PRELIMINARY
NOT FOR CONSTRUCTION

PRELIMINARY
NOT FOR CONSTRUCTION

CARIBOU COFFEE COMPANY
DRIVE-THRU ONLY STORE
DT RIGHT PROTOTYPE SHELL BUILDING
8TH ST & GROVE AVE, WISCONSIN RAPIDS, WI 54494

FLOOR PLAN

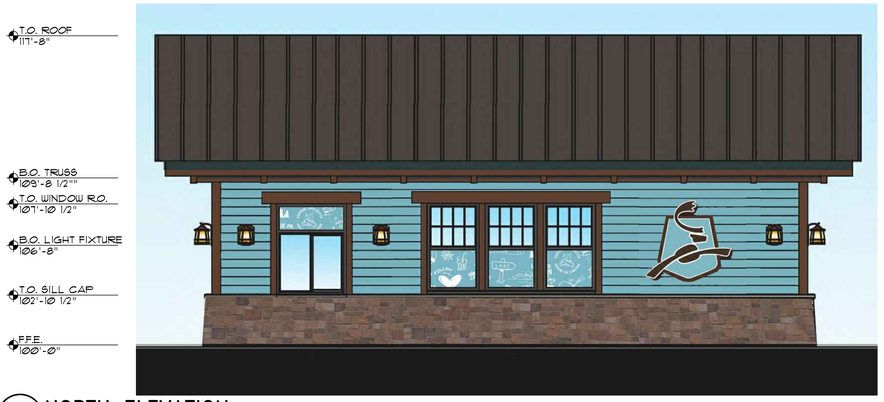
Caribou COFFEE
Caribou Coffee Company
3900 Lakebreeze Ave N
Brooklyn Center, MN 55429

DATE ISSUED	
CITY SUBMITTAL	09-03-2021

DRAWN BY	CE
CHECKED BY	CS
JOB NO.	21226

PROJECT LOCATION:
WISCONSIN RAPIDS, WI

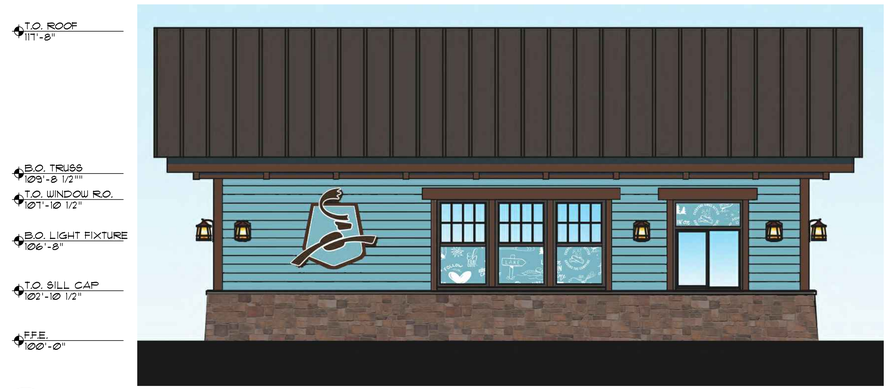
A-100



1 NORTH ELEVATION
1/4" = 1'-0"

2 EAST ELEVATION
1/4" = 1'-0"

3 WEST ELEVATION
1/4" = 1'-0"



4 SOUTH ELEVATION
1/4" = 1'-0"

BUILDING MATERIALS LEGEND

- STONE - CULTURED/MANUFACTURED STONE: ENVIRONMENTAL STONEWORKS STYLE: TUSCAN LEDGESTONE, COLOR: LANTANA, SILL CAP: ENVIRONMENTAL STONEWORKS DRIP LEDGE COLOR: KODIAK.
- HARDIE PLANK SIDING - PAINTED 'CLOUDBURST'
- HARDIE TRIM BOARD AT HORIZONTAL TRANSITION TO SIDING AND SURROUNDING WINDOWS AND DOORS - PAINTED 'BITTERSWEET CHOCOLATE'
- STANDING SEAM METAL ROOFING - COLOR: DARK BRONZE.
- DARK BRONZE STOREFRONT DOORS, WINDOWS, AND HM SERVICE DOORS.
- NEW LIGHT FIXTURES - PROGRESS P5764-86 BURNISHED CHESTNUT WALL LAMPS

reprise DESIGN
Architecture, Inc.
12400 Portland Avenue South
Suite 100, Portland Corporate Center
Burnsville, MN 55337
Office: (952) 252-4042
Fax: (952) 252-4045

PRELIMINARY
NOT FOR CONSTRUCTION

PRELIMINARY
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CARIBOU COFFEE COMPANY
DRIVE-THRU ONLY STORE
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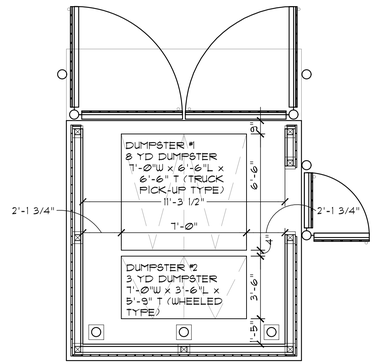
EXTERIOR ELEVATIONS

Caribou COFFEE
Caribou Coffee Company
3900 Lakebreeze Ave N
Brooklyn Center, MN 55429

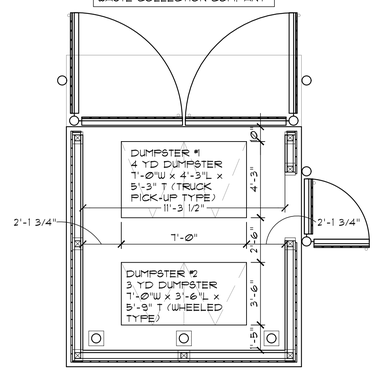
DATE ISSUED	
CITY SUBMITTAL	09-03-2021
DRAWN BY	CE
CHECKED BY	CS
JOB NO.	21226
PROJECT LOCATION:	

WISCONSIN RAPIDS, WI

A-200

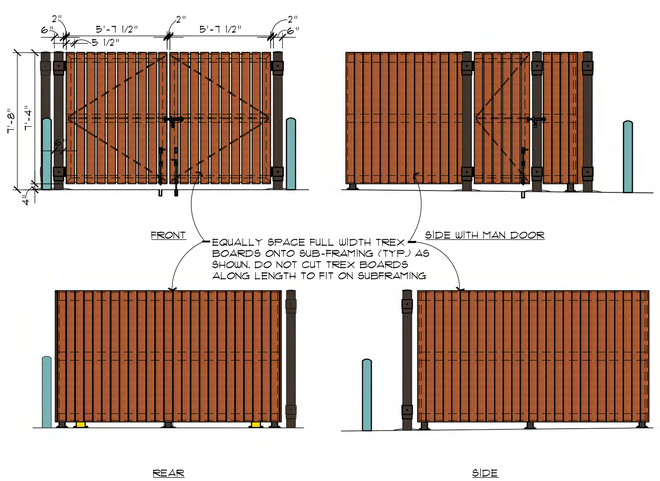


FINAL DUMPSTER TYPE, SIZING AND LAYOUT TO BE DETERMINED WITH OWNER IN COORDINATION WITH LOCAL WASTE COLLECTION COMPANY

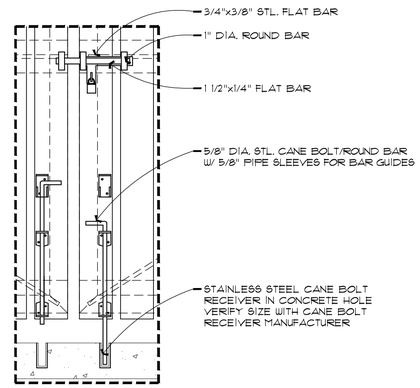


10 EXAMPLE DUMPSTER LAYOUTS
1/4"=1'-0"

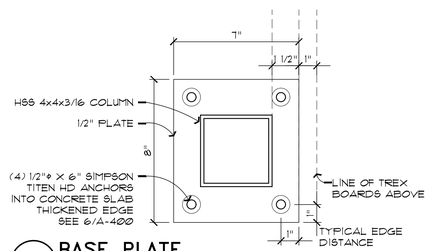
PROJECT ARCHITECT OR ENGINEER TO VERIFY TRASH ENCLOSURE DESIGN, SIZE AND LAYOUT BASED ON TRASH DUMPSTER SIZES AVAILABLE FROM LOCAL WASTE COLLECTION COMPANY AND ALL LOCAL JURISDICTIONAL DESIGN REQUIREMENTS.



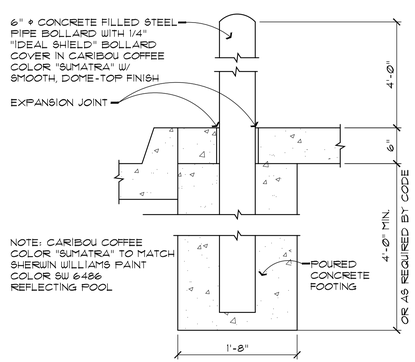
11 TRASH ENCLOSURE ELEVATIONS
1/4"=1'-0"



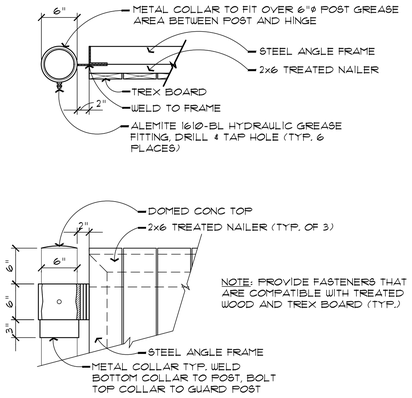
7 LATCH DETAIL
1"=1'-0"



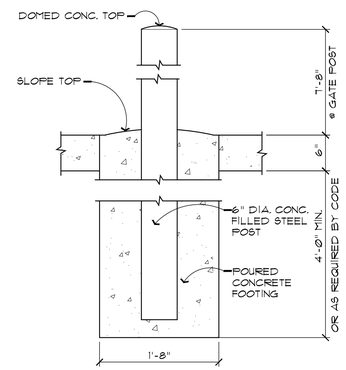
8 BASE PLATE
3"=1'-0"



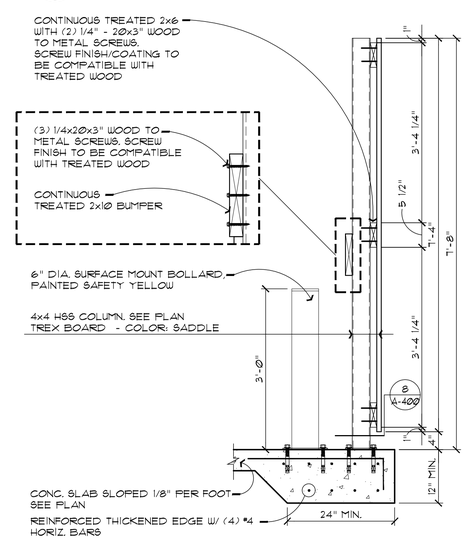
9 BOLLARD DETAIL
1"=1'-0"



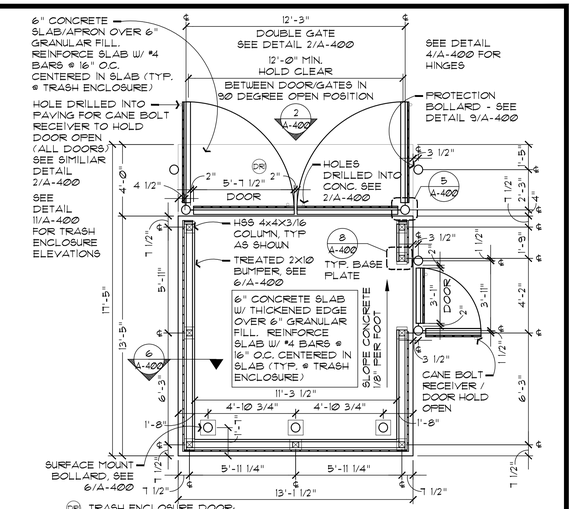
4 HINGE DETAILS
1"=1'-0"



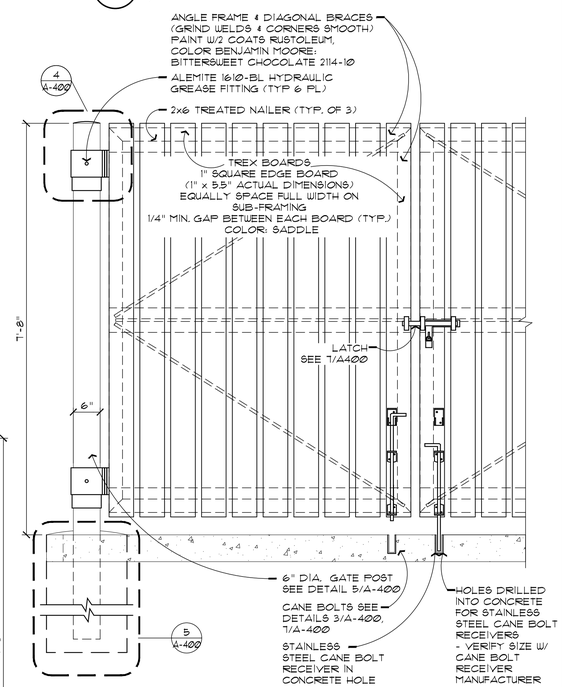
5 TYP. GATE POST DETAIL
1"=1'-0"



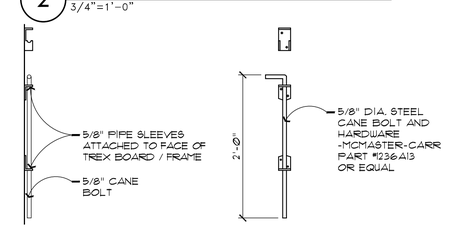
6 TYP. SECTION
3/4"=1'-0"



1 TRASH ENCLOSURE PLAN
1/4"=1'-0"



2 TYP. GATE DETAIL
3/4"=1'-0"



3 CANE BOLT DETAILS
1"=1'-0"

reprise DESIGN
Architecture, Inc.
12400 Portland Avenue South
Suite 100, Portland Corporate Center
Burnsville, Minnesota 55337
Office: (952) 252-4040
Fax: (952) 252-4043

PRELIMINARY NOT FOR CONSTRUCTION

PRELIMINARY NOT FOR CONSTRUCTION

CARIBOU COFFEE COMPANY
DRIVE-THRU ONLY STORE
DT RIGHT PROTOTYPE SHELL BUILDING
8TH ST & GROVE AVE, WISCONSIN RAPIDS, WI 54494

TRASH ENCLOSURE DETAILS

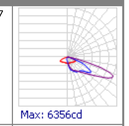
Caribou COFFEE
Caribou Coffee Company
3900 Lakebreeze Ave N
Brooklyn Center, MN 55429

DATE ISSUED	
CITY SUBMITTAL	09-03-2021
DRAWN BY	CE
CHECKED BY	CS
JOB NO.	21226
PROJECT LOCATION:	WISCONSIN RAPIDS, WI

A-400

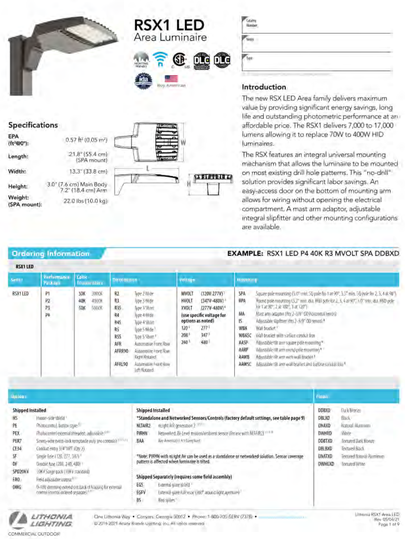
GraybaR
2300 EAST 25TH STREET
MINNEAPOLIS, MN 55406

Schedule

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
	AHS		2	Lithonia Lighting	RSX1 LED P2 40K R3 HS	RSX Area Fixture Size 1 P2 Lumen Package 4000K CCT Type R3 Distribution with HS Shield	1	7509	0.9	72.9467	 Max: 6356cd
	B		1	Lithonia Lighting	RSX1 LED P3 40K R4	RSX Area Fixture Size 1 P3 Lumen Package 4000K CCT Type R4 Distribution	1	14206	1	109.44	Max: 8378cd
	BHS		1	Lithonia Lighting	RSX1 LED P3 40K R4 HS	RSX Area Fixture Size 1 P3 Lumen Package 4000K CCT Type R4 Distribution with HS Shield	1	10322	1	109.442	Max: 6929cd

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site	+	1.4 fc	5.3 fc	0.1 fc	53.0:1	14.0:1



RSX1 LED
Area Luminaire

Specifications

EPA (ft²(m²)): 0.57 ft² (0.05 m²)
Length: 21.8" (55.4 cm) (SPA mount)
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body; 7.2" (18.4 cm) Arm
Weight: (SPA mount): 22.0 lbs (10.0 kg)

Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.

Ordering Information — EXAMPLE: RSX1 LED P4 40K R3 MVOLT SPA DDBXD

RSX1 LED

Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX1 LED	P1	30K 3000K	R2 Type 2 Wide	MVOLT (120V-277V)[1]	SPA Square pole mounting (5.0" min. DM pole for 1 at 90°, 3.5" min. DM pole for 2, 3, 4 at 90°)
	P2	40K 4000K	R3 Type 3 Wide	HVOLT (347V-480V)[1]	RPA Round pole mounting (5.0" min. dia. RPA pole for 1, 3, 4 at 90°, 5.0" min. dia. RPA pole for 2 at 180°, 2 at 180°, 3 at 120°)
	P3	50K 5000K	R4 Type 4 Wide	XVOLT (277V-480V)[1] (see specific voltage for options as noted)	BS Short arm adapter (Fits 2-3/8" O.D. horizontal tenon)
	P4		R5 Type 5 Wide	120[2] 277[2]	U Adjustable slipfitter (fits 2 - 3.5" O.D. tenons)[3]
			R6 Type 5 Wide-L	208[2] 347[2]	WBA Wall bracket[4]
			R55 Type 5 Short[5]	240[2] 480[2]	WBACC Wall bracket with surface conduit box
			AFR Automotive Front Row		AASP Adjustable tilt arm square pole mounting[4]
			AFRBWD Automotive Front Row Right Mounted		AARP Adjustable tilt arm round pole mounting[4]
			AFRLTD Automotive Front Row Left Mounted		AAWB Adjustable tilt arm wall mount bracket[4]
					AAWSC Adjustable tilt arm wall bracket, short (surface conduit box)[4]

Options

Shipped Installed
HS Factory-installed shield[1]
PE Photocontrol, locking type[2]
PER Photocontrol receptacle (receptacle, adjustable)[2,3,4]
PER7 Seven-pin receptacle (only receptacle, no photocell)[2,3,4]
LCCH4 Conduit entry 3/4" NPT (QTY 3)
SF Single fuse (120, 277, 347)[5]
DF Double fuse (208, 240, 480)[5]
SPD20KV 20kV surge pack (10kV standard)
FAO Field adjustable output[6,7]
DMG 0-10V dimming wires extended out fixture housing for exterior control (not to be used with photocell)[7]

Shipped Installed
*Standalone and Networked Sensors/Controls (factory default settings, see table page 9)
NLTAIR2 nLight Air v2 generation[8,9,10]
PIR9HN Bluetooth, 9' mounted occupancy sensor (Requires nLight Air v2)[8,9,10,11]
DLL Ambient sensor for nLight Air[8]

*Note: PIR9HN with nLight Air can be used as a standalone or networked solution. Sensor coverage pattern is affected when luminaire is tilted.

Shipped Separately (requires some field assembly)
BZL Lumecta power drive[12]
EGFV External glare field cover (180° mast arm light, aluminum)[13]
BS Base spacer[14]

Finish
DDBXD Dark Bronze
DBLXD Black
DNAXD Natural Aluminum
DWHXD White
DDBTXD Textured Dark Bronze
DBLBXD Textured Black
DNATXD Textured Natural Aluminum
DWHGXD Textured White

LITHONIA LIGHTING
COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) •
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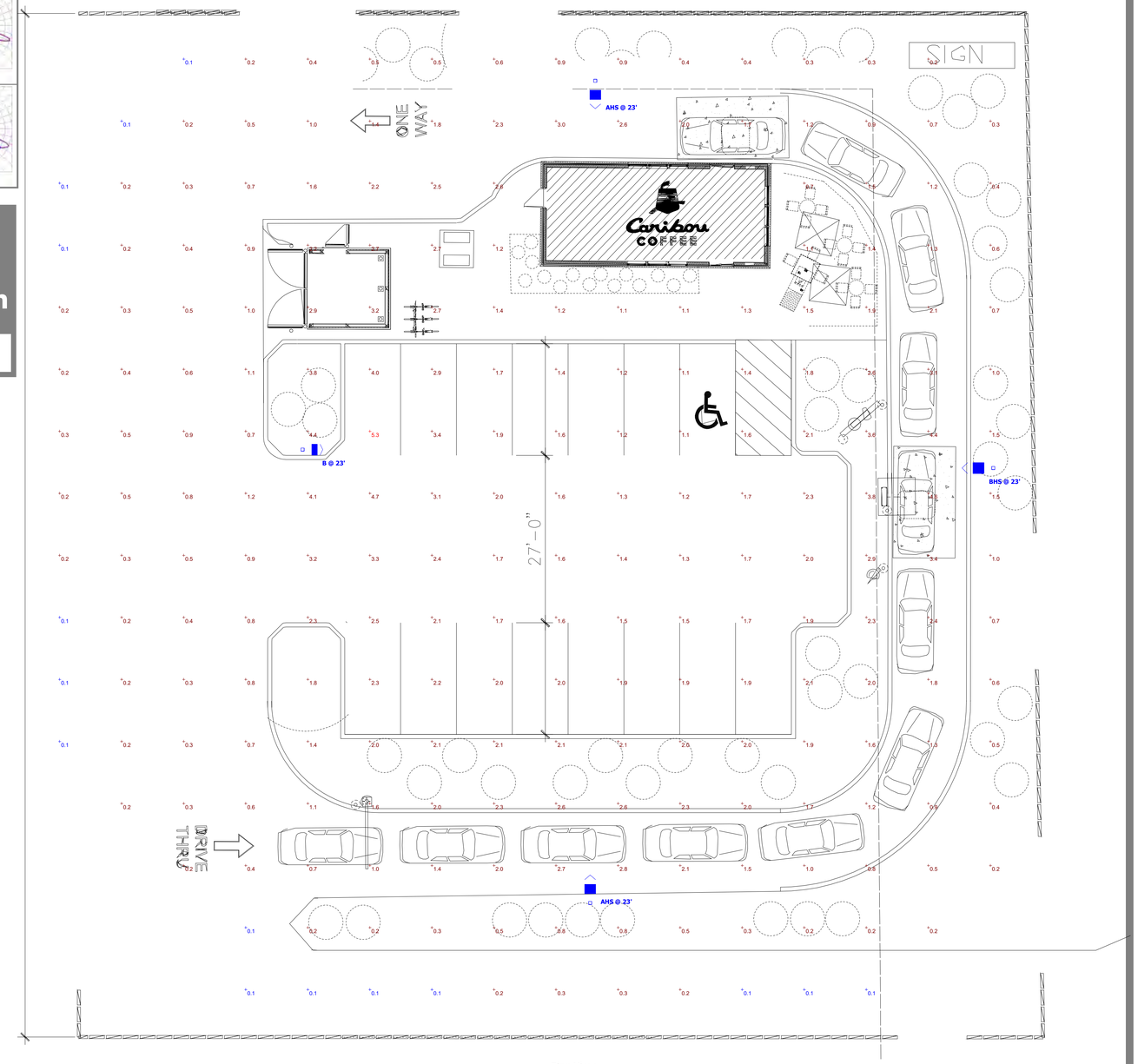
Lithonia RSX1 Area, LED
Rev. 05/04/21
Page 1 of 9



Plan View
Scale - 1" = 10ft

Note
1. Graybar Electric does not assume responsibility for the interpretation of this calculation, or State and City codes.
2. Calculation Points are taken A.F.G.
3. Fixtures are mounted on a pole witha 3'-0" base.

Caribou
Wisconsin Rapids, WI

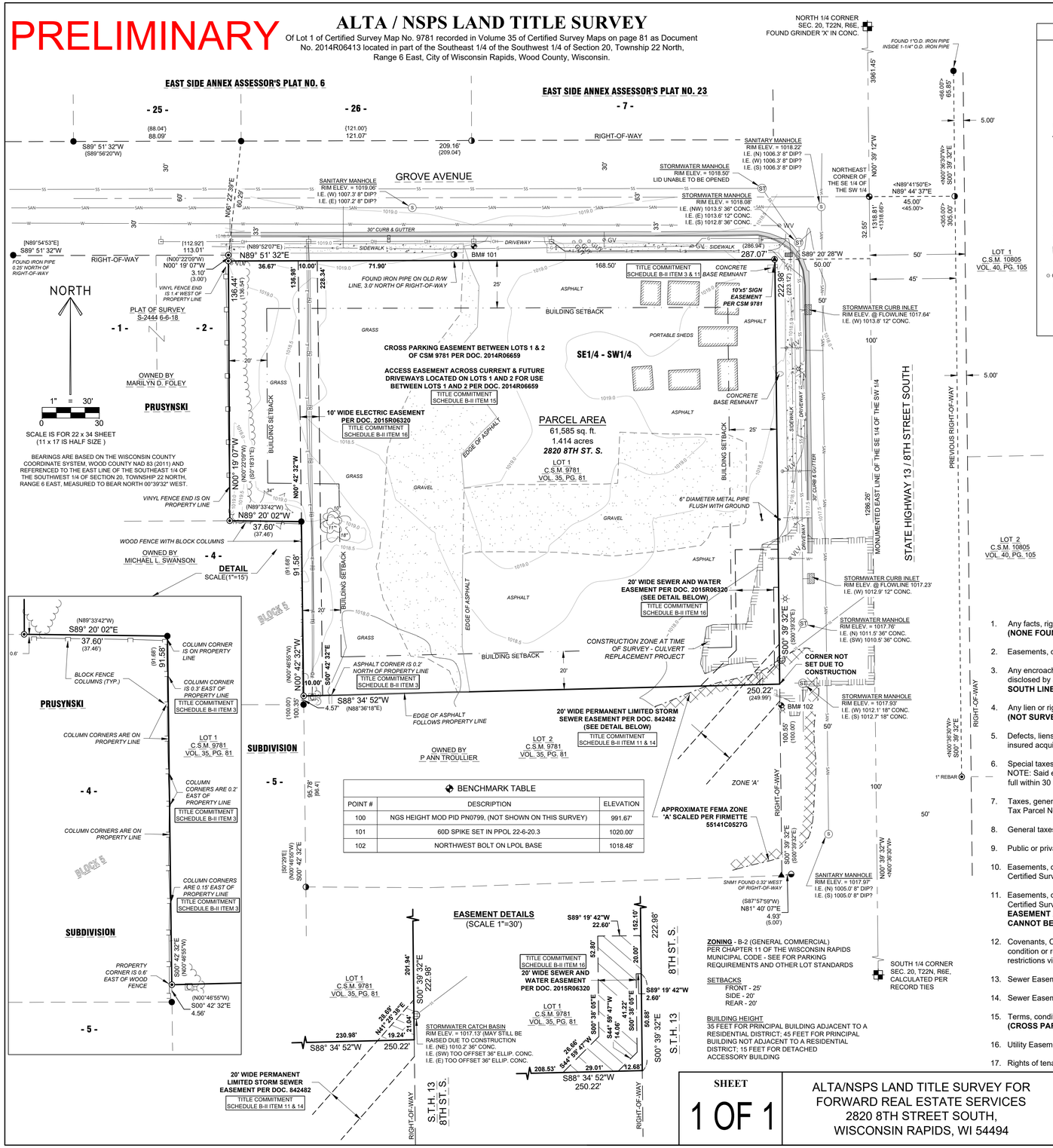
Designer
MG
Date
08/31/2021
Scale
As Shown
Drawing No.

Summary

PRELIMINARY

ALTA / NSPS LAND TITLE SURVEY

Of Lot 1 of Certified Survey Map No. 9781 recorded in Volume 35 of Certified Survey Maps on page 81 as Document No. 2014R06413 located in part of the Southeast 1/4 of the Southwest 1/4 of Section 20, Township 22 North, Range 6 East, City of Wisconsin Rapids, Wood County, Wisconsin.



BENCHMARK TABLE		
POINT #	DESCRIPTION	ELEVATION
100	NGS HEIGHT MOD PID PN0799, (NOT SHOWN ON THIS SURVEY)	991.67'
101	60D SPIKE SET IN PPOL 22-6-20.3	1020.00'
102	NORTHWEST BOLT ON LPOL BASE	1018.48'

ZONING - B-2 (GENERAL COMMERCIAL) PER CHAPTER 11 OF THE WISCONSIN RAPIDS MUNICIPAL CODE - SEE FOR PARKING REQUIREMENTS AND OTHER LOT STANDARDS

SETBACKS
FRONT - 25'
SIDE - 20'
REAR - 20'

BUILDING HEIGHT
35 FEET FOR PRINCIPAL BUILDING ADJACENT TO A RESIDENTIAL DISTRICT; 45 FEET FOR PRINCIPAL BUILDING NOT ADJACENT TO A RESIDENTIAL DISTRICT; 15 FEET FOR DETACHED ACCESSORY BUILDING

LEGEND

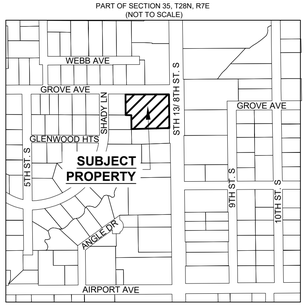
- FOUND RAILROAD SPIKE
- FOUND SNM1 MONUMENT
- FOUND 3/4" REBAR (UNLESS NOTED OTHERWISE)
- FOUND 1" O.D. IRON PIPE
- FOUND 1-1/4" O.D. IRON PIPE
- FOUND 2" O.D. IRON PIPE
- FOUND WOOD COUNTY BRASS CAP MONUMENT
- ( ) - RECORDED BEARING/LENGTH PER CSM 9781
- < > - RECORDED BEARING/LENGTH PER CSM 10805
- [ ] - RECORDED BEARING/LENGTH PER PLAT OF SURVEY, S-2444, DATED 6-6-18
- { } - RECORDED BEARING/LENGTH PER EAST SIDE ANNEX ASSESSOR'S PLAT NO. 6
- | | - RECORDED BEARING/LENGTH PER PRUSYNSKI SUBDIVISION
- BENCHMARK (SEE BENCHMARK TABLE)
- SANITARY MANHOLE
- STORM WATER MANHOLE
- STORM WATER INLET
- STORM WATER CURB INLET
- UTILITY POLE
- GUY WIRE
- COMMUNICATIONS VAULT
- COMMUNICATIONS PEDESTAL
- SIGN
- LIGHT POLE
- MAILBOX
- GV - GAS VALVE
- WV - WATER VALVE
- VLV - WATER SHUT OFF INSIDE VALVE COVER
- DECIDUOUS TREE WITH DIAMETER
- CONIFEROUS TREE WITH DIAMETER
- 1018.5 - CONTOUR 0.5' INTERVAL
- 1020 - CONTOUR 2' INTERVAL
- VINYL FENCE
- E - UNDERGROUND ELECTRIC
- T - UNDERGROUND TELEPHONE
- FO - UNDERGROUND FIBER OPTIC
- G - UNDERGROUND GAS LINE
- OH - OVERHEAD UTILITIES
- W - UNDERGROUND WATER
- SS - STORM SEWER
- SAN - SANITARY SEWER
- TREE LINE
- CONCRETE
- GRAVEL
- FEMA FLOOD ZONE 'A'

GENERAL NOTES:

1.) THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON AVAILABLE DOCUMENTATION AND MARKS PLACED ON THE GROUND BY OTHERS, THESE LOCATIONS MAY OR MAY NOT REFLECT THE ACTUAL LOCATIONS OF SAID UTILITIES. DIGGERS HOTLINE SHOULD BE NOTIFIED BEFORE ANY SUBSURFACE WORK IS CONDUCTED.
2.) ELEVATIONS ARE BASED ON NAVD 88 (2012) AND REFERENCED TO NGS BENCHMARK PN0799, A STAINLESS STEEL ROD HOUSED IN A NGS LOGO CAP, LOCATED AT THE SOUTHEAST QUADRANT OF THE STH 13/STH 73 INTERSECTION. ELEVATION 991.67'. SEE BENCHMARK TABLE.
3.) THE FIELD WORK WAS COMPLETED ON AUGUST 20TH, 2021.
4.) AT THE TIME OF THE SURVEY, THERE WAS AN ONGOING CULVERT REPLACEMENT PROJECT (SEE HIGHLIGHTED AREA ON MAP)
5.) THIS ALTA/NSPS LAND TITLE SURVEY IS BASED ON TITLE COMMMITMENT NO. NCS-1079346-MPLS, DATED JULY 27, 2021 ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY. THE PROPERTY DESCRIBED HEREON MATCHES THE DESCRIPTION IN THE TITLE COMMITMENT
6.) THE SUBJECT PROPERTY LIES PRIMARILY WITHIN FLOOD ZONE "X", A SMALL PORTION LOCATED IN THE SOUTHEAST CORNER OF THE PROPERTY LIES WITHIN FLOOD ZONE 'A' AS IDENTIFIED ON FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR WOOD COUNTY, WISCONSIN AND INCORPORATED AREAS. MAP NUMBER 55141C0527G, EFFECTIVE DATE FEBRUARY 17, 2010. THERE ARE NO PRESENT BODIES OF WATER ON OR ADJACENT TO THE SURVEYED PROPERTY.
7.) NO WETLANDS EXIST ON THE SUBJECT PROPERTY PER THE ONLINE WISCONSIN DNR WETLAND INVENTORY MAPPING AT HTTP://DNR.WI.GOV/TOPIC/WETLANDS/MAPPING.HTML. A WETLAND DELINEATION WAS NOT PERFORMED ON THE SUBJECT PROPERTY.

VICINITY MAP

PART OF SECTION 35, T28N, R7E
(NOT TO SCALE)



SURVEYOR'S CERTIFICATION

To: Forward Real Estate Services LLC, its successors and or assigns, First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6a, 11b, 13, 14, 16, 17, 18 and 19 of Table A thereof. The field work was completed on August 20th, 2021.

Dated this 8th day of September, 2021

Riverside Land Surveying, LLC
Nathan J. Wincentsen
WI P.L.S. S-2539

LEGAL DESCRIPTION per Schedule A, Commitment No. NCS-1079346-MPLS Dated JULY 27, 2021

LOT 1 OF CERTIFIED SURVEY MAP NO. 9781, RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR WOOD COUNTY, WISCONSIN ON AUGUST 20, 2014, IN VOLUME 35 OF CERTIFIED SURVEY MAPS, PAGE 81, AS DOCUMENT NO. 2014R06413, BEING PART OF LOT 2 AND ALL OF LOT 3, BLOCK 5, PRUSYNSKI SUBDIVISION, LOTS 1 & 2 OF EAST SIDE ANNEX ASSESSOR'S PLAT NO. 21, AND ALL OF LOT 1 OF WOOD COUNTY CERTIFIED SURVEY MAP NO. 5697, LOCATED IN THE SE1/4-SW1/4, OF SECTION 20, TOWNSHIP 22 NORTH, RANGE 6 EAST, CITY OF WISCONSIN RAPIDS, WOOD COUNTY, WISCONSIN.

FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NUMBER: NCS-1079346-MPLS, DATED JULY 27, 2021
SCHEDULE B - PART II
EXCEPTIONS

1. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or by making inquiry of persons in possession of the Land. **(NONE FOUND)**
2. Easements, claims of easements or encumbrances that are not shown by the Public Records. **(NONE FOUND)**
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title including discrepancies, conflict in boundary lines, shortages in area, or any other facts that would be disclosed by an accurate and complete land survey of the Land, and that are not shown in the Public Records. **(WOOD FENCE/BLOCK COLUMNS ALONG WEST LINE, ASPHALT CORNER ALONG SOUTH LINE, CONCRETE BASE REMNANT IN NORTHEAST CORNER)**
4. Any lien or right to a lien for services, labor, material or equipment, unless such lien is shown by the Public Records at Date of Policy and not otherwise excepted from coverage herein. **(NOT SURVEY RELATED)**
5. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the Public Records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment. **(NOT SURVEY RELATED)**
6. Special taxes, assessments or charges, if any.
   NOTE: Said exception will be removed only if the Company receives written evidence from the municipality that there are no special assessments against the land, or that all such items have been paid in full within 30 days of closing. **(NOT SURVEY RELATED)**
7. Taxes, general and special for the year 2021, not now due and payable.
   Tax Parcel No. 3412972 **(NOT SURVEY RELATED)**
8. General taxes for the year 2020 in the amount of $9,306.88 are paid in full. **(NOT SURVEY RELATED)**
9. Public or private rights in such portion of the subject premises as may be presently used, laid out or dedicated in any manner whatsoever, for street, highway, and or alley purposes. **(NONE FOUND)**
10. Easements, dedications, reservations, provisions, relinquishments, recitals, certificates, and any other matters as provided for or delineated on Certified Survey Map No. 5697 as recorded in Volume 19 of Certified Survey Maps on Page 297, as Document No. 775158 referenced in the legal description contained herein. Reference is hereby made to said plat for particulars. **(NONE SHOWN)**
11. Easements, dedications, reservations, provisions, relinquishments, recitals, certificates, and any other matters as provided for or delineated on Certified Survey Map No. 9781 as recorded in Volume 35 of Certified Survey Maps on Page 81, as Document No. 2014R06413 referenced in the legal description contained herein. Reference is hereby made to said plat for particulars. **(SEE 20' SEWER EASEMENT AS SHOWN. EAST 5' AND NORTH 3' OF CSM 9781 DEDICATED TO CITY FOR RIGHT-OF-WAY, ACTUAL LOCATION OF 10'x5' SIGN EASEMENT AS SHOWN ON CSM 9781 CANNOT BE PLOTTED)**
12. Covenants, Conditions and Restrictions as set forth in Warranty Deed recorded in January 4, 1977 in Volume 467 on Page 298, as Document No. 558315 of Official Records, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c). **(NO LONGER AFFECTS PARCEL)**
13. Sewer Easement to City of Wisconsin Rapids, dated March 10, 1999, recorded/filed March 12, 1999 in Volume 925 of Records, Page 667, as Document No. 842488. **(DOES NOT AFFECT PARCEL)**
14. Sewer Easement to City of Wisconsin Rapids, dated March 11, 1999, recorded/filed March 12, 1999 in Volume 925 of Records, Page 664, as Document No. 842482. **(AS SHOWN)**
15. Terms, conditions, restrictions and provisions relating to the use and maintenance of the Easement Agreement recorded on August 27, 2014, as Document No. 2014R06659. **(CROSS PARKING AND ACCESS EASEMENT ACROSS ENTIRE PARCEL)**
16. Utility Easement to P. Ann Troullier, dated July 17, 2015, recorded/filed July 23, 2015, as Document No. 2015R06320. **(AS SHOWN)**
17. Rights of tenants in possession under unrecorded leases. **(NOT SURVEY RELATED)**

SHEET	ALTA/NSPS LAND TITLE SURVEY FOR FORWARD REAL ESTATE SERVICES 2820 8TH STREET SOUTH, WISCONSIN RAPIDS, WI 54494	REVISIONS:	RIVERSIDE LAND SURVEYING LLC	PROJECT No.
1 OF 1		SURVEYED BY: SMH DRAWN BY: SMH CHECKED BY: NJW APPROVED BY: DATE: AUGUST 20, 2021	5310 WILLOW STREET, WESTON, WI 54476 PH 715-241-7500 - FAX 715-355-6894 email - mail@riversidelandsurveying.com	3623

Administrative Staff Report

Wisconsin Rapids 3810 8th St S WI, LLC
Site Plan Review
3810 8th Street South
September 7, 2021

WISCONSIN RAPIDS
Department of Community Development

Applicant(s):

- Wisconsin Rapids 3810 8th St S WI, LLC

Staff:

- Kyle Kearns

Parcel Number(s):

- 3413805

Lot Information:

- Effective Frontage: 109 feet
- Effective Depth: 206 feet
- Square Footage: 22,615
- Acreage: 0.52 Acres

Zone(s):

- "B-2" General Commercial District

Council District:

- District 7

Master Plan:

- Commercial

Current Use:

- Restaurant

Applicable Regulations:

- Chapter 11 - Zoning

Request

PLAN-21-0813; Wisconsin Rapids 3810 8th St S WI, LLC – request for a site plan review to make site improvements, including to the parking lot, for a restaurant at 3810 8th Street South (Parcel ID 3413805)

Attachment(s)

1. Application
2. Site Plan

Findings of Fact

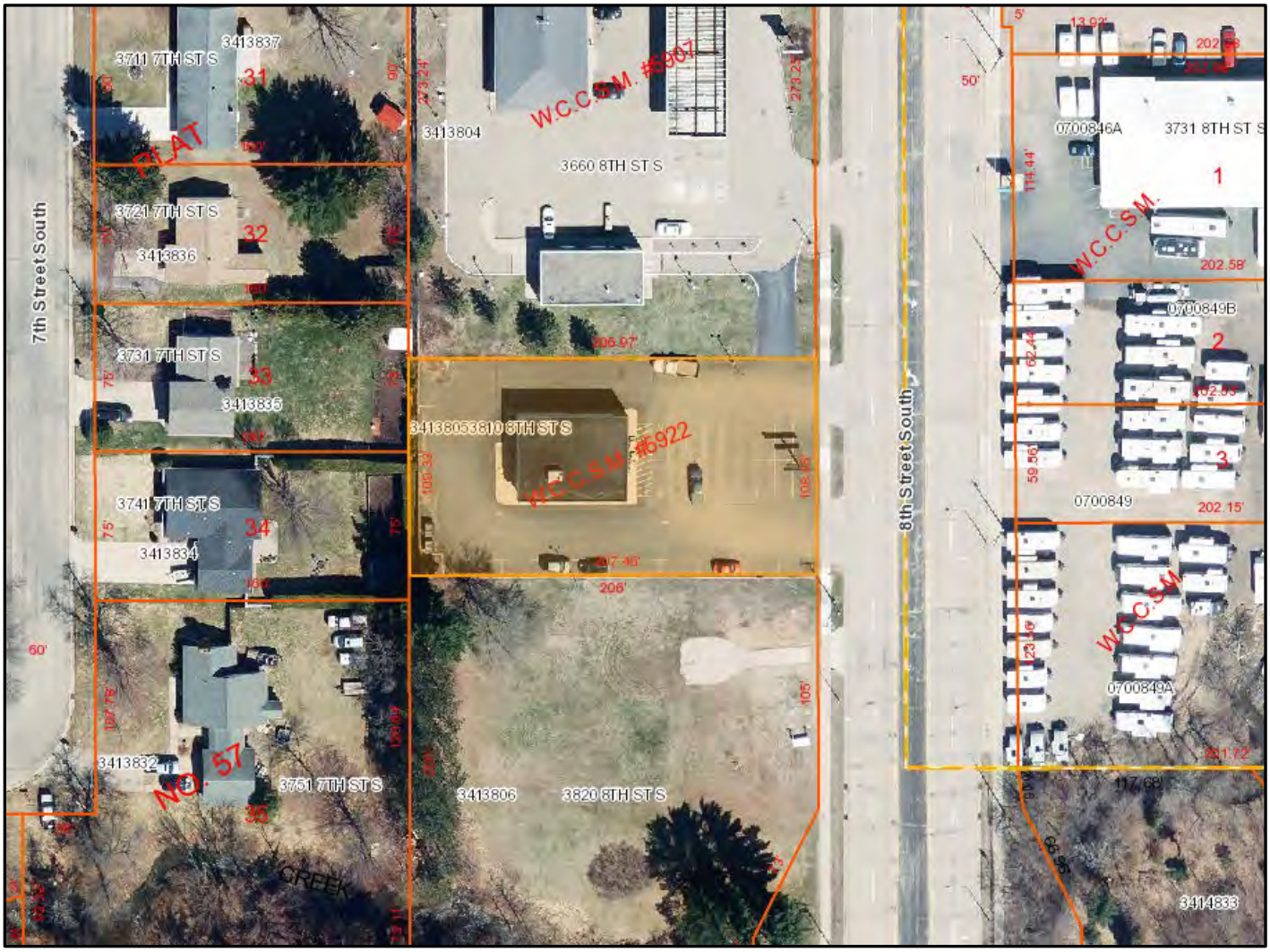
1. The request is to make site improvements to the parking, drive-through and landscaping.
2. The property is zoned "B-2" General Commercial District.
3. A restaurant is a permitted use in the B-2 District
4. Any significant changes to the site require site plan review by Plan Commission.
5. A building plan – architectural review (AR), plan of operation (PO), site plan (SP), and zoning permit (ZP) are required.

Staff Recommendation

Approve the request from the applicant for a site plan review to make site improvements, including to the parking lot, for a restaurant at 3810 8th Street South (Parcel ID 3413805), subject to the following condition(s):

a) A maximum of 50% of the onsite parking shall be permitted to exist within the front of the building.
b) The applicant shall submit an updated site plan for review and approval by the Community Development Department.
c) Light from the business shall not exceed 0.2 foot-candles at a neighboring commercial property line and 0.1 foot-candles at the neighboring residential property line.
d) Applicable permits through the City shall be obtained.
e) Community development staff shall have the authority to approve minor modifications to the plans.

Vicinity Map



Background

The applicant operates a Subway restaurant on the property and is request significant changes to the drive-through and onsite parking, including the landscaped area, shown on the attached site plan. While a restaurant use is permitted in the B-2 Commercial District, site plan review shall occur for major improvements to the site. Below are the applicable standards of review.

Standards of Review

1) **Use**

   Analysis: A restaurant type use is permitted in the B-2 District. The use exists on the property and no major changes are proposed to the exterior of the building.

   Findings: Note that a building plan – architectural review (AR), plan of operation (PO), site plan review (SP), and zoning permit (ZP) are required.

2) **Dimensional Standards**

Analysis: The B-2 district requires 10,000 square feet, and the lot is 22,615 square feet. The building footprint is not proposed to be expanded. The building coverage ratio is 8.9% meeting the 60% (max.) requirement and proposed impervious surface is approximately 78% meets the 80% (max.) requirement. Currently, nearly the entire site is impervious surface.

Findings: The impervious surface ratio on the property currently is nonconforming, however, with the proposed landscaped area dividing the drive-through and parking, the ratio should be reduced to meet the requirement within the B-2 district.

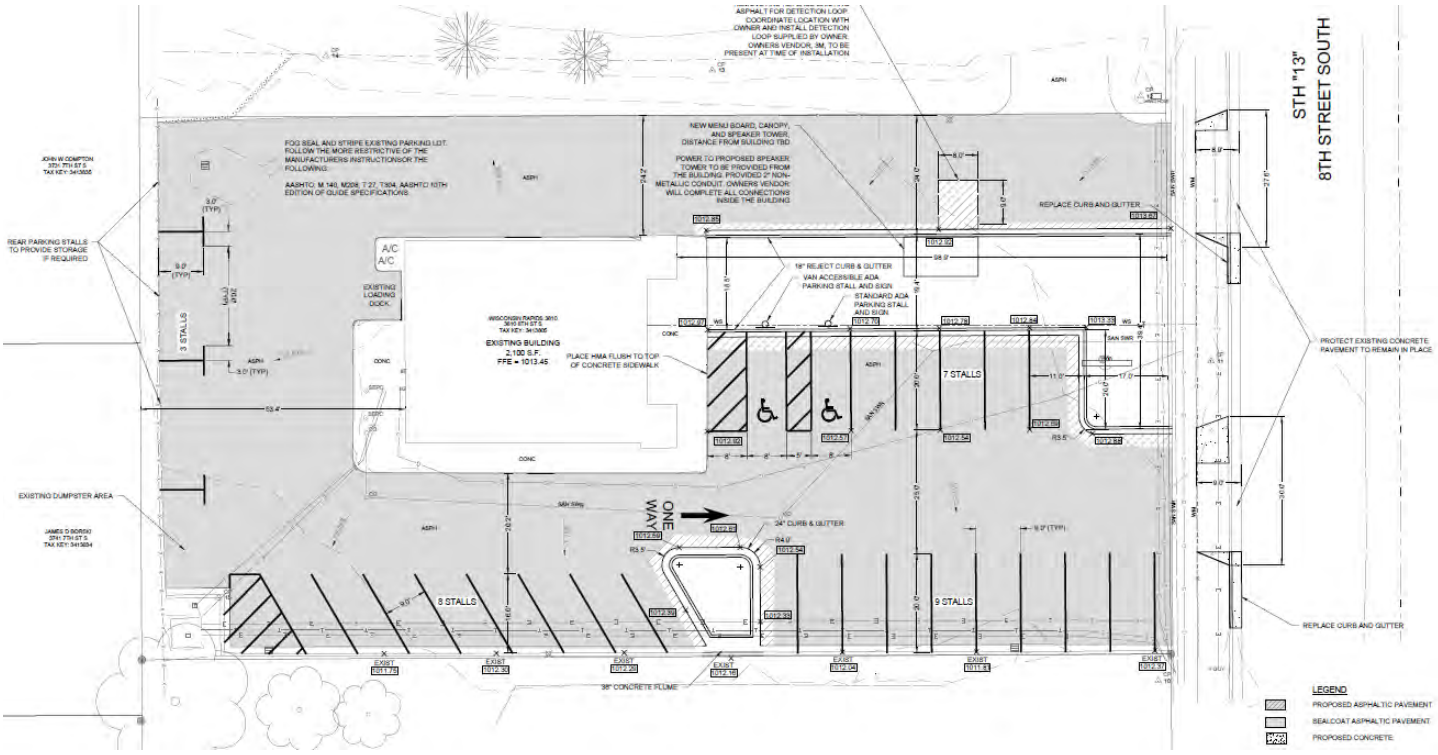
3) Ingress/Egress

Analysis: The existing driveways on 8th Street South will remain, however, the northern driveway will become and entrance only, into the drive-through. Exiting the property will occur via the southern driveway.

Findings: Driveway standards are met, as the proposed improvements will aid in improving the safety of access to and from the site.

4) Parking

Analysis: The use requires 1 parking space for 3 patron sears or 1 space for each 300 square feet of gross floor area devoted to patron service, whichever is greater; plus 1 for each employee on the largest work shift. Based on the business operations, 10 spaces would be required, and a total of 27 stalls are proposed onsite, which include two handicap stalls.



A total of 11 stalls are proposed on the side or a rear of the building, with 16 proposed in the front of the building. The Plan Commission can approve up to 50% of the stalls located within the front of the building.

Findings: The development meets the parking requirements with 27 proposed stalls; however, 16 are found within the front of the building, which exceeds the 50% maximum requirement. Additionally, when more than

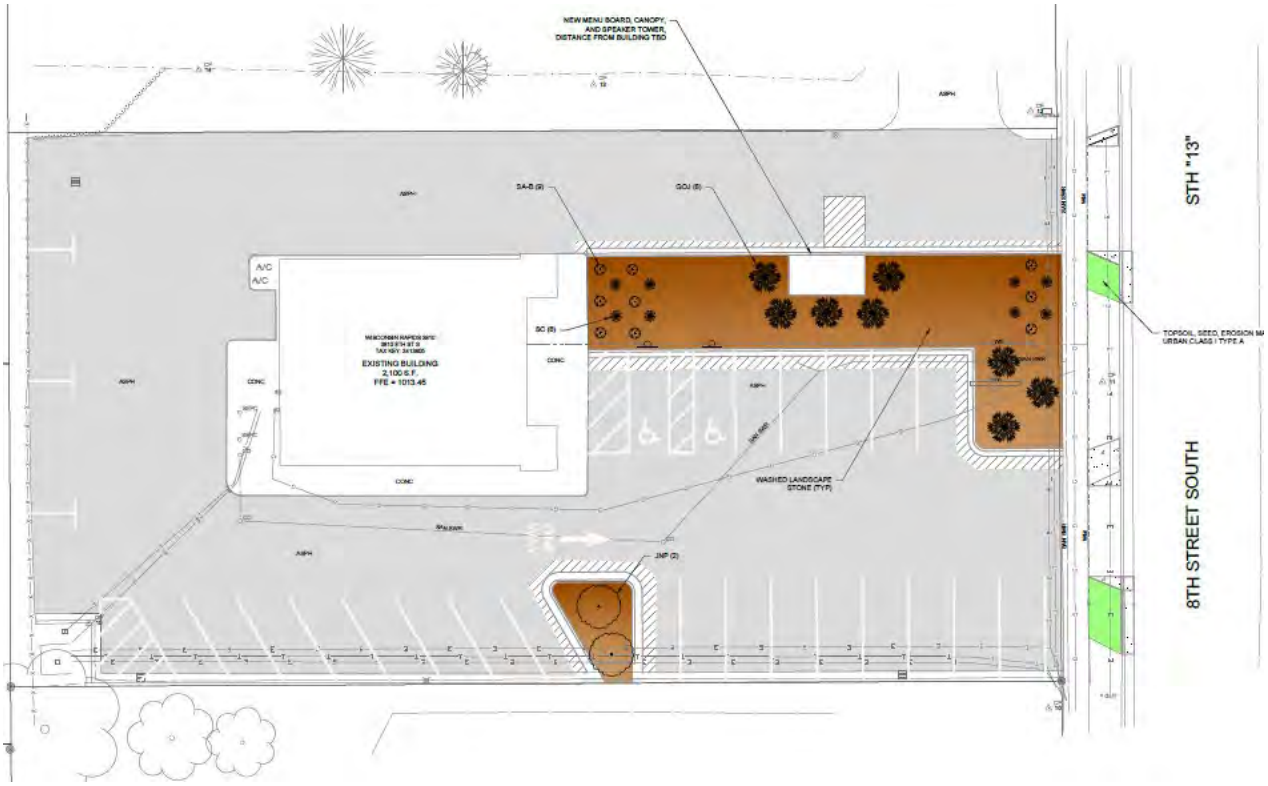
10 percent of an existing off-street parking area is repaved or reconstructed only the following sections shall apply:

- 11.17.03(h) Surfacing
- 11.1703(i) Marking of parking spaces
- 11.17.03(j) Drainage
- 11.17.03(l) Landscaping; specifically, 25 percent of the total Parking lot landscape requirements shall be met
- 11.17.03(q) Dimensional Standards
- 11.17.03(w) Stormwater Management
- 11.17.04 Accessible parking and passenger loading

The above applicable standards are met on the proposed plan, but more than 50% of the parking exists within the front of the building. Staff would recommend approving a maximum of 50% of parking within the front of the building to be shown on an updated site plan to be reviewed and approved by the department.

5) Landscaping

Analysis: The reconstruction in the parking area is primarily to remove parking and replace with asphalt. As indicated above, 25% of the total parking lot landscape requirements shall be met. The parking area is approximately 15,632 square feet, which requires (15,632/10,000)*100=157 landscaping points. When factoring in the reconstruction deduction of 25%, a total 40 points are required.



Findings: A total of 105 points are proposed, meeting the landscaping requirement.

6) Architectural Review

Not Applicable – No improvement are proposed to the building.

7) Lighting & Photometric Plan

Analysis: Regulations for onsite lighting are related to light trespass (foot-candles) beyond the property line and total lighting levels (lumens). Lighting from the business use should not exceed 0.2 foot-candles at a neighboring commercial property line. The applicant did not submit a lighting plan for the site improvements; however, no changes have been proposed to the lighting onsite.

Findings: The proposed menu boards and canopy may add some ambient lighting. Therefore, staff would recommend that any lighting from the business not exceed 0.2 foot-candles at a neighboring commercial property line and 0.1 footcandles at the neighboring residential property.

In summary, the proposed site improvements are permitted and for the most part meeting applicable code requirements. Therefore, staff would recommend approval of the site plan, subject to the conditions mentioned above and summarized on page one of the staff report.

Photos

Site Plan & Plan of Operation Application
City of Wisconsin Rapids, Wisconsin
Version: January 3, 2019

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The Planning Commission reviews site plans and plans of operation for those land uses specifically requiring such review as listed in the land-use matrix (Appendix A of the zoning code).

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at https://wisconsinrapids.zoninghub.com/

Application fee: $175.00 for new; $125.00 for amendment of prior approval

Note: Site plan/plan of operation review and architectural review can be combined into one application fee.

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Office Use Only

Date Received _____

Received By _____

Fee _____

Case # _____

Aldermanic District _____

Plan Commission Date _____

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

1. **Applicant information**

Applicant name	Wisconsin Rapids 3810 8th St S WI LLC
Street address	2201 Madison St
City, state, zip code	Stevens Point, WI 54481
Daytime telephone number	715-345-5060x304
Email	fritzs@teamschierl.com

2. **Agent contact information** Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Agent 1	Agent 2
Name	Colin Meisel	Jesse Hall
Company	Ruekert & Mielke, Inc.	Keller, Inc.
Street address	1400 Lombardi Ave, Ste 101S	N216 WI-55
City, state, zip code	Green Bay, WI 54304	Kaukauna, WI 54130
Daytime telephone number	920-393-6551	920-766-5795
Email	cmeisel@ruekert-mielke.com	jhall@kellerbuilds.com

3. **Type of application (check all that apply)**

- ☒ Site plan — Complete Part A, B and D
- ☐ Plan of operation — Complete Part A, C and D

- ☒ New project
- ☐ Amendment of prior approval (if any)

If an amendment, the date of last approval (if any): Revision of existing building and parking lot.

Part A. About the Property

4. Subject property information

Physical address 3810 8th St S

Parcel number(s) 3413805

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

- [x] No
- [ ] Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

- [x] No
- [ ] Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to https://wisconsinrapids.zoninghub.com/zoningmap.aspx)

The subject property is located in the following base zoning district(s). (check all that apply)

- [ ] RR Rural Residential
- [ ] R-1 Single-family Residential
- [ ] R-2 Mixed Residential
- [ ] R-3 Multi-family Medium Density Residential
- [ ] R-4 Multi-family High Density Residential
- [ ] R-8 Manufactured Home Park
- [ ] B-1 Downtown Commercial
- [x] B-2 General Commercial
- [ ] B-3 Neighborhood Commercial
- [ ] B-5 Mixed Use Commercial
- [ ] M-1 General Industrial
- [ ] M-2 Heavy Industrial
- [ ] I-1 Institutional
- [ ] P-1 Park and Recreation
- [ ] C-1 Conservancy

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- [ ] Planned Development (PDD)
- [ ] Downtown Design
- [ ] Shoreland
- [ ] Shoreland-Wetland
- [ ] Floodplain
- [ ] Wellhead Protection

Part B. Site Plan (See the standards and requirements in Division 6 of Article 6.)

6. Building type. Which of the following building types best describes the building?

- [ ] Townhouse
- [ ] Multi-family
- [ ] Institutional
- [x] Commercial
- [ ] Work/live
- [ ] Industrial
- [ ] Parking structure

Please refer to Appendix D for any design requirements that may apply.

7. Encroachments.

Aside from driveways connecting to the street, will any part of the proposed project encroach into a public right-of-way?

- [x] No
- [ ] Yes

If yes, please explain.

8. Site parameters (area in square feet or acres)

Subject property	22,614 sf	
Building coverage	2,016 sf	
Outdoor storage	0	
Stormwater facilities	0	
Impervious surfaces	17,648 sf	Impervious surfaces include buildings, parking areas and driveways, sidewalks, decks, patios, and other types of 'hard' surfaces.
Landscaping and other undeveloped areas	2,950 sf	
Wetlands	n/a	Attach appropriate documentation if there are any wetlands.
100-year floodplain	n/a	

9. Street access

Name	New Access	Change to Existing Access	No Change to Existing Access
North Entrance	☐	✔	☐
South Entrance	☐	✔	☐
	☐	☐	☐

10. Traffic generation

Will the proposed project create 500 trips per day or more?

- [x] No
- [ ] Yes Attach a traffic impact report to this application. See s. 11.06.151 of the zoning code for additional details.

Will the proposed project create 300 trips per day or more, but less than 500?

- [x] No
- [ ] Yes The city may require a traffic impact report as described in s. 11.06.151 of the zoning code. Please contact the Community Development Department for further guidance.

11. Parking (See the standards and requirements in Article 17 of the zoning code.)

Minimum number of required spaces	10	See Appendix B of the zoning code for parking requirements for the proposed land use(s).
Proposed number of spaces	27	If the number of proposed spaces exceeds what is required by more than 15 percent, the Planning Commission may grant a special exception to allow oversized parking areas. (See s. 11.17.03(r) of the zoning code.)
ADA van accessible spaces	2	

Other ADA accessible spaces	0	
Number of electric charging stations (if any)	0	Charging stations are not required, but are recommended.
Bicycle parking spaces	0	Bike parking is not required, but is recommended. (See s. 11.17.06 of the zoning code.)
Number of spaces in front of the building	16	The number of spaces in front of the building may be limited depending on the zoning district. (See Appendix C of the zoning code.)
Number of spaces on the side(s) of the building	8	
Number of spaces to the rear of the building	3	

12. Outdoor lighting (See the standards and requirements in Article 18 of the zoning code.)

	Number of Fixtures	Lumens
Building 1		
Building 2		
Building 3		
Parking lot 1		
Parking lot 2		
Parking lot 3		
Other		
Other		
Total		

EXISTING LIGHTING TO REMAIN

Maximum lighting levels at each property boundary line (in footcandles): _____

Height of parking lot lights above grade (if any): _____

Attach a photometric plan to this application along with manufacturer's cut sheets for the different kinds of light fixtures.

13. Fencing. Will the proposed project include fencing?

- [x] No
- [ ] Yes (See Article 15 of the zoning code for the standards and requirements that apply.)

If yes, please describe and/or attach a fencing plan.

14. Stormwater. Describe how stormwater generated on the site will be handled.

Existing site grading will be minimally affected so stormwater will continue to runoff to existing catchments. Reduction in impervious areas will decrease peak flows from the site.

15. Site plan. Attach a site plan drawn to scale with the following information to the extent it applies to the proposed project. The items with an asterisk are required. Check those elements that are included.

Background Project Information

- [x] Project name*
- [x] Applicant name*
- [x] Preparation date/revision*
- [x] Name of preparer*

Survey Information

- [x] North arrow and graphic scale*
- [x] Address of subject property or legal description*
- [x] Property boundaries *
- [x] Acreage of subject property*

Project Development Information

- [x] Land use summary table by density/intensity and acreage*
- [ ] Easements/rights-of-ways (location, width, purpose, ownership)
- [ ] Common areas/conservancy areas (location, purpose, ownership)
- [ ] Land to be dedicated to the public (boundaries, area, purpose)

Setting

- [x] Property boundaries within 50 feet of the subject property
- [ ] Land uses within 50 feet of the subject property
- [ ] Zoning district boundaries within 50 feet of the subject property
- [ ] Municipal boundaries within 50 feet of the subject property

Site Features (existing and proposed)

- [ ] Ground contours when slopes exceed 8 percent
- [ ] Wetlands
- [ ] Woodlands
- [ ] Wildlife habitat, including critical wildlife habitat
- [ ] Environmentally sensitive features
- [ ] Water resources (rivers, ponds, etc.) and ordinary high-water mark for navigable waters
- [ ] Floodplain boundaries and elevations of the same

Buildings and Outdoor Storage/Activity Areas

- [x] Existing and proposed
- [ ] Existing within 50 feet of subject property

Required Setbacks

- [x] Yard setbacks (front, side, rear and shore)
- [ ] On-site septic systems
- [ ] On-site wells and off-site wells within 10 feet of the perimeter of the subject property

Landscaping Features (existing and proposed)

- [x] Fences, buffers, and berms
- [x] Pervious and impervious surfaces by type
- [ ] Site amenities (benches, fountains, etc.)
- [x] Existing trees and other prominent vegetation
- [x] Trees / shrubs to be planted, including a plant list and specs.

Trees / shrubs to be retained

Outdoor Lighting (existing and proposed)

- [ ] Location
- [ ] Fixture specifications

Stormwater Facilities (existing and proposed)

- [ ] Location
- [ ] Specifications for each facility

Utilities (existing and proposed)

- [x] Location
- [x] Type (sewer, telephone, etc.) (buried or overhead, if applicable)
- [ ] Size/capacity, if applicable

Transportation Facilities (existing and proposed)

- [x] Streets
- [x] Driveways and road access onto public and private roads
- [x] Sidewalks and trails
- [ ] Fire lanes (i.e., fire apparatus access)
- [ ] Clear visibility triangles (location and dimensions)

On-Site Parking (existing and proposed)

- [x] Access aisles and parking spaces by size
- [x] Location of accessible parking spaces
- [x] Location and specifications/dimensions for accessibility ramps
- [x] Type and location of on-site parking signs and traffic control signs
- [x] Surface materials for parking lot (e.g., concrete, bituminous concrete, pavers)
- [x] Snow storage areas
- [x] Areas designated for queuing of vehicles for drive-through facilities (e.g., car washes, drive-up service windows, etc.
- [ ] Pedestrian walks between the parking lot and the building
- [ ] Designated areas of a parking area for pedestrian walks
- [x] Loading lanes and loading docks
- [x] Stormwater drainage
- [x] Distance between parking areas and adjoining properties if less than 20 feet
- [ ] Areas designated for bicycle parking

Signs (existing and proposed)

- [x] Location
- [ ] Specifications for each sign including type, height, dimensions, lighting, and other factors considered during the review process

Part C. Plan of Operation

16. Operating conditions

EXISTING OPERATIONS TO BE UNCHANGED

Hours of operation: _____

Estimated number of full-time employees _____

Estimated number of part-time employees _____

Maximum number of employees onsite at peak hours _____

Will the proposed business operation create any noise outside of the building? _____ Refer to s. 11.06.147 of the zoning code.

Will the proposed business operation create any emissions (e.g., fumes, smoke, steam, vapor, dust,) to the atmosphere? _____ Refer to s. 11.06.148 of the zoning code.

Will the proposed business operation create any vibrations outside of the building? _____ Refer to s. 11.06.149 of the zoning code.

Will the proposed business operation involve any explosives or other flammable materials? _____ Refer to s. 11.06.150 of the zoning code.

Will the proposed business operation involve any radioactive materials? _____

Will the proposed business operation create special needs for wastewater disposal? _____

Will the proposed business operation require unusually high levels of public water? _____

17. Licensing. What kind of federal, state, county or city licensees will be required to operate the proposed business?

Existing Licensing is in place.

Part D. Other

18. Attachments List any attachments included with your application.

Project plan set

19. Other information You may provide any other information you feel is relevant to the review of your application.

N/A

20. Mandatory meeting with staff

When did you meet with the Community Development Director? July 2021 Month/year

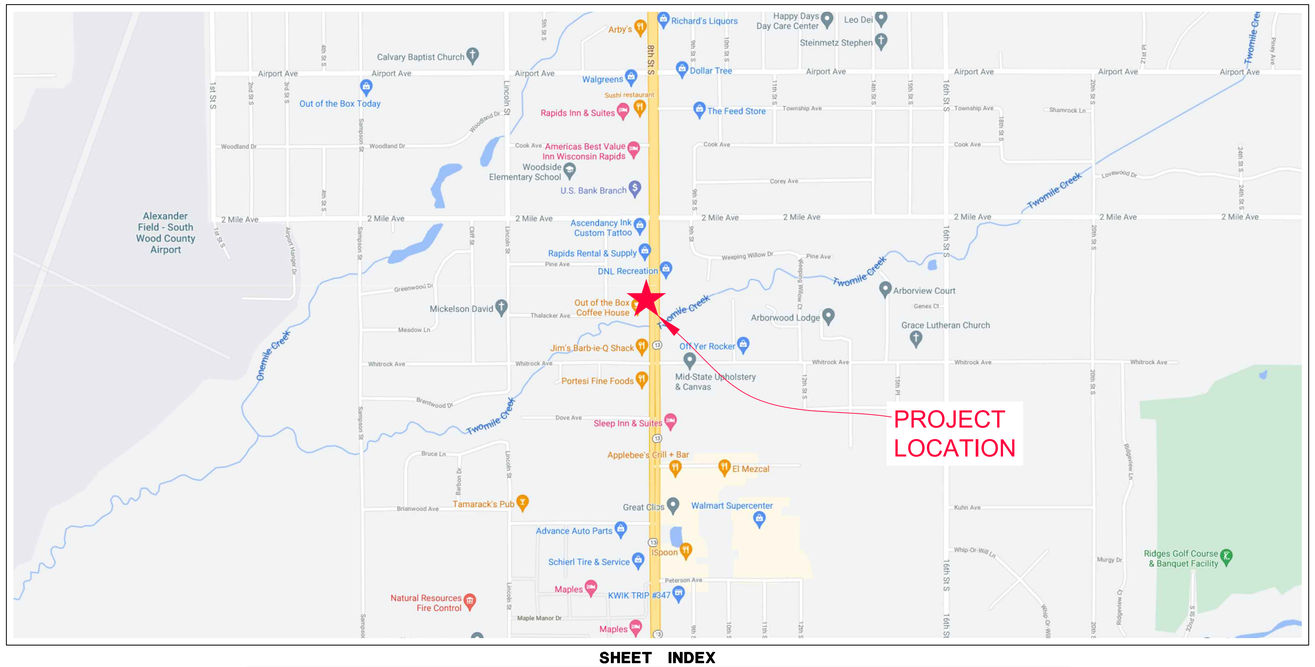
21. Applicant certification

- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Fritzs Schierl	Fritz Schierl	8-16-2021
Name – print	Name – Signature	Date
Colin Meisel		8-16-2021
Name – print	Name – Signature	Date

SITE CONSTRUCTION PLANS
FOR
TEAM SCHIERL 8TH STREET SUBWAY
CITY OF WISCONSIN RAPIDS
WOOD COUNTY
WISCONSIN



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LOCATION MAP IS NOT TO SCALE

SHEET INDEX

SHEET NO.	DESCRIPTION
C1.0	COVER SHEET
C2.0	GENERAL NOTES
C3.0	EXISTING CONDITIONS & REMOVAL PLAN
C4.0	PROPOSED SITE PLAN
C5.0 TO C5.1	CONSTRUCTION DETAILS
C6.0	LANDSCAPING PLAN

OWNER:
TEAM SCHIERL
WISCONSIN RAPIDS 3810
3810 8TH STREET S
WISCONSIN RAPIDS, WI 54494

ENGINEER:
RUEKERT-MIELKE INC.
1400 LOMBARDI AVE, GREEN BAY, WI

R & M PROJECT" #8341-10056.200
PROJECT MANAGER: COLIN MEISEL, PE
PHONE: (920) 876-6382

ORIGINAL PLAN SET
IS IN COLOR

Ruekert • Mielke
Waukesha • Kenosha • Madison
Global Water Center • Fox Valley
www.ruekertmielke.com

RUEKERT/MIELKE TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS, BUT NOT LIMITED TO, FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A REASONABLE INSPECTION.

PURSUANT TO WISCONSIN STATUTE 182.0175, AVAILABLE DATA ON UNDERGROUND STRUCTURES, CONDUIT AND PIPES HAS BEEN SHOWN ON THIS MAP. THE LOCATIONS SHOWN HAVE BEEN COMPILED FROM A COMBINATION OF EXISTING UTILITY MAPS AND MARKINGS PLACED IN THE FIELD FOR THE VARIOUS FACILITIES BY "DIGGERS HOTLINE" (TICKET NO. --) SHALL NOT BE TAKEN AS CONCLUSIVE. FIELD VERIFICATION SHALL BE REQUIRED BEFORE ANY EXCAVATION.

Keller
PLANNERS | ARCHITECTS | BUILDERS

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5605 Lilac Ave
Wausau, WI 54401
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www.kellerbuilds.com

PROPOSED FOR:
8TH STREET SUBWAY
WISCONSIN RAPIDS, WISCONSIN

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REVISIONS
1 .

PROJECT MANAGER:
DESIGNER: C. MEISEL
DRAWN BY: G. DEPREY
EXPEDITOR: ------
SUPERVISOR: ------
PRELIMINARY NO: -----
CONTRACT NO: -----
DATE: 8/16/2021
SHEET: C1.0

COVER SHEET

"ISSUED NOT FOR CONSTRUCTION"

GENERAL NOTES:

1. CONTRACTOR TO CONTACT DIGGERS HOTLINE FOR UTILITY LOCATES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY WITH UTILITY COMPANIES IF UTILITY COMPANY'S STAFF IS REQUIRED TO BE ON SITE WHEN CONSTRUCTION ACTIVITIES ARE NEAR UTILITY FACILITIES.
2. LOCATION OF ALL STRUCTURES, OBSTACLES, AND EXISTING FACILITIES SHOWN SHALL NOT BE TAKEN AS CONCLUSIVE. CONTRACTOR SHALL VERIFY LOCATIONS AS A CONDITION OF THEIR BID AND BE RESPONSIBLE FOR ALL DAMAGES RESULTING FROM THEIR ACTIVITIES.
3. CONTRACTOR SHALL TAKE CARE WHEN EXCAVATING AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVERAGE REQUIREMENTS WITH UTILITY COMPANIES.
4. EXISTING UTILITIES SHOWN ARE APPROXIMATE AND HAVE BEEN OBTAINED FROM AVAILABLE RESOURCES FOR FIELD LOCATES. THERE MAY BE ADDITIONAL UTILITIES NOT SHOWN. CONTRACTOR IS REQUIRED TO VERIFY LOCATION OF EXITING UTILITIES.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO CARRY OUT THEIR WORK, UNLESS OTHERWISE NOTED.
6. CONTRACTOR SHALL PROVIDE STAKING AS NECESSARY TO LAYOUT AND PROVIDE GRADES FOR ANY SECTION OF THE WORK.
7. A COMPETENT REPRESENTATIVE WHO HAS AUTHORITY TO ACT FOR THE CONTRACTOR MUST BE AT THE SITE AT ALL TIMES.
8. STAGING AND MATERIAL STORAGE AREAS SHALL BE COORDINATED WITH THE OWNER AND SHALL BE DONE IN A MANNER TO AVOID INTERFERENCE WITH THE OWNER'S ACTIVITIES.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING PROPERTY CORNERS AND SURVEY MONUMENTS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR BARRICADING AREAS OF CONSTRUCTION TO PROTECT AGAINST PERSONAL INJURY.
11. EXISTING FACILITIES TO REMAIN INCLUDING PAVEMENT, SIDEWALKS, BUILDINGS, LANDSCAPING AND TREES SHALL BE PROTECTED DURING CONSTRUCTION.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THEIR WORK FROM ALL DAMAGE INCLUDING THE PUBLIC, OTHER CONTRACTORS, AND THE ENVIRONMENT.
13. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED BY THE OWNER.

UTILITIES AND STORM SEWER:

1. ALL EXISTING SURFACE INFRASTRUCTURE INCLUDING HYDRANTS, VALVES, HANDHOLES, CASTINGS, IRRIGATION SYSTEMS, AND UTILITY PEDESTALS ARE REQUIRED TO BE ADJUSTED TO PROPOSED GRADE BY CONTRACTOR.
2. UTILITY MATERIALS AND INSTALLATION SHALL CONFORM TO LOCAL STANDARDS AND SPECIFICATIONS FOR UTILITY COMPANIES HAVING JURISDICTION.
3. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES AND CONDUITS TO AVOID CONFLICTS AND TO PROVIDE MINIMUM REQUIRED DEPTHS OF COVER. ADDITIONAL BENDS AND ASSOCIATED MATERIALS ARE TO BE INSTALLED AS REQUIRED FOR WATER MAINS AND LATERALS.
4. STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE STANDARDS OF THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES FOR PRIVATE STORM SEWER CURRENT EDITIONS INCLUDING ANY ADDENDUMS.
5. STORM SEWER STRUCTURES SHALL BE PRECAST CONCRETE AND THE SIZE AS NOTED ON THE PLANS.
6. TRENCHES SHALL BE BACKFILLED WITH CRUSHED STONE BEDDING WITHIN 1:1 OF PAVEMENT AREAS AND WITH SPOIL IN LANDSCAPING AREAS.
7. STORM SEWER 8-INCHES OR SMALLER CONNECTED TO THE STORM SEWER SHALL BE PLACED HORIZONTALLY AT THE SPRING LINE OF THE PIPE WITH A WATER TIGHT CONNECTION.
8. CONNECTIONS TO EXISTING MANHOLES SHALL BE CORED AND A WATER TIGHT SEAL PROVIDED.
9. TRACER WIRE OR OTHER MEANS OF LOCATING UNDERGROUND PIPES SHALL BE INSTALLED ON ALL PIPING.
10. ALL DIMENSIONS ARE TO THE CENTERLINE OF UTILITIES AND STRUCTURES.
11. ALL SANITARY, WATER, AND STORM SEWER UTILITY WORK PERFORMED IN THE RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF WISCONSIN RAPIDS STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 2021 EDITION.

EROSION CONTROL:

1. CONSTRUCTION ACTIVITIES SHALL NOT COMMENCE UNTIL EROSION CONTROL DEVICES HAVE BEEN INSTALLED.
2. EROSION CONTROL DEVICES SHALL BE INSTALLED ACCORDING TO WDNR BEST MANAGEMENT PRACTICES.
3. EXISTING LANDSCAPING AND TREES TO REMAIN SHALL BE PRUNED TO REMOVE LOW HANGING, BROKEN, AND UNDESIRABLE GROWTH TO ENSURE HEALTHY AND SYMMETRICAL NEW GROWTH.
4. ALL AREAS DISTURBED BY CONTRACTOR OPERATIONS SHALL BE PREPARED FOR GRASS SEED BY LOOSENING RUTS AND WORKING THE SOIL AREAS TO A MINIMUM OF 6-INCHES PRIOR TO THE FINE GRADING AND SEEDING. AREAS SHALL HAVE A MINIMUM OF 4-INCHES OF TOPSOIL PLACED, SEEDED, AND MULCHED UNLESS OTHERWISE INDICATED.
5. INSPECTION OF ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DONE BY CONTRACTOR ONCE PER WEEK AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 1/2-INCH OR GREATER.
6. CONTRACTOR SHALL REPAIR DEFICIENT EROSION AND SEDIMENT CONTROL MEASURES WITHIN 24-HOURS AFTER INSPECTION. ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES NOT SHOWN ON THIS PLAN MAY BE NECESSARY AS A RESULT OF CONSTRUCTION PRACTICES OR AS DIRECTED BY OWNER AND/OR ENGINEER.
7. CONTRACTOR SHALL NOTIFY AND OBTAIN WRITTEN ACCEPTANCE FROM ENGINEER OF PROPOSED CHANGES TO THE EROSION CONTROL PLAN AND/OR SEQUENCE PRIOR TO IMPLEMENTING THE CHANGE.
8. EXCESS MATERIAL THAT IS HAULED OFF SITE SHALL BE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR SHALL OBTAIN PROPER PERMIT APPROVALS FOR EACH FILL SITE. EROSION AND SEDIMENT CONTROL MEASURES, RESTORATION, AND STABILIZATION AT FILL SITE IS CONTRACTOR'S RESPONSIBILITY. CONTRACTOR TO NOTIFY OWNER OF ALL FILL AND BORROW SITES.
9. CONTRACTOR SHALL SWEEP STREETS ADJACENT TO PROJECT AS NEEDED.
10. ALL INSTALLATION, MAINTENANCE, AND REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE WDNR TECHNICAL STANDARDS.
11. IF DEWATERING IS NECESSARY, CONTRACTOR SHALL PROVIDE PROPER DEWATERING SEDIMENT CONTROL DEVICES. DISCHARGE OF SEDIMENT LADEN WATER TO THE STORM OR SURFACE WATER IS PROHIBITED.
12. STABILIZE NEWLY GRADED AREAS WITHIN 3 DAYS OF BEING INACTIVE.
13. REMOVE EROSION AND SEDIMENT CONTROL DEVICES AFTER 80% OF VEGETATION HAS BEEN ESTABLISHED IN RESTORED AREAS.

GRADING AND PAVING:

1. ALL SITE CONSTRUCTION INCLUDING GRADING, EXCAVATION, AND PAVEMENT CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LATEST ADDITION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION FOR HIGHWAY AND STRUCTURE CONSTRUCTION HEREIN REFERRED TO AS THE STANDARD SPECIFICATIONS EXCEPT AS MODIFIED. QUALITY CONTROL AND QUALITY ASSURANCE TESTING WILL NOT BE REQUIRED. TESTING WILL BE COMPLETED AT THE OWNER'S DIRECTION.
2. CONTRACTOR SHALL STRIP AND REMOVE TOPSOIL AND ORGANIC MATERIALS FOUND WITH THE SITE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. LANDSCAPING AREAS SHALL BE GRADED LOW TO ALLOW FOR TOPSOIL PLACEMENT.
3. MATERIAL TESTS CONDUCTED BY AN INDEPENDENT TESTING LAB MAY BE ORDERED AND PAID FOR BY THE OWNER. IF TESTING IS ORDERED, CONTRACTOR SHALL FURNISH SAMPLES FOR SAID TESTING. RETESTING AND CORRECTION OF FAILING MATERIAL SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE.
4. SUBGRADE SHALL BE COMPACTED PRIOR TO PLACEMENT OF BASE AGGREGATE AS REQUIRED IN THE STANDARD SPECIFICATIONS. SUBGRADE SHALL BE PROOF ROLLED PRIOR TO PLACEMENT OF BASECOURSE. AREAS IDENTIFIED AS SOFT AND YIELDING SHALL BE IDENTIFIED FOR REMOVAL PRIOR TO PLACEMENT OF BASE AGGREGATE.
5. BACKFILL AND FILL MATERIALS SHALL BE PLACED IN LAYERS NOT MORE THAN 8-INCHES LOOSE IF COMPACTED WITH HEAVY EQUIPMENT AND NOT MORE THAN 4-INCHES LOOSE IF COMPACTED BY HAND EQUIPMENT.
6. BASE COURSE SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR (AASHTO T-180).
7. ACCESSIBLE ROUTES AND HANDICAP PARKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA STANDARDS.
8. DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE SHALL CONFORM TO ACTI 330R-08.
9. ALL CONCRETE FLATWORK SHALL HAVE A LIGHT BROOMED FINISH.
10. EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH A CONTINUOUS 0.5-INCH FIBER EXPANSION JOINT.
11. ALL ASPHALT AND SURFACE COURSE SHALL BE DESIGNED TO 96.0% OF MAXIMUM SPECIFIC GRAVITY AT NDES AND DURING FIELD PRODUCTION PERCENT OF MAXIMUM SPECIFICATION GRAVITY WILL BE INCREASED TO 97.0% PER THE STANDARD SPECIFICATIONS.
12. TWO PAINT COATS SHALL BE APPLIED ON NEW PAVEMENT. THE FIRST COAT SHALL BE AFTER PAVING OPERATIONS HAVE BEEN COMPLETED. THE SECOND COAT SHALL BE APPLIED 30 CALENDAR DAYS AFTER PAVING HAS BEEN COMPLETED.
13. ELEVATIONS ARE TO FLANGE.

LEGEND - CIVIL ENGINEERING DRAWINGS

CONTROL
- BENCHMARK
- CHIS — CHISELED MARK
- CP — CONTROL POINT
- IP — IRON PIPE (GENERIC)
- IP — IRON PIPE (1" DIA)
- IP — IRON PIPE (2" DIA)
- IP SET — IRON PIPE SET
- IR — IRON ROD (GENERIC)
- IP — IRON ROD (3/4" DIA)
- IP — IRON ROD (1 1/4" DIA)
- MONUMENT
- NAIL — NAIL
- PM — PAINT MARK
- PK — PK NAIL
- RX — RAILROAD SPIKE
- RTIE — REFERENCE TIE
- SECTION CORNER
- SIXT — SECTION CORNER MONUMENT
- TCP — TEMPORARY CONTROL POINT
- USGS — USGS MONUMENT

GROUND
- WZ 000.00 — WATER ELEVATION
- WETLANDS (SURVEYED LOCATION)
- CROPFIELD
- DITCH
- GUARD RAIL
- TOE OF SLOPE
- TOP OF BANK
- WETLAND BOUNDARY

EROSION CONTROL
- PROPOSED DITCH CHECK
- PROPOSED EROSION LOGS/EROSION WADDLES
- A — PROPOSED INLET PROTECTION TYPE A
- B — PROPOSED INLET PROTECTION TYPE B
- C — PROPOSED INLET PROTECTION TYPE C
- D — PROPOSED INLET PROTECTION TYPE D
- PROPOSED BARRIER FENCE
- PROPOSED SILT FENCE
- PROPOSED EROSION MAT
- PROPOSED RIP RAP
- PROPOSED TRACKING PAD

SANITARY SEWER
- SANITARY MANHOLE
- SEPTIC — SEPTIC SYSTEM
- SEPC — SEPTIC TANK COVER
- SEPV — SEPTIC VENT
- ?" SAN SWR — SANITARY SEWER
- PROPOSED SANITARY MANHOLE
- PROPOSED SANITARY RISER
- PROPOSED SANITARY LATERAL
- PROPOSED SANITARY SEWER

STORM SEWER
- STORM CATCH BASIN
- STORM FIELD INLET
- STORM INLET
- STORM MANHOLE
- STORM YARD DRAIN
- ?" STO SWR — STORM SEWER
- CULVERT (SIZE & TYPE NOTED)
- PROPOSED STORM INL/CB
- PROPOSED STORM MANHOLE
- PROPOSED STORM LATERAL
- PROPOSED STORM SEWER

GENERAL
- A/C — AIR CONDITIONER
- CO — CLEAN OUT
- DP — DELINEATOR POST
- FP — FLAG POLE
- HAND HOLE — GENERIC HAND HOLE
- GENERIC MANHOLE
- GENERIC METER
- GENERIC PEDESTAL
- VLV — GENERIC VALVE
- VENT — GENERIC VENT
- GUY POLE — GUY POLE
- GUY — GUY WIRE
- LIGHT POLE
- MB — MAIL BOX
- MP — MARKER POST
- MWEL — MONITORING WELL
- PILE — PILING
- P — POST
- REVISION LABEL
- SOIL BORING
- UTILITY POLE
- YARD LIGHT

UTILITIES
- CB — CABLE BOX
- CABLE MANHOLE
- C — UNDERGROUND TV CABLE
- ELECTRIC BOX
- ELECTRIC MANHOLE
- ELECTRIC METER
- EP — ELECTRIC PAD
- ELECTRIC TRANFORMER
- POWER POLE
- E — UNDERGROUND ELECTRIC
- GAS CURB STOP
- GAS MANHOLE
- G — GAS METER
- GTST — GAS TEST STATION
- GAS VALVE
- GVT — GAS VALVE TEST
- GAS VENT — GAS VENT
- G — UNDERGROUND GAS MAIN
- T — TELEPHONE BOX
- TELEPHONE MANHOLE
- T — UNDERGROUND TELEPHONE
- FO — UNDERGROUND FIBER OPTIC

LANDSCAPE
- CONIFEROUS MULTIPLE TRUNK TREE
- CONIFEROUS TREE
- DECIDUOUS TREE
- DECIDUOUS MULTIPLE TRUNK TREE
- DECORATIVE ROCK
- STUMP
- EDGE OF PLANTER/LANDSCAPE BED
- EDGE OF TREES & BRUSH
- X — X — FENCE

RAILROAD
- RRSB — RAILROAD SIGNAL BOX
- RAILROAD SIGNAL FLASHER
- RX — RAILROAD SPIKE
- RAILROAD TRACKS

TRAFFIC SIGNAL
- CONTROL BOX/LIGHTING CABINET
- PULL BOX
- TRAFFIC SIGNAL
- LD — UNDERGROUND LOOP DETECTOR

WATER MAIN
- EXISTING HYDRANT
- EXISTING LOCATOR BOX
- EXISTING SPRINKLER HEAD
- EXISTING WATER CURB STOP
- EXISTING WATER MAIN BEND
- EXISTING WATER MAIN CROSS
- EXISTING WATER MAIN OFFSET
- EXISTING WATER MAIN PLUG
- EXISTING WATER MAIN PLUG W/ AIR RELEASE
- EXISTING WATER MAIN REDUCER
- EXISTING WATER VALVE
- EXISTING WATER VALVE MANHOLE
- WELL — EXISTING WELL
- EXISTING YARD HYDRANT
- ?" WM — EXISTING WATER MAIN
- EXISTING WATER SERVICE
- PROPOSED CURB STOP
- PROPOSED HYDRANT
- PROPOSED LOCATOR BOX
- PROPOSED WATER MAIN BEND (ANGLE NOTED)
- PROPOSED WATER MAIN CROSS
- PROPOSED WATER MAIN OFFSET
- PROPOSED WATER MAIN PLUG
- PROPOSED WATER MAIN PLUG W/AIR RELEASE
- PROPOSED WATER MAIN REDUCER
- PROPOSED WATER MAIN TEE
- PROPOSED WATER VALVE
- PROPOSED WATER VALVE MANHOLE
- PROPOSED YARD HYDRANT
- PROPOSED WATER MAIN
- PROPOSED WATER SERVICE

PAVEMENT
- EXISTING SIGN
- EDGE OF ASPHALT PAVEMENT
- EDGE OF GRAVEL PAVEMENT
- EDGE OF CONCRETE PAVEMENT
- PROPOSED DETECTABLE WARNING FIELD
- PROPOSED SIGN
- PROPOSED EDGE OF ASPHALT PAVEMENT
- PROPOSED EDGE OF CONCRETE PAVEMENT
- PROPOSED EDGE OF GRAVEL PAVEMENT
- PROPOSED SLOPE INTERCEPT

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PROPOSED FOR:
8TH STREET SUBWAY
WISCONSIN RAPIDS, WISCONSIN

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PRELIMINARY NO:
CONTRACT NO:
DATE: 8/16/2021
SHEET: C2.0

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Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

GENERAL NOTES

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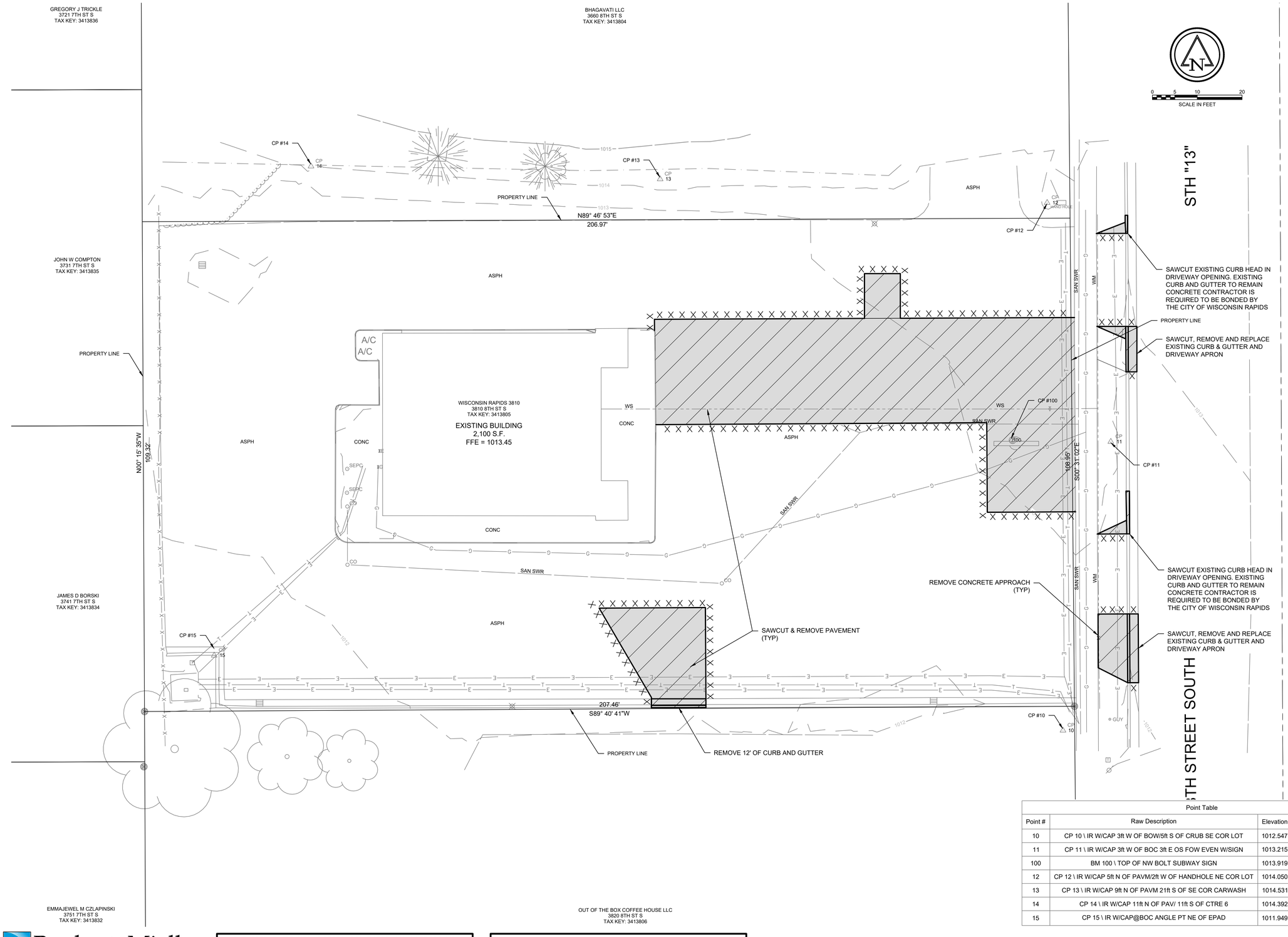

Point Table				
Point #	Raw Description	Elevation	Northing	Easting
10	CP 10 \ IR W/CAP 3ft W OF BOW/5ft S OF CRUB SE COR LOT	1012.547	440696.3860	731825.8760
11	CP 11 \ IR W/CAP 3ft W OF BOC 3ft E OS FOW EVEN W/SIGN	1013.215	440760.8280	731836.5490
100	BM 100 \ TOP OF NW BOLT SUBWAY SIGN	1013.919	440761.1710	731814.6390
12	CP 12 \ IR W/CAP 5ft N OF PAVM/2ft W OF HANDHOLE NE COR LOT	1014.050	440814.1520	731822.3400
13	CP 13 \ IR W/CAP 9ft N OF PAVM 21ft S OF SE COR CARWASH	1014.531	440819.4290	731736.0110
14	CP 14 \ IR W/CAP 11ft N OF PAV/ 11ft S OF CTRE 6	1014.392	440822.2960	731658.1330
15	CP 15 \ IR W/CAP@BOC ANGLE PT NE OF EPAD	1011.949	440713.1310	731636.5340

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EXISTING CONDITIONS & REMOVAL PLAN

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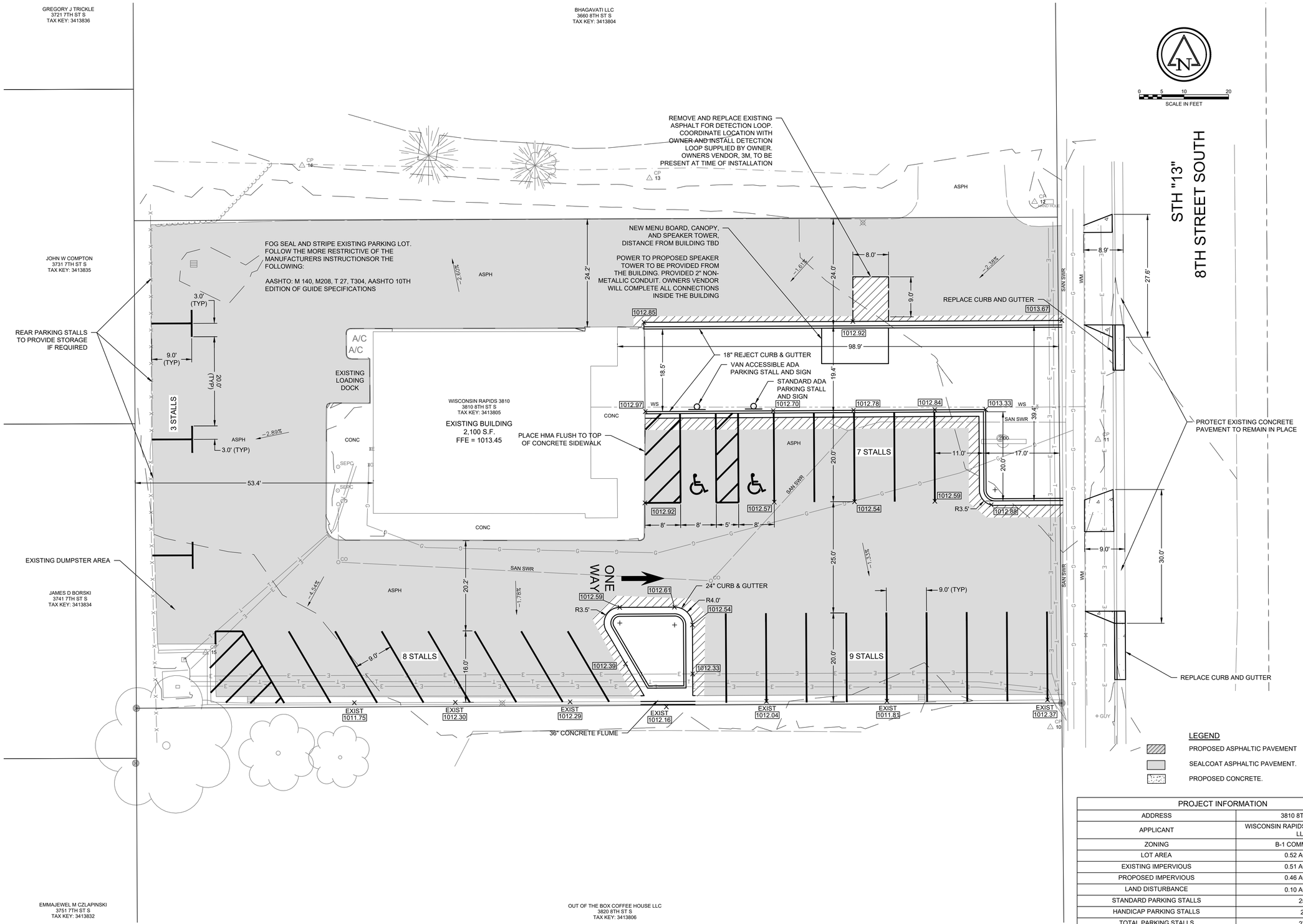

PROJECT INFORMATION	
ADDRESS	3810 8TH ST S
APPLICANT	WISCONSIN RAPIDS 3810 8TH ST S WI LLC
ZONING	B-1 COMMERCIAL
LOT AREA	0.52 ACERS
EXISTING IMPERVIOUS	0.51 ACERS
PROPOSED IMPERVIOUS	0.46 ACERS
LAND DISTURBANCE	0.10 ACERS
STANDARD PARKING STALLS	25
HANDICAP PARKING STALLS	2
TOTAL PARKING STALLS	27

PROPOSED SITE PLAN

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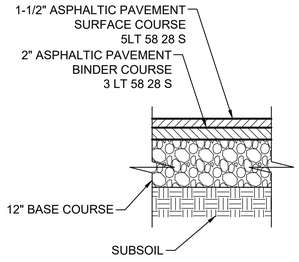
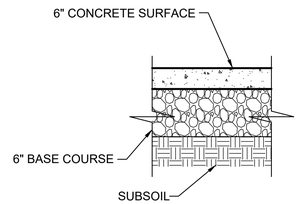


PARKING LOT PAVEMENT CROSS SECTION

NO SCALE

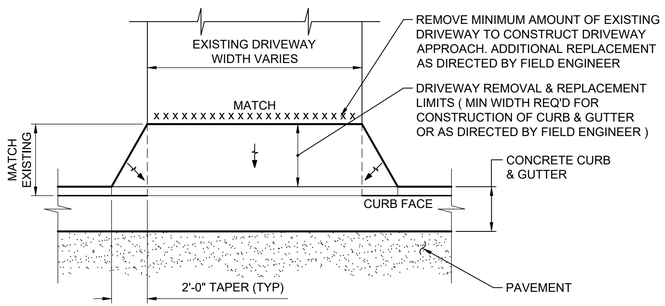
PV-SECT-07 12



CONCRETE PAVEMENT CROSS SECTION

NO SCALE

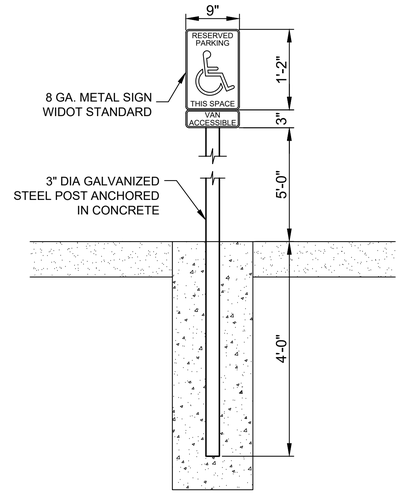
PV-SECT-07A 12



DRIVEWAY APPROACH

NO SCALE

PV-DRIVE-06 48



HANDICAP PARKING SIGN

NO SCALE

PV-SIGN-01 1

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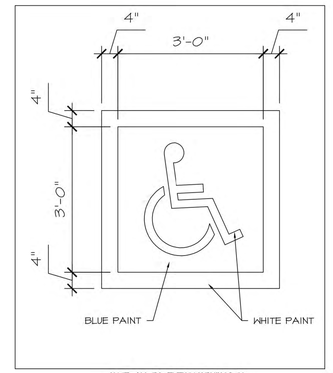
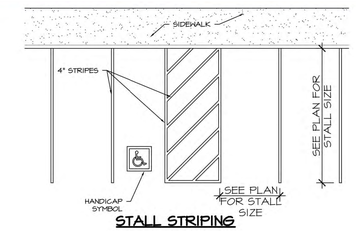
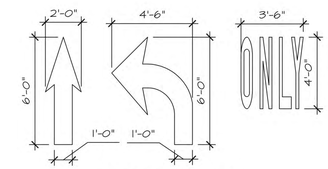
Keller Commercial Standards



NOTE: ALL PAVEMENT MARKINGS TO BE SAFETY YELLOW UNLESS NOTED OTHERWISE



STALL STRIPING



DIRECTION ARROWS

PAVEMENT MARKINGS | REVISION 5/2/2012 | 2.9.2

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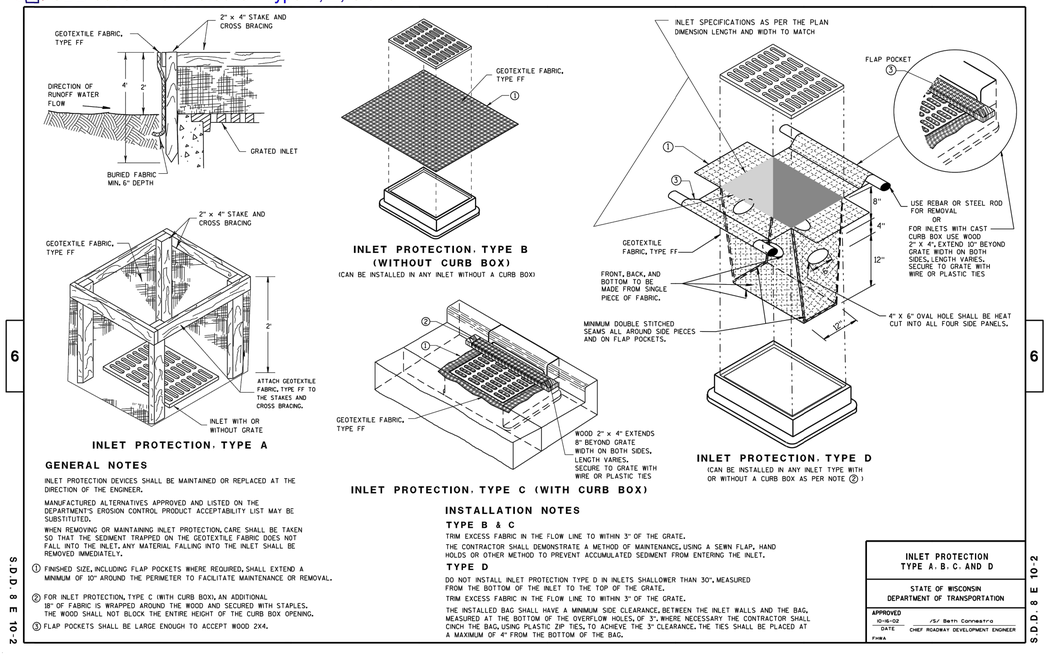
SDD 8e10 Inlet Protection Type A, B, C and D



GENERAL NOTES

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INSTALLATION NOTES

TYPE B & C

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

INLET PROTECTION TYPE A. B. C. AND D

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

APPROVED 10-16-02 /S/ Beth Cornestro
DATE CHIEF ROADWAY DEVELOPMENT ENGINEER
FHWA

S.D.D. 8 E 10-2

SDD 15D20-b Traffic Control, Single Right Lane Closure, Undivided Non-Freeway/Expressway

LEGEND

- SIGN ON PERMANENT SUPPORT
- TRAFFIC CONTROL DRUM
- TRAFFIC CONTROL DRUM WITH TYPE "C" STEADY BURN LIGHT
- TYPE III BARRICADE WITH ATTACHED SIGN
- TYPE "A" WARNING LIGHT (FLASHING)
- FLASHING ARROW BOARD
- DIRECTION OF TRAFFIC
- REMOVE PAVEMENT MARKING (SEE GENERAL NOTES)
- WORK AREA

GENERAL NOTES

THIS DETAIL MAY BE USED FOR ROADWAYS WITH EITHER TWO OR THREE LANES IN EACH DIRECTION.

ALL SIGNS ARE 48"X48" UNLESS OTHERWISE NOTED. IF NECESSARY DUE TO SPACE CONSTRAINTS IN URBAN AREAS, 36"X 36" SIGNS MAY BE USED IF APPROVED BY REGIONAL TRAFFIC UNIT.

"WO" SIGN IS THE SAME AS "W" SIGN EXCEPT THE BACKGROUND IS ORANGE.

ANY SIGNS TEMPORARY OR EXISTING, WHICH CONFLICT WITH THE TRAFFIC CONTROL "IN USE" SHALL BE REMOVED OR COVERED AS NEEDED AND AS APPROVED BY THE ENGINEER. NO WARNING LIGHTS SHALL BE WORKING ON COVERED OR "DOWNED" SIGNS.

SIGNS THAT WILL BE IN PLACE LESS THAN 7 CONTINUOUS DAYS AND NIGHTS OR THAT WILL BE PLACED IN A CLOSED LANE MAY BE MOUNTED ON TEMPORARY SUPPORTS.

THE EXACT NUMBER, LOCATION, AND SPACING OF ALL SIGNS AND DEVICES SHALL BE ADJUSTED TO FIT FIELD CONDITIONS AS APPROVED BY THE ENGINEER.

THE SPACING BETWEEN TRAFFIC CONTROL SIGNS SHOULD BE ADJUSTED TO NOT CONFLICT WITH AND TO PROVIDE A MINIMUM OF 200 FEET (500' DESIRABLE) DISTANCE TO EXISTING SIGNS THAT WILL REMAIN IN PLACE

W20-1A, G20-1 AND G20-2A SIGNS ARE NOT REQUIRED IF THE LANE CLOSURE IS WITHIN A LARGER WORK ZONE WHERE THESE SIGNS ARE ALREADY PRESENT.

REMOVE PAVEMENT MARKINGS AND PLACE TEMPORARY PAVEMENT MARKING, REMOVABLE TAPE IF LANE CLOSURE IS TO BE IN PLACE FOR 4 OR MORE CONTINUOUS DAYS AND NIGHTS.

CONSIDER GEOMETRICS WHEN LOCATING SIGNS AND ARROW BOARDS SO THE APPROACHING DRIVER HAS A CLEAR VIEW OF THE ARROW BOARDS AND LANE CLOSURE DRUMS FOR A MINIMUM 1500 FEET IN FRONT OF DRUMS.

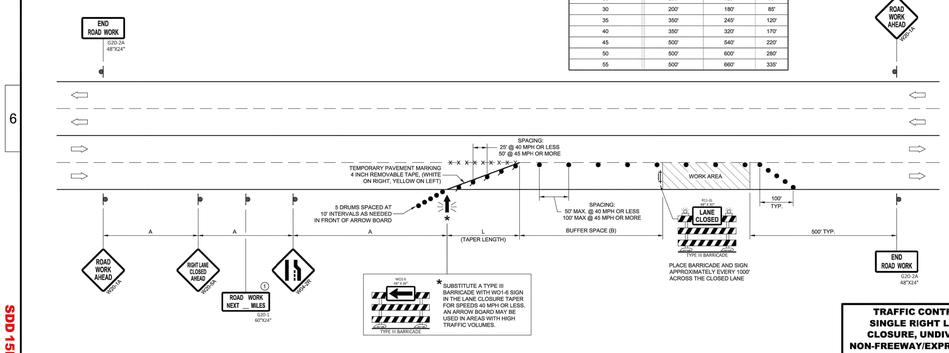
BARRICADES IN A CLOSED LANE THAT MUST BE MOVED FOR A WORK OPERATION SHALL BE IMMEDIATELY REESTABLISHED UPON COMPLETION OF THE OPERATION, OR FOR CONTINUING OPERATIONS, AT THE END OF EACH WORKING DAY.

CHANNELIZING DEVICES PLACED ADJACENT TO WORK AREA SHALL BE PULLED BACK FROM THE TRAVEL LANE WHEN WORK IS NOT IN PROGRESS.

WARNING LIGHTS ARE NOT REQUIRED IF THE LANE CLOSURE IS A DAYTIME ONLY OPERATION.

1. OMIT G20-1 SIGNS IF LENGTH OF WORK AREA IS 2 MILES OR LESS.

POSTED SPEED LIMIT PRIOR TO WORK STARTING (MPH)	ADVANCE WARNING SIGN SPACING (A) FEET	TAPER LENGTH (12 FT. LANE) (L) FEET	BUFFER SPACE (B) FEET
25	200'	125'	55'
30	200'	180'	85'
35	350'	245'	120'
40	350'	320'	170'
45	500'	540'	220'
50	500'	600'	280'
55	500'	660'	335'



TRAFFIC CONTROL, SINGLE RIGHT LANE CLOSURE, UNDIVIDED NON-FREEWAY/EXPRESSWAY

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

APPROVED May 2020 /S/ Andrew Heidtke
DATE STATEWIDE WORK ZONE TRAFFIC SAFETY ENGINEER
FHWA

SDD 15D20 - 05b

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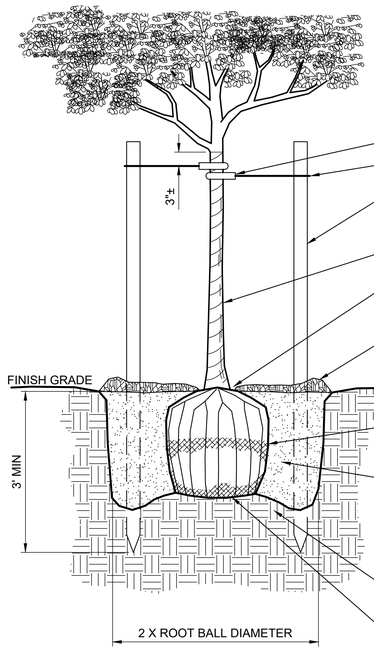


POSITION BEST FACE TOWARD DOMINANT VIEWING ANGLE. LIFT STOCK BY ROOTBALL & PLACE IN PLANTING HOLE

WATER THOROUGHLY UPON PLANTING

TRIM DEAD & DAMAGED BRANCHES

SPRAY WITH ANTI-DESICCANT WAX

1/2" DIA HOSE AROUND TRUNK

TWISTED GALV WIRE OR CABLE WITH 1" TO 2" FLEX

1.5" SQ HARDWOOD STAKE ON WINDWARD & LEEWARD SIDES. REMOVE AT END OF 1ST FULL GROWING SEASON

TREE WRAP TO FIRST BRANCH. REMOVE AFTER 1 YEAR

ROOTBALL TOP AT FINISH GRADE OR 1"-2" HIGHER IN SLOW DRAINING SOIL. MAKE TRUNK FLARE FULLY VISIBLE

3" MULCH OVER WEED BARRIER. FORM 3" SAUCER TO ENCIRCLE STOCK. KEEP MULCH OFF TREE TRUNK

CUT TIES AT ROOTBALL TOP. PULL DOWN TOP 1/2 OF BURLAP AROUND ROOTBALL

SOIL MIX:
2/3 EXISTING SOIL
1/3 PLANT STARTER MIX.
INSTALL 3-YEAR SLOW-RELEASE FERTILIZER PACKETS IN PLANTING HOLE. FOLLOW MANUFACTURERS INSTRUCTIONS

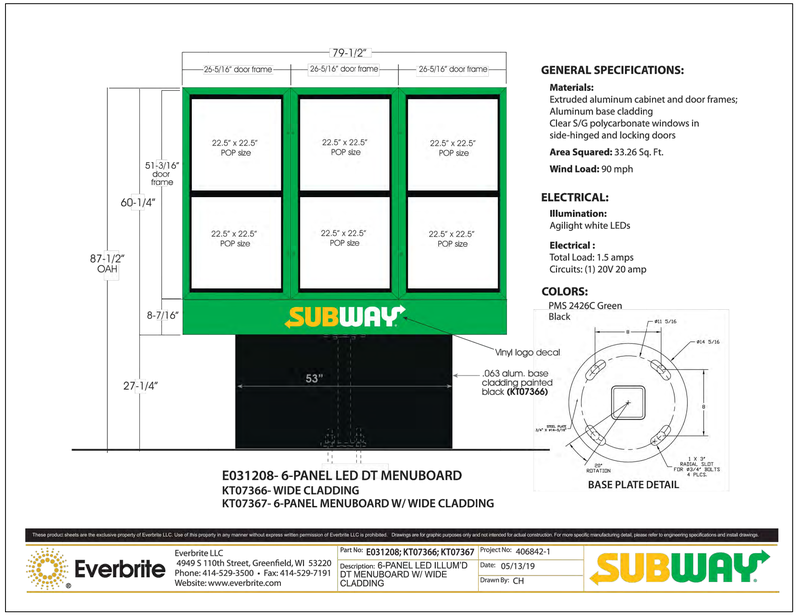
LOOSEN SUBSOIL WITH PICK TO ENSURE POROSITY

REST ROOTBALL ON FIRM SUBSOIL DOME TO PREVENT SETTLEMENT

DECIDUOUS TREE PLANTING

NO SCALE

LS-TREE-02 1



E031208- 6-PANEL LED DT MENUBOARD
KT07366- WIDE CLADDING
KT07367- 6-PANEL MENUBOARD W/ WIDE CLADDING

BASE PLATE DETAIL

GENERAL SPECIFICATIONS:

Materials:
Extruded aluminum cabinet and door frames;
Aluminum base cladding
Clear S/G polycarbonate windows in side-hinged and locking doors

Area Squared: 33.26 Sq. Ft.

Wind Load: 90 mph

ELECTRICAL:

Illumination:
Agilight white LEDs

Electrical :
Total Load: 1.5 amps
Circuits: (1) 20V 20 amp

COLORS:
PMS 2426C Green
Black

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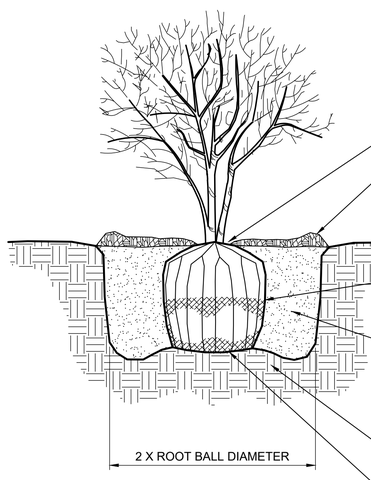
Everbrite
Everbrite LLC.
4949 S 110th Street, Greenfield, WI 53220
Phone: 414-529-3500 • Fax: 414-529-7191
Website: www.everbrite.com

Part No: E031208; KT07366; KT07367	Project No: 406842-1
Description: 6-PANEL LED ILLUM'D DT MENUBOARD W/ WIDE CLADDING	Date: 05/13/19
	Drawn By: CH

SUBWAY



POSITION BEST FACE TOWARD DOMINANT VIEWING ANGLE. LIFT STOCK BY ROOTBALL & PLACE IN PLANTING HOLE

WATER THOROUGHLY UPON PLANTING

TRIM DEAD & DAMAGED BRANCHES

SPRAY WITH ANTI-DESICCANT WAX

ROOTBALL TOP AT FINISH GRADE. MAKE STEM FLARE FULLY VISIBLE

3" MULCH OVER WEED BARRIER. FORM 3" SAUCER TO ENCIRCLE STOCK. KEEP MULCH OFF SHRUB STEMS

FINISH GRADE

CUT TIES AT ROOTBALL TOP. PULL DOWN TOP 1/2 OF BURLAP AROUND ROOTBALL

SOIL MIX:
2/3 EXISTING SOIL
1/3 PLANT STARTER MIX.
INSTALL 3-YEAR SLOW-RELEASE FERTILIZER PACKETS IN PLANTING HOLE. FOLLOW MANUFACTURERS INSTRUCTIONS

LOOSEN SUBSOIL WITH PICK TO ENSURE POROSITY

REST ROOTBALL ON FIRM SUBSOIL DOME TO PREVENT SETTLEMENT

SHRUB PLANTING

NO SCALE

LS-TREE-05 1

Keller
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Wausau, WI 54401
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Fax (715)849-3181

www.kellerbuilds.com

PROPOSED FOR:
8TH STREET SUBWAY
WISCONSIN RAPIDS, WISCONSIN

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REVISIONS

PROJECT MANAGER:
DESIGNER: C. MEISEL
DRAWN BY: G. DEPREY
EXPEDITOR: _____
SUPERVISOR: _____
PRELIMINARY NO: _____
CONTRACT NO: _____
DATE: 8/16/2021
SHEET: C5.1

CONSTRUCTION DETAILS

"ISSUED NOT FOR CONSTRUCTION"

Ruekert • Mielke
Waukesha • Kenosha • Madison
Global Water Center • Fox Valley
www.ruekertmielke.com

RUEKERT/MIELKE TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS, BUT NOT LIMITED TO, FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A REASONABLE INSPECTION.

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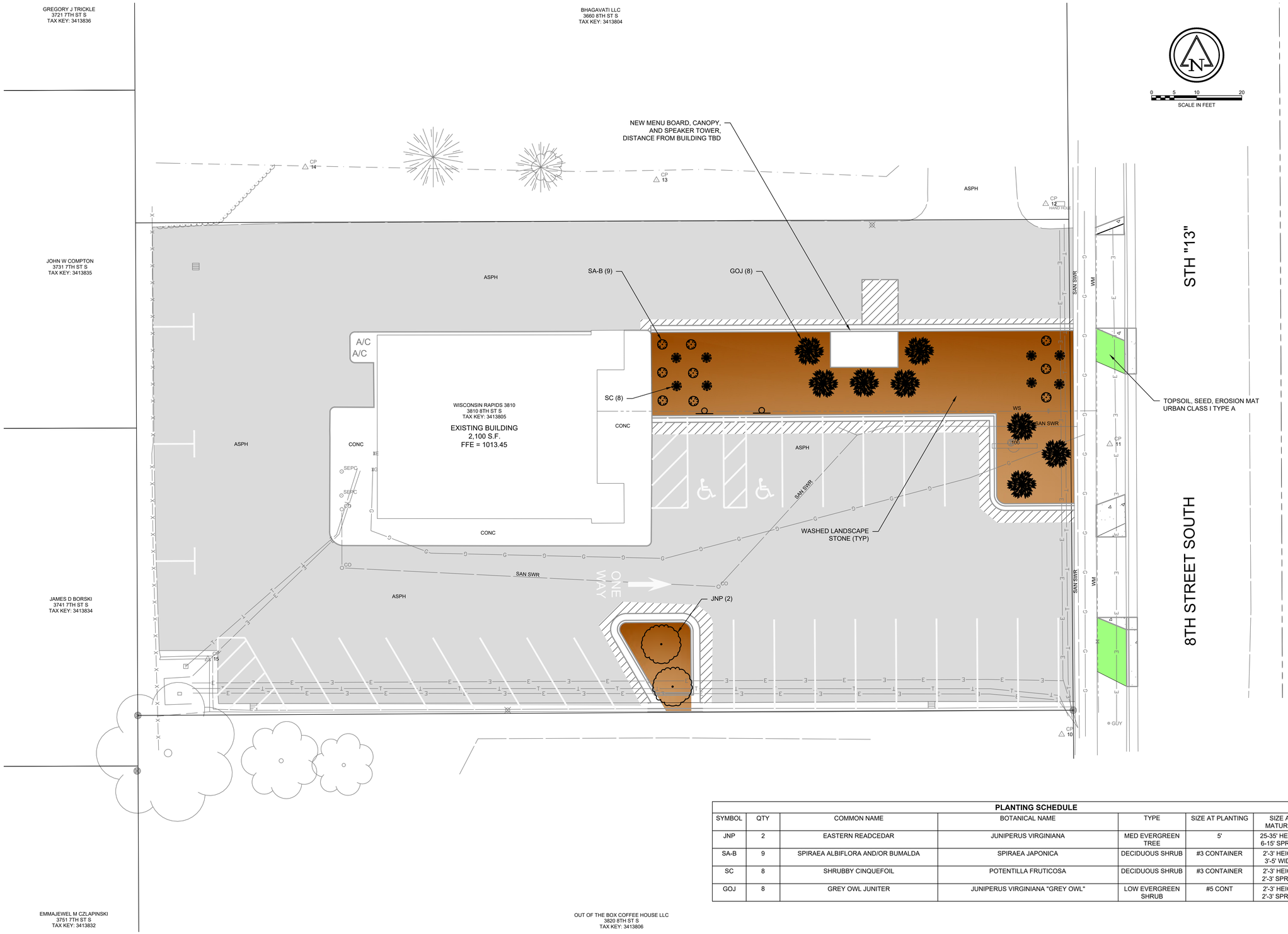

PLANTING SCHEDULE

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	TYPE	SIZE AT PLANTING	SIZE AT MATURITY	ROOT CONDITION
JNP	2	EASTERN READCEDAR	JUNIPERUS VIRGINIANA	MED EVERGREEN TREE	5'	25-35' HEIGHT 6-15' SPREAD	BB
SA-B	9	SPIRAEA ALBIFLORA AND/OR BUMALDA	SPIRAEA JAPONICA	DECIDUOUS SHRUB	#3 CONTAINER	2'-3' HEIGHT 3'-5' WIDTH	POTTED
SC	8	SHRUBBY CINQUEFOIL	POTENTILLA FRUTICOSA	DECIDUOUS SHRUB	#3 CONTAINER	2'-3' HEIGHT 2'-3' SPREAD	POTTED
GOJ	8	GREY OWL JUNITER	JUNIPERUS VIRGINIANA "GREY OWL"	LOW EVERGREEN SHRUB	#5 CONT	2'-3' HEIGHT 2'-3' SPREAD	POTTED

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LANDSCAPING PLAN

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REVISIONS

PROJECT MANAGER:
DESIGNER: C. MEISEL
DRAWN BY: G. DEPREY
EXPEDITOR: _____
SUPERVISOR: _____
PRELIMINARY NO: _____
CONTRACT NO: _____
DATE: 8/16/2021
SHEET: C6.0

Administrative Staff Report

SWEPS Food Pantry
Site Plan & Architectural Review
2321 West Grand Avenue
September 8, 2021

WISCONSIN RAPIDS
Department of Community Development

Applicant(s):

- SWEPS Food Pantry

Staff:

- Kyle Kearns

Parcel Number(s):

- 3401190

Lot Information:

- Effective Frontage: 472 feet
- Effective Depth: 774 feet
- Square Footage: 352,418
- Acreage: 8.09 Acres

Zone(s):

- "B-2" General Commercial District

Council District:

- District 2

Master Plan:

- Commercial

Current Use:

- Financial Services

Applicable Regulations:

- Chapter 11 - Zoning

Request

PLAN-21-0880; Dale Davis – SWEPS Food Pantry - request for a site plan review to construct an addition onto a building housing the food pantry at 2321 West Grand Avenue (Parcel ID 3401190)

Attachment(s)

1. Application
2. Site Plan
3. Building Renderings

Findings of Fact

1. The request is to construct an addition onto the southeast side of the building.
2. The addition is unheated and primarily for loading/unloading and for storage.
3. The property is zoned "B-2" General Commercial District.
4. A food pantry use is permitted in the B-2 District
5. A building plan – architectural review (AR), plan of operation (PO), site plan (SP), and zoning permit (ZP) are required.

Staff Recommendation

Approve the request from the applicant for a site plan review to construct an addition onto a building housing the food pantry at 2321 West Grand Avenue (Parcel ID 3401190)

subject to the following condition(s):

a) Driveways for the garage addition shall be hard surfaced.
b) A landscaping plan shall be submitted for review and approval by the Community Development Department.
c) The addition shall match the colors of the primary building, so as to better blend into the façade.
d) Cut-off lighting fixtures shall be used for all building elevations.
e) Light from the business shall not exceed 0.2 foot-candles at a neighboring commercial property line.
f) Applicable permits through the City shall be obtained.
g) Community development staff shall have the authority to approve minor modifications to the plans.

Vicinity Map

Background

South Wood Emerging Pantry Shelf is relocating to 2321 West Grand Avenue. As part of the relocation, they will be renovating a portion of the existing building to accommodate the use, as well as, constructing a garage addition on the building. Given the proposed exterior improvements which can affect the overall site, Plan Commission shall review the site plan and architecture. The submitted plans and renderings are attached and have been reviewed further below.

Standards of Review

1) **Use**

   Analysis: A food pantry use was recently defined in the zoning code (below). The proposed use does not currently exist on the site but will occupy a portion of the southeast corner of the building. It is important to note that part of the space will be used as a soup kitchen to serve food to the public.

   Food Pantry

Description: *Food pantry or food bank is a place where stocks of food, typically basic provisions, are stored and supplied free of charge to people in need, by a nonprofit or charitable organization. A food pantry may include ancillary offices relating to the use and loading & unloading areas. They are not typically open to the public for extended periods, like a grocery store, but have more specified times for pick-up and drop off.*

Parking Requirements: *1 space plus 1 space for each 350 square feet of office or administrative area.*

Supplemental Standards: *Aside from generally applicable standards, no special standards apply to food pantry.*

Findings: Note that a building plan – architectural review (AR), plan of operation (PO), site plan review (SP), and zoning permit (ZP) are required.

2) Dimensional Standards

Analysis: The B-2 district requires 10,000 square feet, and the lot is over 8 acres. The building footprint is proposed to be expanded with a 30 by 26-foot unheated garage addition. The building coverage ratio is 10.75% meeting the 60% (max.) requirement and impervious surface is approximately 32.8% which meets the 80% (max.) requirement. Building setbacks for the addition are also met.

Findings: The applicable dimensional standards for the development are met.

3) Ingress/Egress

Analysis: The existing driveways on West Grand Avenue and Alton Street will remain. Two exterior overhead doors are proposed on the addition to accommodate deliveries for the food pantry.

Findings: Driveway standards are met, however, driveways leading to the garage addition shall be hard surfaced per.

4) Parking

Analysis: The use requires 1 space plus 1 space for each 350 square feet of office or administrative area. Therefore, the approximately 13,593 square foot building would require 3 stalls. However, as part of the building is used for cooking and dining, a larger parking requirement could also apply: 1 space for each 3 patron seats or 1 space for each 300 square feet of gross floor area devoted to patron service, whichever is greater; plus 1 for each employee on the largest work shift. When accounting for this restaurant-type parking requirement, approximately 20 additional stalls would be required. A total of 63 parking stalls currently exists on the east side of the building to accommodate the use.

Findings: Existing parking onsite meets the use requirements. Additional handicap stalls are also proposed for the use. As noted above staff would require hard surface for any driveways leading to the garage addition. Additionally, if parking is expanded, applicable requirements shall be met.

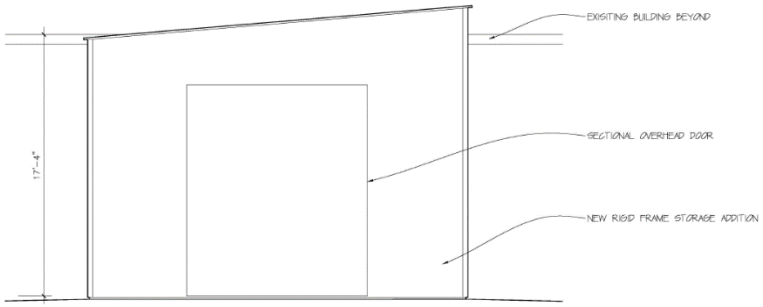
5) Landscaping

Analysis: The proposed addition would trigger building foundation landscaping to be required: A minimum of 40 landscape points shall be provided on a prorated basis for every 100 feet of building foundation perimeter. The building addition has 86 lineal feet of foundation, meaning 34.4 perimeter landscape points shall be required.

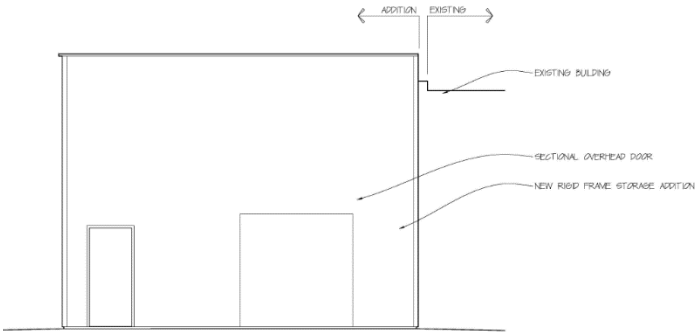
Findings: Landscaping has not been noted on the attached plans. Staff would recommend a landscaping plan be provided for review and approval before any landscaping is installed.

6) Architectural Review

Analysis: Elevations have been submitted, showing building façade as a rigid frame building. A building of this type is typically of metal frame construction with metal roof and siding. Note that minor changes are also proposed to access the existing building, with a new double door proposed on the east façade.



1 A201 SOUTH ELEVATION AT ADDITION
SCALE : 1/4" = 1'-0"



2 A201 WEST ELEVATION AT ADDITION
SCALE : 1/4" = 1'-0"

Findings: The addition shall match the existing façade; however, the use of the addition is for unheated storage and deliveries. Furthermore, the addition is on the rear of the building, not easily visible from adjacent streets. While garage doors shall not face the street, the building is setback over 300 feet from Alton Street. From an architectural standpoint, the use and location of the addition may not warrant similar materials as the principal structure, however the colors should match.

7) Lighting & Photometric Plan

Analysis: Regulations for onsite lighting are related to light trespass (foot-candles) beyond the property line and total lighting levels (lumens). Lighting from the business use should not exceed 0.2 foot-candles at a neighboring commercial property line. A lighting plan has not been provided, but no improvements are proposed within the parking area.

Findings: The addition likely not create a large amount of light and is also nearly 150 feet from the adjacent property line; therefore, a lighting plan may not be required. Staff would recommend cut-off lighting fixtures be used on all elevations, and that the lighting from the business not exceed 0.2 foot-candles at a neighboring commercial property line.

In summary, the proposed building addition is located in the rear of the property and should not be detrimental to the surrounding commercial character. The building will greatly improve the level of service for the food pantry use and is appropriate on the building. Therefore, staff would recommend approval of the site plan and architectural review, subject to the items mentioned above and summarized on page one of the staff report.

Photos

Site Plan & Plan of Operation Application
City of Wisconsin Rapids, Wisconsin
Version: January 3, 2019

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The Planning Commission reviews site plans and plans of operation for those land uses specifically requiring such review as listed in the land-use matrix (Appendix A of the zoning code).

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at https://wisconsinrapids.zoninghub.com/

Application fee: $175.00 for new; $125.00 for amendment of prior approval

Note: Site plan/plan of operation review and architectural review can be combined into one application fee.

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Office Use Only

Date Received _____

Received By _____

Fee _____

Case # _____

Aldermanic District _____

Plan Commission Date _____

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

1. Applicant information

Applicant name	Dale Davis - SWEPS Food Pantry
Street address	331 12th Avenue
City, state, zip code	Wisconsin Rapids, WI 54495
Daytime telephone number	715-422-2050
Email	daleswepsfoodpantry@solarus.net

2. Agent contact information Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Agent 1	Agent 2
Name	Scott Thurber	James Lucas
Company	Altmann Construction Company, Inc.	Arc Central LLC
Street address	5921 Plover Road	1930 1st Street North
City, state, zip code	Wisconsin Rapids, WI 54494	Wisconsin Rapids, WI 54494
Daytime telephone number	715-421-2550	715-572-2698
Email	sthurber@altmannconstruction.com	arccentralinc@outlook.com

3. Type of application (check all that apply)

- [x] Site plan — Complete Part A, B and D
- [ ] Plan of operation — Complete Part A, C and D

- [x] New project
- [ ] Amendment of prior approval (if any)

If an amendment, the date of last approval (if any): _____

Part A. About the Property

4. Subject property information

Physical address 2321 West Grand Avenue, Wisconsin Rapids, WI

Parcel number(s) T22N R05E S12

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

- [x] No
- [ ] Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

- [x] No
- [ ] Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning Information (refer to https://wisconsinrapids.zoninghub.com/zoningmap.aspx)

The subject property is located in the following base zoning district(s). (check all that apply)

- [ ] RR Rural Residential
- [ ] R-1 Single-family Residential
- [ ] R-2 Mixed Residential
- [ ] R-3 Multi-family Medium Density Residential
- [ ] R-4 Multi-family High Density Residential
- [ ] R-8 Manufactured Home Park
- [ ] B-1 Downtown Commercial
- [x] B-2 General Commercial
- [ ] B-3 Neighborhood Commercial
- [ ] B-5 Mixed Use Commercial
- [ ] M-1 General Industrial
- [ ] M-2 Heavy Industrial
- [ ] I-1 Institutional
- [ ] P-1 Park and Recreation
- [ ] C-1 Conservancy

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- [ ] Planned Development (PDD)
- [ ] Downtown Design
- [ ] Shoreland
- [ ] Shoreland-Wetland
- [ ] Floodplain
- [ ] Wellhead Protection

Part B. Site Plan (See the standards and requirements in Division 6 of Article 6.)

6. Building type. Which of the following building types best describes the building?

- [ ] Townhouse
- [ ] Multi-family
- [ ] Institutional
- [x] Commercial
- [ ] Work/live
- [ ] Industrial
- [ ] Parking structure

Please refer to Appendix D for any design requirements that may apply.

7. Encroachments.

Aside from driveways connecting to the street, will any part of the proposed project encroach into a public right-of-way?

- [x] No
- [ ] Yes

If yes, please explain.

8. Site parameters (area in square feet or acres)

Subject property	9 Acres	
Building coverage	37,112 SF	
Outdoor storage	0	
Stormwater facilities	0	
Impervious surfaces	115,862 SF	Impervious surfaces include buildings, parking areas and driveways, sidewalks, decks, patios, and other types of 'hard' surfaces.
Landscaping and other undeveloped areas	865 SF	
Wetlands	0	Attach appropriate documentation if there are any wetlands.
100-year floodplain	0	

9. Street access

Name	New Access	Change to Existing Access	No Change to Existing Access
West Grand Avenue	☐	☐	☑
Alton Street	☐	☐	☑
	☐	☐	☐

10. Traffic generation

Will the proposed project create 500 trips per day or more?

- [x] No
- [ ] Yes Attach a traffic impact report to this application. See s. 11.06.151 of the zoning code for additional details.

Will the proposed project create 300 trips per day or more, but less than 500?

- [x] No
- [ ] Yes The city may require a traffic impact report as described in s. 11.06.151 of the zoning code. Please contact the Community Development Department for further guidance.

11. Parking (See the standards and requirements in Article 17 of the zoning code.)

Minimum number of required spaces		See Appendix B of the zoning code for parking requirements for the proposed land use(s).
Proposed number of spaces		If the number of proposed spaces exceeds what is required by more than 15 percent, the Planning Commission may grant a special exception to allow oversized parking areas. (See s. 11.17.03(r) of the zoning code.)
ADA van accessible spaces	2	

Other ADA accessible spaces	0	
Number of electric charging stations (if any)	0	Charging stations are not required, but are recommended.
Bicycle parking spaces	8	Bike parking is not required, but is recommended. (See s. 11.17.06 of the zoning code.)
Number of spaces in front of the building	25	The number of spaces in front of the building may be limited depending on the zoning district. (See Appendix C of the zoning code.)
Number of spaces on the side(s) of the building	120	
Number of spaces to the rear of the building	0	

12. Outdoor lighting (See the standards and requirements in Article 18 of the zoning code.)

	Number of Fixtures	Lumens
Building 1	1 South Wall	100 watt LED
Building 2		
Building 3		
Parking lot 1		
Parking lot 2		
Parking lot 3		
Other		
Other		
Total		

Maximum lighting levels at each property boundary line (in footcandles):		Attach a photometric plan to this application along with manufacturer's cut sheets for the different kinds of light fixtures.
Height of parking lot lights above grade (if any):		

13. Fencing. Will the proposed project include fencing?

- [x] No
- [ ] Yes (See Article 15 of the zoning code for the standards and requirements that apply.)

If yes, please describe and/or attach a fencing plan.

14. Stormwater. Describe how stormwater generated on the site will be handled.

15. Site plan. Attach a site plan drawn to scale with the following information to the extent it applies to the proposed project. The items with an asterisk are required. Check those elements that are included.

Background Project Information

- [x] Project name*
- [x] Applicant name*
- [x] Preparation date/revision*
- [x] Name of preparer*

Survey Information

- [x] North arrow and graphic scale*
- [x] Address of subject property or legal description*
- [x] Property boundaries *
- [x] Acreage of subject property*

Project Development Information

- [x] Land use summary table by density/intensity and acreage*
- [ ] Easements/rights-of-ways (location, width, purpose, ownership)
- [ ] Common areas/conservancy areas (location, purpose, ownership)
- [ ] Land to be dedicated to the public (boundaries, area, purpose)

Setting

- [ ] Property boundaries within 50 feet of the subject property
- [ ] Land uses within 50 feet of the subject property
- [ ] Zoning district boundaries within 50 feet of the subject property
- [ ] Municipal boundaries within 50 feet of the subject property

Site Features (existing and proposed)

- [ ] Ground contours when slopes exceed 8 percent
- [ ] Wetlands
- [x] Woodlands
- [ ] Wildlife habitat, including critical wildlife habitat
- [ ] Environmentally sensitive features
- [ ] Water resources (rivers, ponds, etc.) and ordinary high-water mark for navigable waters
- [ ] Floodplain boundaries and elevations of the same

Buildings and Outdoor Storage/Activity Areas

- [x] Existing and proposed
- [ ] Existing within 50 feet of subject property

Required Setbacks

- [ ] Yard setbacks (front, side, rear and shore)
- [ ] On-site septic systems
- [ ] On-site wells and off-site wells within 10 feet of the perimeter of the subject property

Landscaping Features (existing and proposed)

- [ ] Fences, buffers, and berms
- [ ] Pervious and impervious surfaces by type
- [ ] Site amenities (benches, fountains, etc.)
- [ ] Existing trees and other prominent vegetation
- [ ] Trees / shrubs to be planted, including a plant list and specs.

Trees / shrubs to be retained

Outdoor Lighting (existing and proposed)

- [ ] Location
- [ ] Fixture specifications

Stormwater Facilities (existing and proposed)

- [ ] Location
- [ ] Specifications for each facility

Utilities (existing and proposed)

- [ ] Location
- [ ] Type (sewer, telephone, etc.) (buried or overhead, if applicable)
- [ ] Size/capacity, if applicable

Transportation Facilities (existing and proposed)

- [x] Streets
- [x] Driveways and road access onto public and private roads
- [x] Sidewalks and trails
- [x] Fire lanes (i.e., fire apparatus access)
- [ ] Clear visibility triangles (location and dimensions)

On-Site Parking (existing and proposed)

- [ ] Access aisles and parking spaces by size
- [x] Location of accessible parking spaces
- [ ] Location and specifications/dimensions for accessibility ramps
- [ ] Type and location of on-site parking signs and traffic control signs
- [ ] Surface materials for parking lot (e.g., concrete, bituminous concrete, pavers)
- [ ] Snow storage areas
- [ ] Areas designated for queuing of vehicles for drive-through facilities (e.g., car washes, drive-up service windows, etc.
- [ ] Pedestrian walks between the parking lot and the building
- [ ] Designated areas of a parking area for pedestrian walks
- [ ] Loading lanes and loading docks
- [ ] Stormwater drainage
- [ ] Distance between parking areas and adjoining properties if less than 20 feet
- [ ] Areas designated for bicycle parking

Signs (existing and proposed)

- [ ] Location
- [ ] Specifications for each sign including type, height, dimensions, lighting, and other factors considered during the review process

Part C. Plan of Operation

16. Operating conditions

Hours of operation:	M, W, F 8-4 Tue, Thur 8-7	
Estimated number of full-time employees	1	
Estimated number of part-time employees	3	
Maximum number of employees onsite at peak hours	4	
Will the proposed business operation create any noise outside of the building?	No	Refer to s. 11.06.147 of the zoning code.
Will the proposed business operation create any emissions (e.g., fumes, smoke, steam, vapor, dust,) to the atmosphere?	No	Refer to s. 11.06.148 of the zoning code.
Will the proposed business operation create any vibrations outside of the building?	No	Refer to s. 11.06.149 of the zoning code.
Will the proposed business operation involve any explosives or other flammable materials?	No	Refer to s. 11.06.150 of the zoning code.
Will the proposed business operation involve any radioactive materials?	No	
Will the proposed business operation create special needs for wastewater disposal?	No	
Will the proposed business operation require unusually high levels of public water?	No	

17. Licensing. What kind of federal, state, county or city licensees will be required to operate the proposed business?

FEIN is: 47-5327773

Wisconsin CES is: 066414

Part D. Other

18. Attachments List any attachments included with your application.

19. Other information You may provide any other information you feel is relevant to the review of your application.

20. Mandatory meeting with staff

When did you meet with the Community Development Director? _____ Month/year

21. Applicant certification

- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

MARK SPARHAWK	Mark Sparhawk	8/26/21
Name – print	Name – Signature	Date
Name – print	Name – Signature	Date

Proposed Alterations for SWEPS

331 12th Avenue Wisconsin Rapids, WI 54495

Code Data

Governing Code
Wisconsin Enrolled, 2015 International Existing Building Code
Level 2 Alteration – 37,112 sf Existing, 13,593 Proj Area

Occupancy Classification - 303.4
Business B, Professional Offices
Assembly A2, Banquet Hall
Storage, S2

Allowable Height - TABLE 504.3
Occ A,B,S Sprinkled IIIB, 75 ft.

Allowable Area - TABLE 506.2
Occ B Sprinkled IIIB, 70,000 sq ft.

Actual Building Area
27,485 SF Business Occupancy
5,580 SF Storage Occupancy
4,800 SF Assembly
37,862 Total
Project area is 13,593 sq ft. in the existing business area

Fire Separations, 508.4
1 hr Separation between Business and A2 Assembly

Type of Construction - TABLE 601
TYPE 3 B,

Fire Protection 903
THIS BUILDING IS NOT PROTECTED BY FIRE SPRINKLER

Occupant Capacity 1004.1.2
27,485 SF / 100 = 275 Occupants
5,580 SF / 300 = 19 Occupants
4,800 SF / 15 = 320 Occupants
Total 614

Required Exit Width - Tables 1005.3.1 & 1005.3.2
Passage = .20" PER OCC. –
Stairs = .30" PER OCC –
468" Total Exit Width provided, $\frac{468}{614}$ = .76" per occupant

Exit Access Travel Distance 1017.2
ASSEMBLY A2 OCC, WITH SPRINKLER – 250 FT,
BUSINESS B OCC, WITH SPRINKLER – 300 FT,

Sanitary Facilities, Table 2902.1
614 OCCUPANTS = 307 EACH SEX

REQUIRED

MEN			WOMEN		DRINKING FNTN
TLT	URN	LAV	TLT	LAV	
1/50	50%	1/80	1/50	1/80	1/500

Existing & Proposed

MEN			WOMEN		DRINKING FNTN
TLT	URN	LAV	TLT	LAV	
6	6	5	10	5	1

Design Loads

SOIL BEARING CAPACITY	= 3,000 PSF PRESUMED
ROOF LIVE LOAD	= 40 PSF
ROOF DEAD LOAD	= 15 PSF
LATERAL LOAD (WIND)	= 20 PSF
UPLIFT AT CANOPY	= 30 PSF
FLOOR LIVE LOAD, ASSEMBLY	= 100 PSF
FLOOR LIVE LOAD, PASSAGE/EXIT	= 100 PSF
FLOOR LIVE LOAD, STACKS	= 150 PSF
FLOOR LIVE LOAD, READING AREA	= 60 PSF

1 A100 SITE PLAN
SCALE : 1" = 50'-0"
0' 25' 50' 100'
NORTH

DRAWING INDEX

COVER SHEET
T100 TITLE SHEET and SITE PLAN

ARCHITECTURAL
A100 EXISTING PLAN & DEMOLITION PLAN
A101 FIRST FLOOR PLAN
A102 WALL TYPES & DETAIL PLANS
A201 EXTERIOR ELEVATIONS
A301 BUILDING SECTIONS & DETAILS

STRUCTURAL
S100 ADDITION FOUNDATION PLAN

GENERAL
G101 LEGEND AND ACCESSIBILITY DETAILS
G102 ACCESSIBE TOILET ROOM DETAILS
G103 ACCESSIBLE SITE DETAILS

WISCONSIN JAMES P. LUCAS A-7203 Wisconsin Rapids WI ARCHITECT

SHEET NOTES

EXCAVATION CONTRACTOR SHALL CONTACT DIGGERS HOTLINE FOR UNDERGROUND LOCATE PRIOR TO EXCAVATING.

Conditionally
APPROVED
DEPT. OF SAFETY AND PROFESSIONAL SERVICES
DIVISION OF INDUSTRY SERVICES

SEE CORRESPONDENCE

Building ICC
Addition/Alteration - Level 2
DIS-072131617
CB-082100850
8/19/2021

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SITE PLAN
CODE REVIEW
SHEET INDEX

TENANT ALTERATIONS FOR
SOUTH WOOD EMERGENCY PANTRY SHELF
331 12th AVENUE S
Wisconsin Rapids, WI 54494

REVISIONS

SCHEM DES	8.12.20	
DES DEV	6.2.21	date
CON DOC'S	7.2.21	
APPROVAL	8.17.21	
REV 1		

DATE
May 14, 2021
PROJECT NO.
21 025

T100

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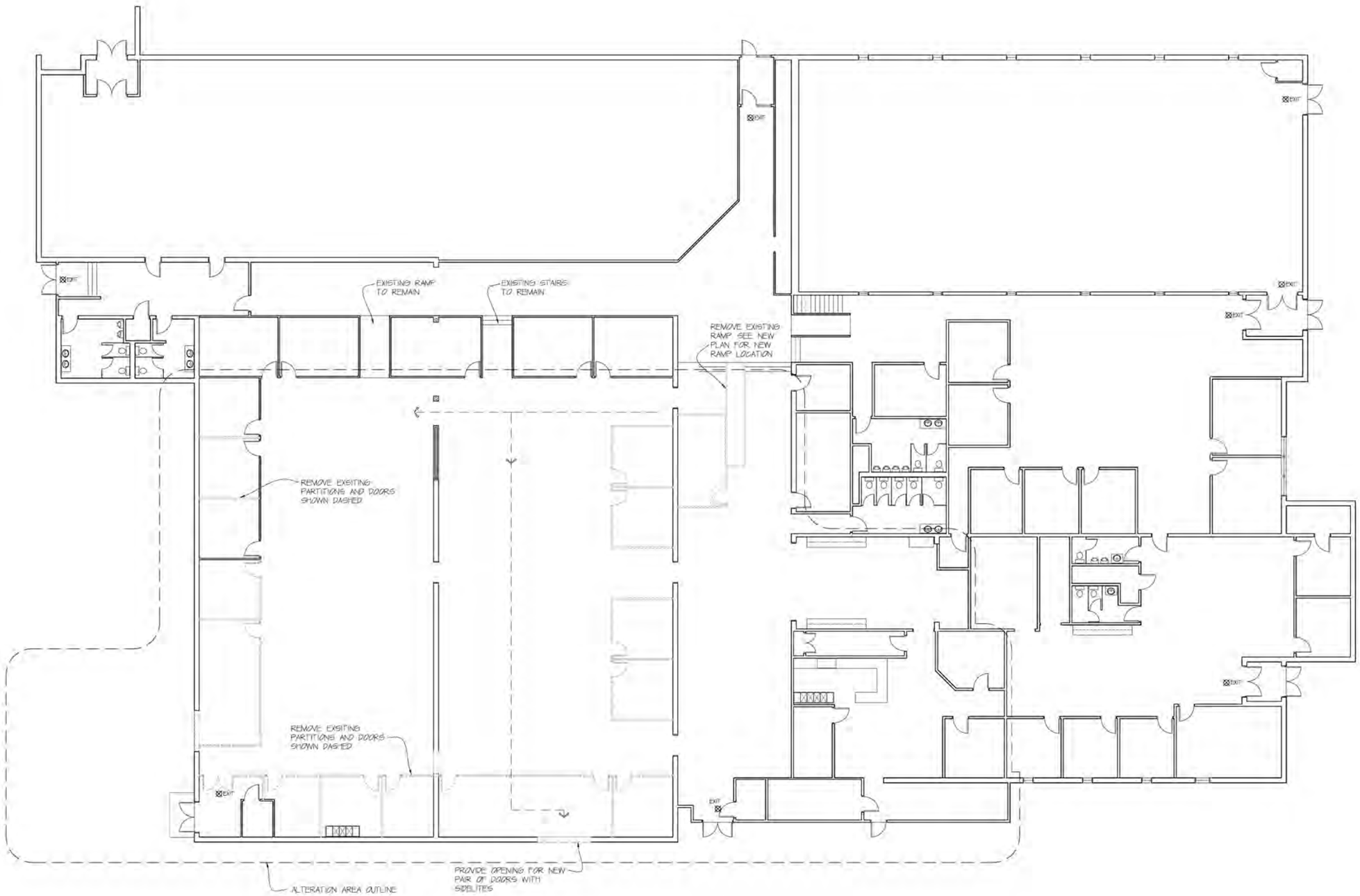

1 A100 EXISTING FLOOR PLAN

SCALE : 3/32" = 1'-0" FOR 24"x36" SHEETS

TOTAL EXISTING BUILDING AREA = 36,650 SF

ALTERATION ARE = 8,950 SF

0' 4' 8' 16'

NORTH

NEW PARTITION

EXISTING PARTITION TO REMAIN

TO BE DEMOLISHED

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EXISTING PLAN & DEMOLITION PLAN

TENANT ALTERATIONS FOR SOUTH WOOD EMERGENCY PANTRY SHELF
3311 12th AVENUE S
Wisconsin Rapids, WI 54494

REVISIONS

SCHEM DES	date	8.12.20
DES DEV		6.2.21
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DATE
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PROJECT NO
21 025

A100

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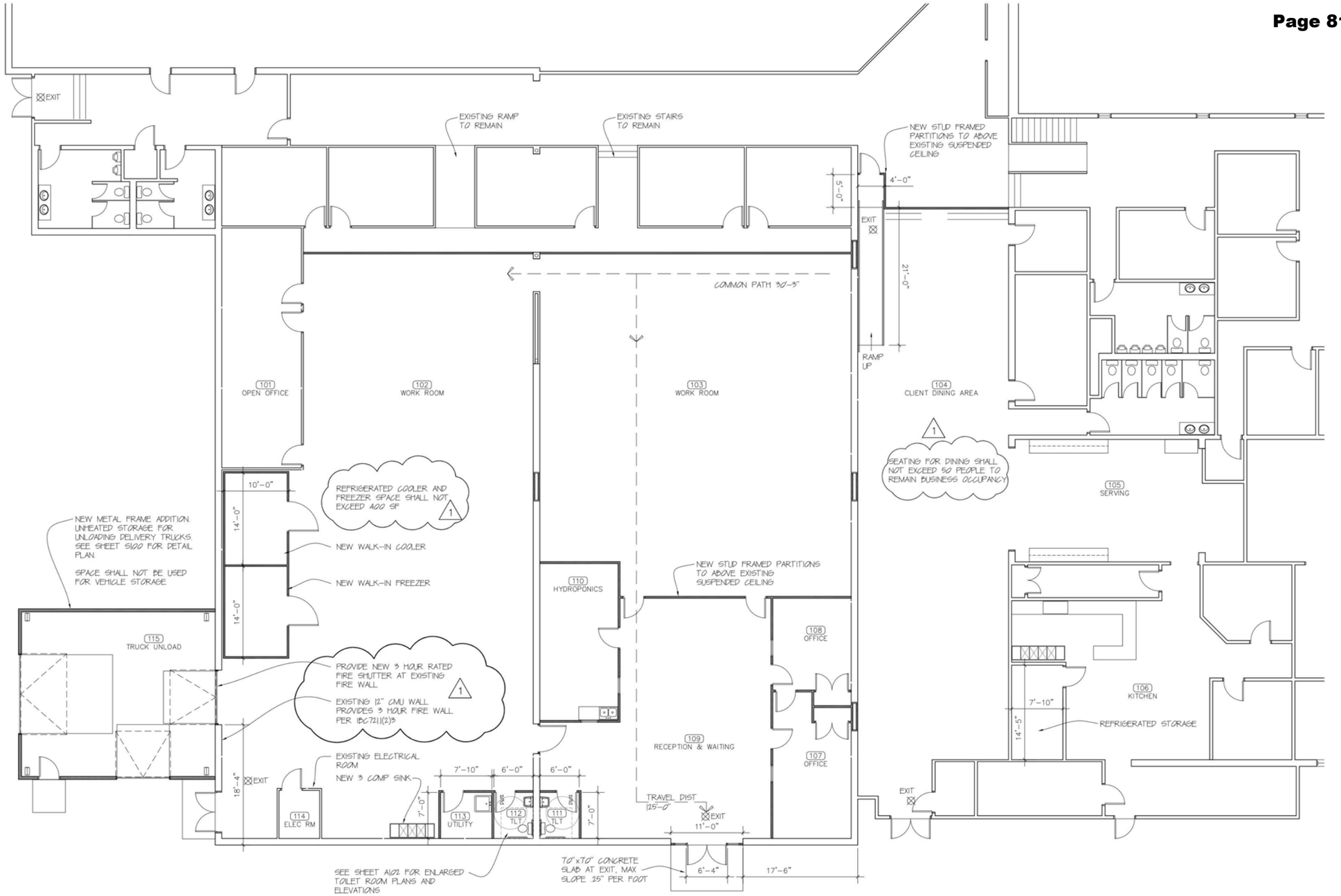

1 A101 PROPOSED FLOOR PLAN

SCALE : 1/8" = 1'-0" FOR 24"x36" SHEETS
SCALE : 1/16" = 1'-0" FOR 11"x17" SHEETS

0' 4' 8' 16'

NORTH

EXISTING LIGHTING SHALL BE USED FOR EXIT LIGHTING. PROVIDE EMERGENCY BATTERY POWERED EXIT LIGHTING OF 1.0 FOOTCANDLE MINIMUM AT ALL EXIT WALKING SURFACES TO EXIT DISCHARGE.

DIRECTIONAL EXIT LIGHTING SHALL BE INSTALLED AT NEW STORAGE AREA. EXIT SIGN PLACEMENT SHALL BE SUCH THAT NO POINT IN AN EXIT PASSAGE IS MORE THAN 100 FEET FROM THE NEAREST VISIBLE EXIT SIGN. EXIT LIGHTING SHALL BE BATTERY OPERATED IN CASE OF POWER OUTAGE FOR 90 MINUTES.

NEW PARTITION

EXISITNG PARTITION TO REMAIN

TO BE DEMOLISHED

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PROPOSED FLOOR PLAN

TENANT ALTERATIONS FOR SOUTH WOOD EMERGENCY PANTRY SHELF
331 12th AVENUE S
Wisconsin Rapids, WI 54494

REVISIONS

SCHEM DES.	8.1.20	
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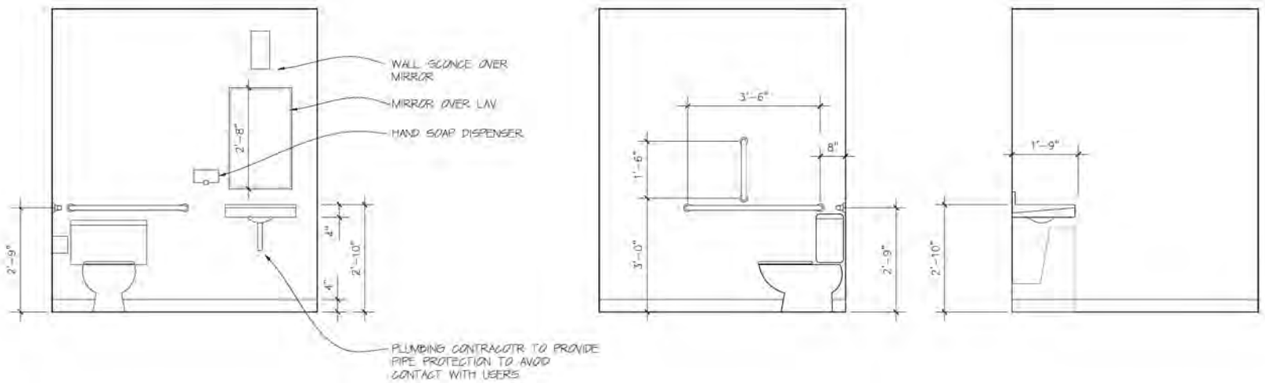
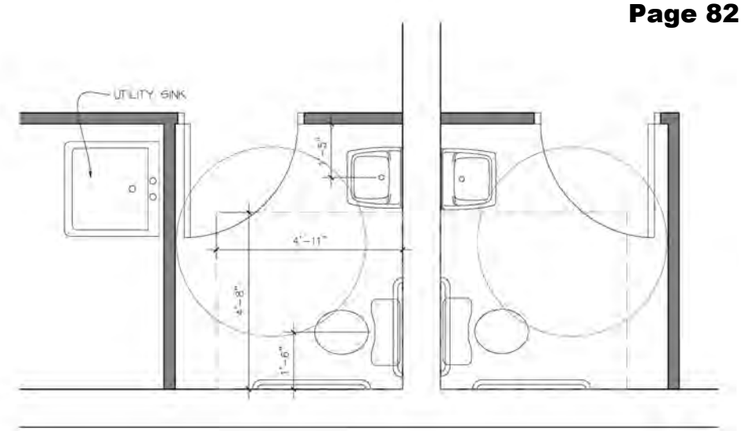


2 / A102 TOILET ROOM ELEVATION

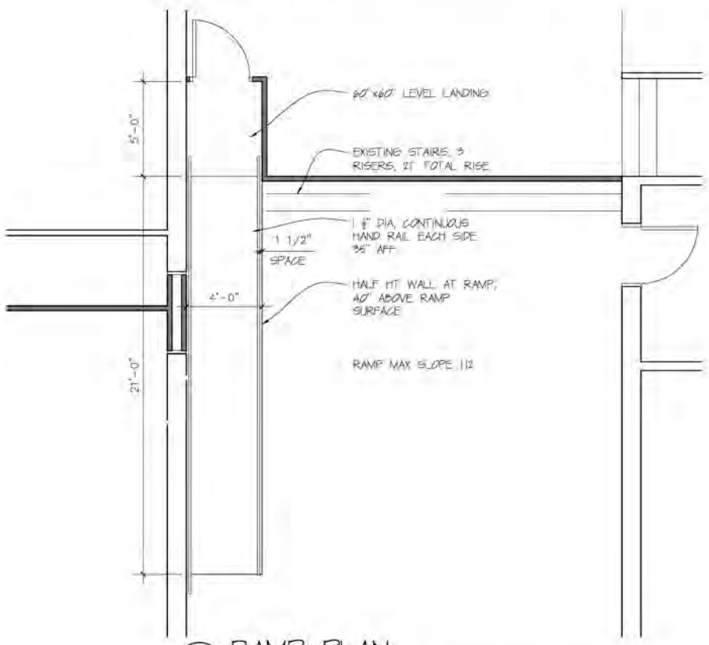
SCALE : 1/2" = 1'-0"



1 / A102 TOILET PLAN

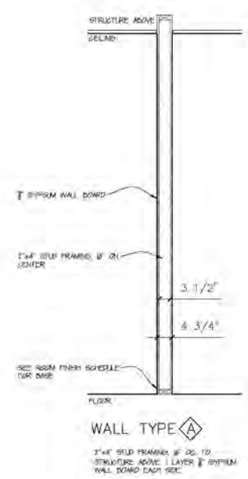
SCALE : 1/2" = 1'-0"

SEE SHEETS G101 & G102 FOR ADDITIONAL ACCESSIBLE TOILET ROOM CLEARANCES AND DIMENSIONS



1 / A102 RAMP PLAN

SCALE : 1/4" = 1'-0"

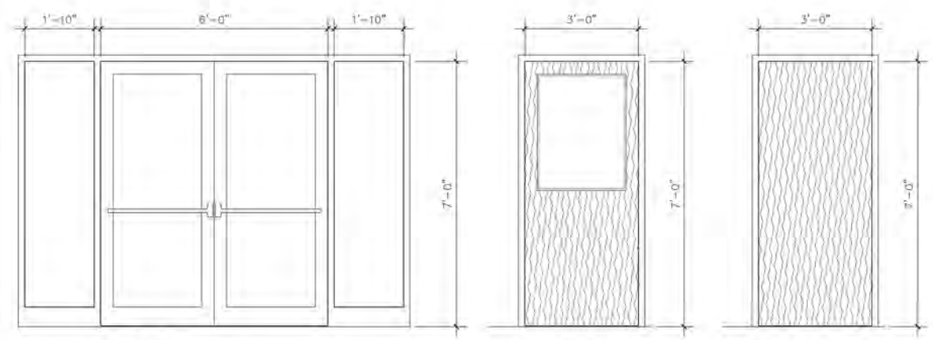


WALL TYPE A

3"x4" STUD FRAMING @ 24" O.C. TO STRUCTURE ABOVE. 1 LAYER 1" GYPSUM WALL BOARD EACH SIDE

3 / A103 WALL TYPES

SCALE : 1/2" = 1'-0"



DOOR TYPE A

ALUMINUM STORE FRONT ENTRY

DOOR TYPE B

PRE-HUNG SOLID CORE FLUSH WOOD DOOR WITH WOOD FRAME. SAFETY GLASS HALF LIGHT

DOOR TYPE C

PRE-HUNG SOLID CORE FLUSH WOOD DOOR WITH WOOD FRAME.

4 / A103 DOOR TYPES

SCALE : 1/2" = 1'-0"

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TOILET ROOM PLANS & INTERIOR ELEVATIONS

TENANT ALTERATIONS FOR SOUTH WOOD EMERGENCY PANTRY SHELF
331 12th AVENUE S
Wisconsin Rapids, WI 54494

REVISIONS

SCHEM DES	8.12.20	
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A102

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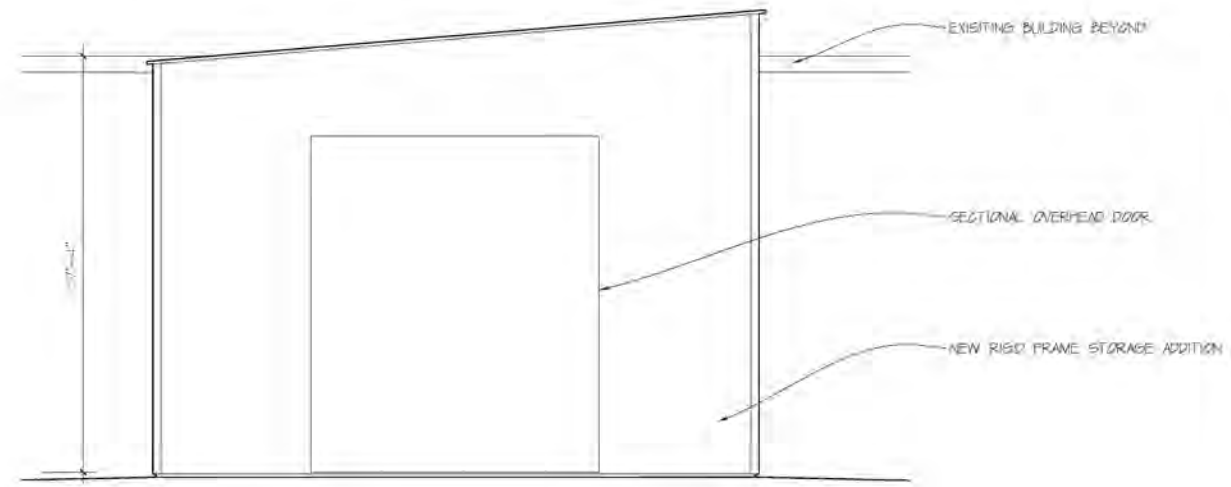
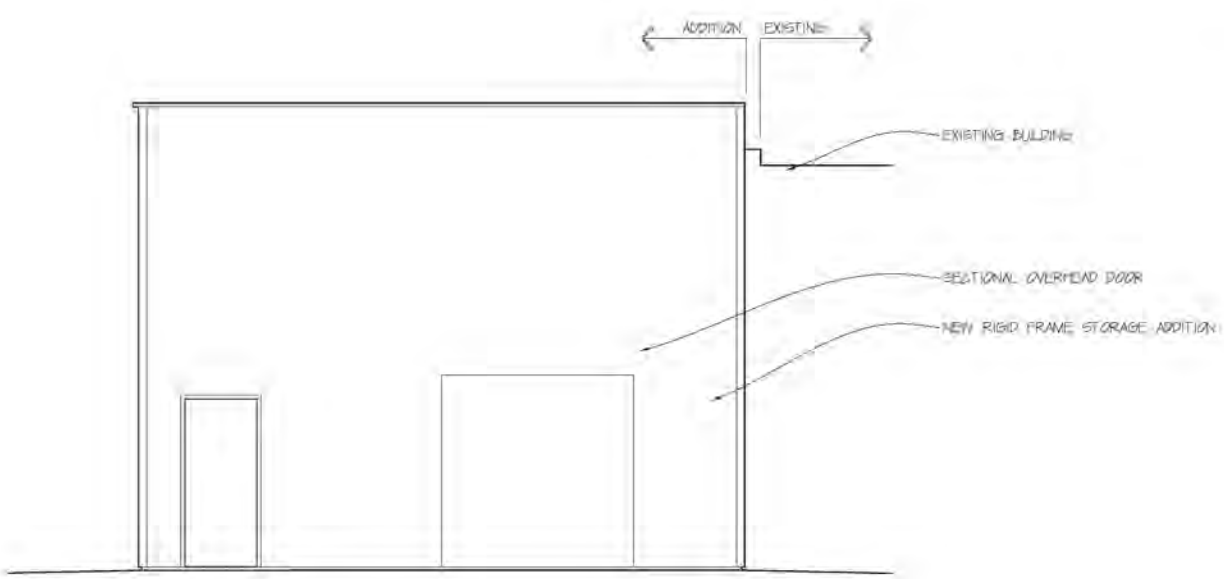
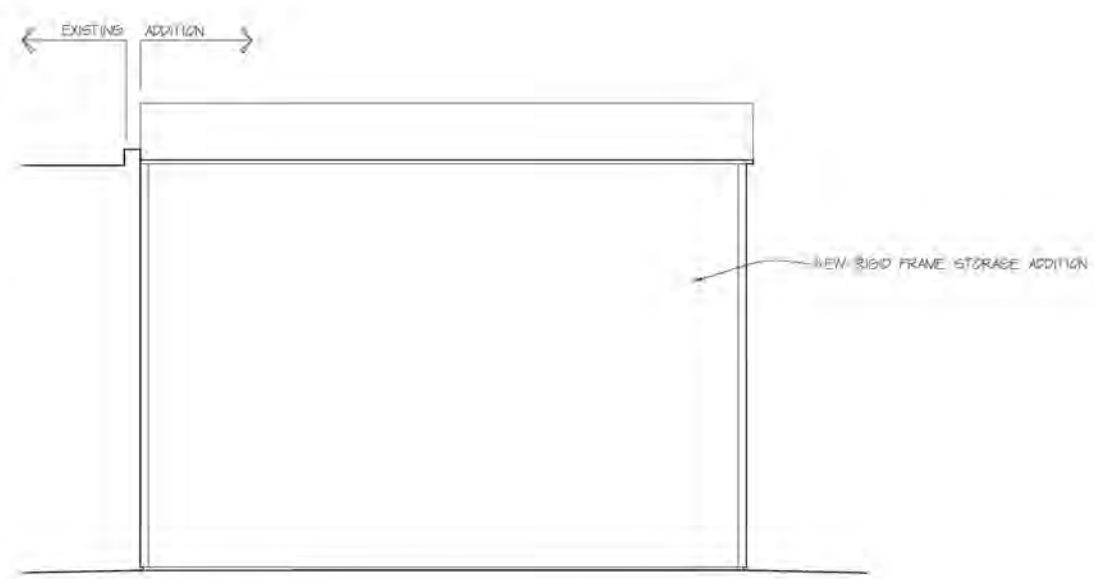


1 A201 SOUTH ELEVATION AT ADDITION
SCALE 1/4" = 1'-0"



2 A201 WEST ELEVATION AT ADDITION
SCALE 1/4" = 1'-0"



3 A201 EAST ELEVATION AT ADDITION
SCALE 1/4" = 1'-0"

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BUILDING SECTION & CONSTRUCTION DETAILS

TENANT ALTERATIONS FOR
SOUTH WOOD EMERGENCY PANTRY SHELF
331 12th AVENUE S
Wisconsin Rapids, WI 54494

REVISIONS

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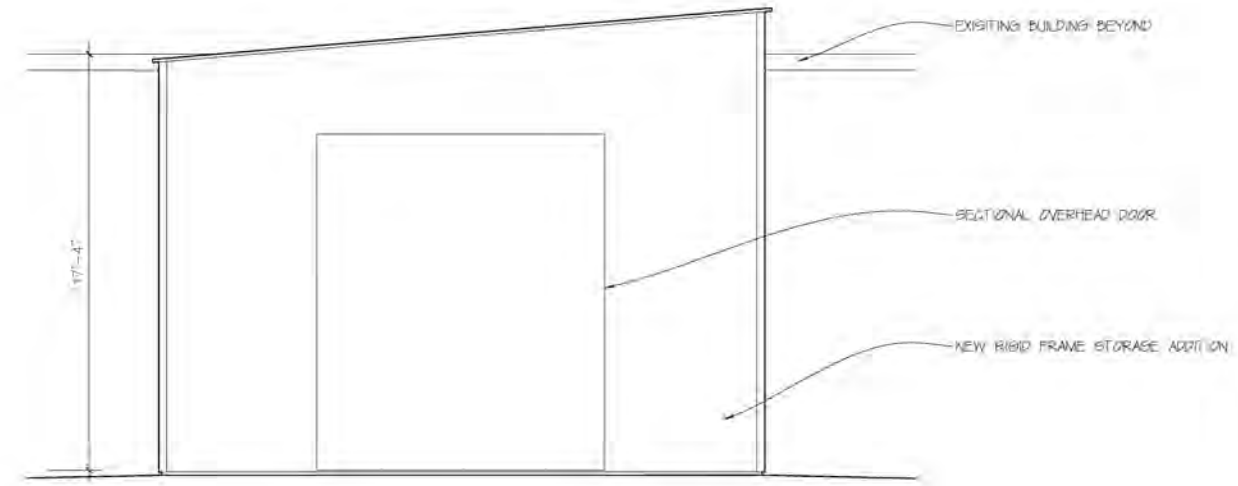
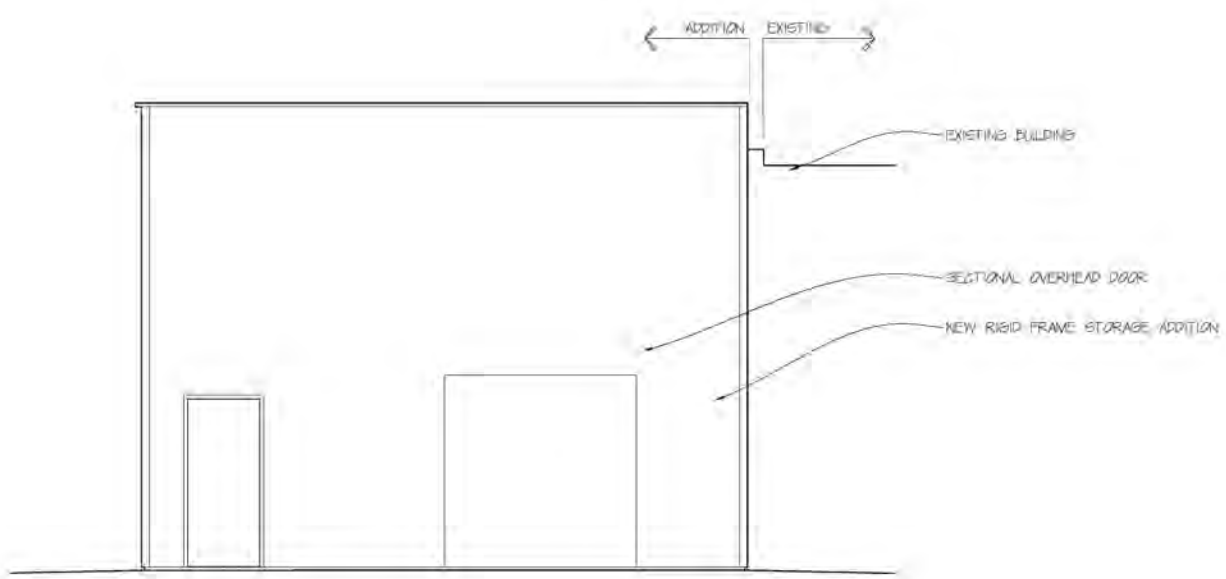
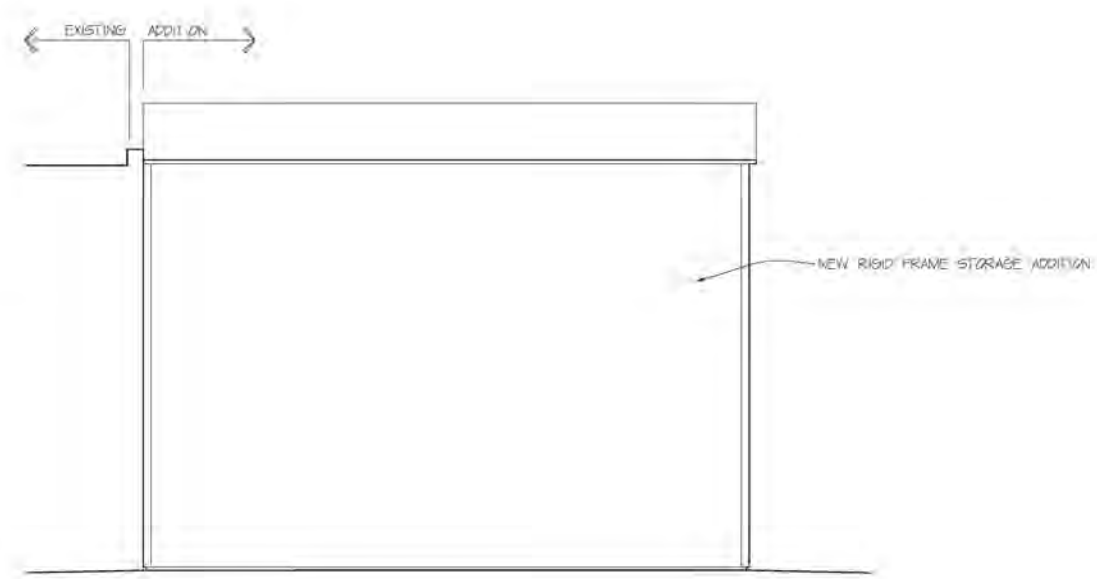


1 A201 SOUTH ELEVATION AT ADDITION
SCALE : 1/8" = 1'-0"



2 A201 WEST ELEVATION AT ADDITION
SCALE 1/8" = 1'-0"



3 A201 EAST ELEVATION AT ADDITION
SCALE : 1/8" = 1'-0"

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BUILDING SECTION & CONSTRUCTION DETAILS

TENANT ALTERATIONS FOR
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331 12th AVENUE S
Wisconsin Rapids, WI 54494

REVISIONS

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PROJECT NO
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A301

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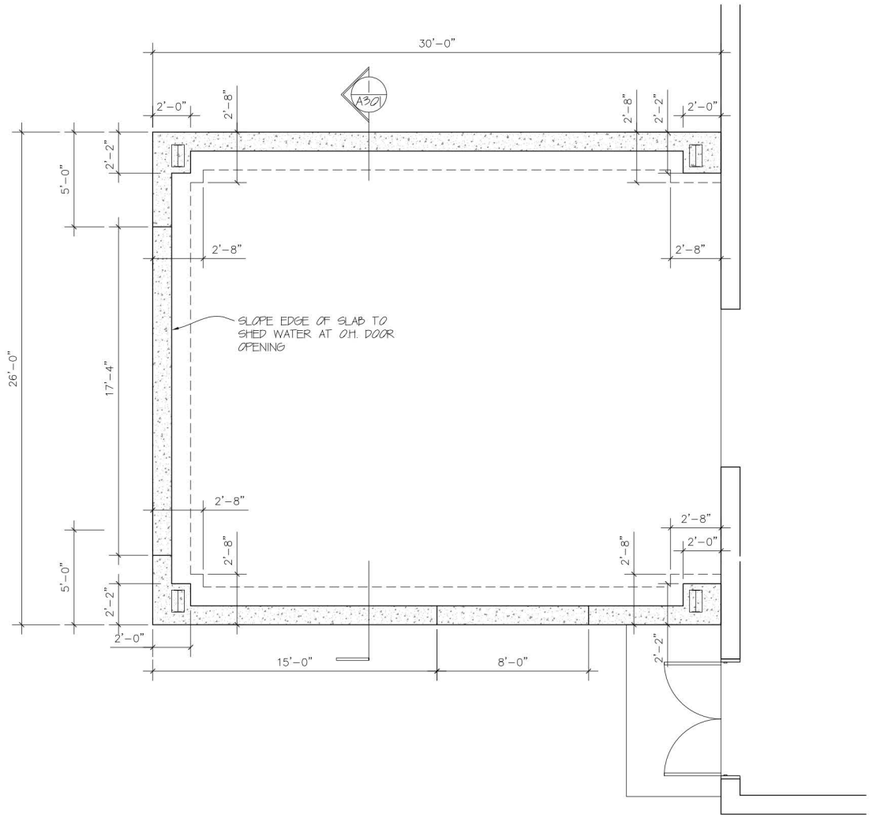


1 S1.00 PROPOSED FOUNDATION PLAN

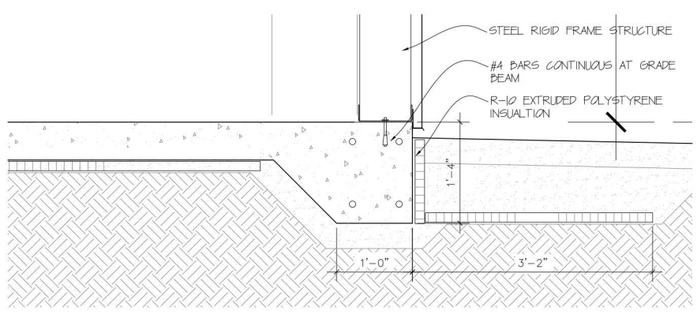
SCALE : 1/4" = 1'-0" FOR 24"x36" SHEETS
SCALE : 1/8" = 1'-0" FOR 11"x17" SHEETS

0' 2' 4' 8'

NORTH

ALL CAST-IN-PLACE CONCRETE SLABS FOOTINGS AND GRADE BEAMS SHALL BE MIXED TO ACHIEVE A COMPRESSIVE STRENGTH 4,000 PSI MINIMUM, AND SHALL BE AIR ENTRAINED.

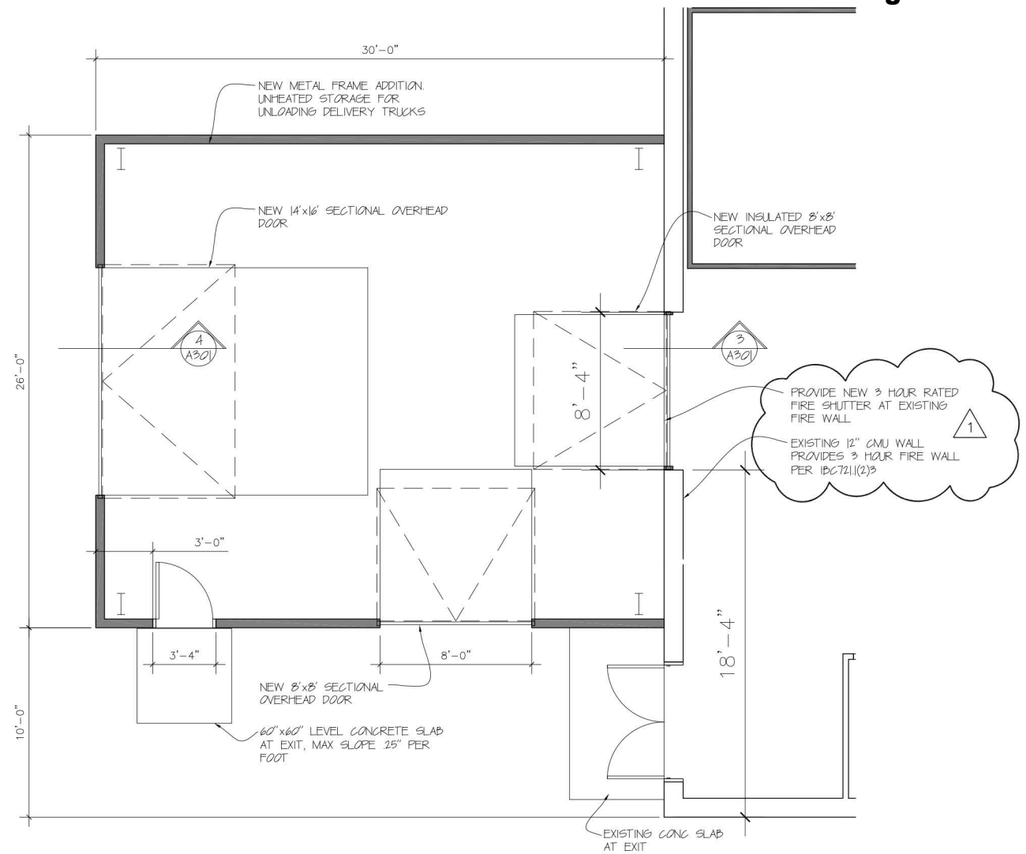
CONCRETE MIX SHALL CONTAIN FIBRILLATED FIBERMESH REINFORCING, 1.5 LBS PER CUBIC YARD.



3 S1.00 TYPICAL GRADE BEAM DETAIL

SCALE : 1" = 1'-0" FOR 24"x36" SHEETS
SCALE : 1/2" = 1'-0" FOR 11"x17" SHEETS

0' 6" 1' 2'



2 S1.00 PROPOSED ADDITION PLAN

SCALE : 1/4" = 1'-0" FOR 24"x36" SHEETS
SCALE : 1/8" = 1'-0" FOR 11"x17" SHEETS

0' 2' 4' 8'

NORTH

BUILDING SUPPLIER SHALL PREPARE STATE APPROVAL CALCULATIONS FOR SNOW LOADS AND LATERAL LOADS AS FOLLOWS:

BUILDING IS LOCATED IN	WOOD COUNTY		
GROUND SNOW LOAD	Pg =	40 PSF	
IMPORTANCE FACTOR	Is =	1.0	CATEGORY II
EXOSURE FACTOR	Ce =	1.0	EXPOSURE B
SLOPE FACTOR	Ps =	1.0	
THERMAL FACTOR	Ct =	1.2	UNHEATED STRUC
ROOF LOAD FORMULA	___ = 0.7 x Pg x Ps x Ce x I x Ct		
ROOF SNOW LOAD	33.6 = 0.7 x 40 x 1.0 x 1.0 x 1.0 x 1.2		

LATERAL LOADS SHALL BE BASED ON WIND SPEED OF 120 MPH, PSF LATERAL LOAD

TRUSS MANUFACTURER TO PREPARE AND PROVIDE STAMPED COPIES OF TRUSS PLANS AND ENGINEERED CALCULATIONS TO THE ARCHITECT FOR SUBMITTAL TO THE STATE PRIOR TO INSTALLATION OF THE TRUSSES.

TRUSS MANUFACTURER TO INCLUDE UNBALANCED AND SNOWDRIFT LOADS AT RIDGE IN THEIR CALCULATIONS. NEW TRUSS SYSTEM SHALL BE DESIGNED ACCORDINGLY.

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PROPOSED FLOOR PLAN

TENANT ALTERATIONS FOR
SOUTH WOOD EMERGENCY PANTRY SHELF
331 12th AVENUE S
Wisconsin Rapids, WI 54494

REVISIONS

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S1.00

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ARCHITECTURAL MATERIAL INDICATIONS

COMPACTED FILL
UNDISTURBED EARTH
DRAINAGE FILL

EARTHWORKS
CAST-IN-PLACE /PRECAST
GROUT

WALL DEFINITIONS
EXISTING CONSTRUCTION
NEW CONSTRUCTION
DEMOLITION

CONCRETE
CONCRETE BLOCK
BRICK
STONE

MASONRY
STEEL
ALUMINUM
BRASS /BRONZE

METAL
FINISH
ROUGH
PLYWOOD

WOOD
BATT/LOOSE FILL
RIGID

INSULATION
WOOD STUD
WOOD STUD (DETAIL)
METAL STUD (DETAIL)

PARTITION INDICATIONS
GRASS
SWAMP
GLASS

CIVIL INDICATIONS
MISC.

CIVIL SYMBOLS

DATUM
EXISTING GRADE ELEVATION
NEW GRADE ELEVATION
EXISTING CONTOUR
NEW CONTOUR
WATER MAIN
GAS MAIN
ELECTRIC
TELEPHONE
FIRE PROTECTION
STORM
SANITARY
FENCE
SILT FENCE
RAILROAD TRACKS
SETBACK LINE
CENTER LINE
PROPERTY LINE
CONSTRUCTION LIMIT

SWALE LINE W/ DIR. OF FLOW
2.0% DIRECTION OF PITCH WITH % OF SLOPE
U.P. UNIFORM PITCH
H.P. HIGH POINT
D.S. DOWNSPOUT
C.O. CLEANOUT FLUSH WITH GRADE
C.B. CATCH BASIN
M.H. MANHOLE
P.P. POWER POLE
L.P. LIGHT POLE
F.H. FIRE HYDRANT
INLET PROTECTION
CHANNEL PROTECTION
TRACKING PROTECTION
EXIT TO GRADE
ACCESSIBLE ROUTE

MISCELLANEOUS SYMBOLS

WC WATER CLOSET
WC/T WATER CLOSET (TANK)
U URINAL
LAV LAVATORY
SINK SERVICE SINK
DF DRINKING FOUNTAIN
EWS EYE WASH
PROJECTION SCREEN

WM WATER METER
SS SAFETY SHOWER
HB HOSE BIBB
WH WALL HYDRANT
FD FLOOR DRAIN
EXIT LIGHT-WITH DIRECTIONAL ARROW(S). SHADED AREA INDICATES ILLUMINATED FACE(S)
EMERGENCY LIGHTS
FE SEMI RECESSED FIRE EXTINGUISHER
FE WALL MOUNTED FIRE EXTINGUISHER

SECTIONS AND DETAILS

PARTIAL SECTIONS CUT ON PLANS, ETC. ARE SHOWN AS FOLLOWS:
SECTION LETTER
SECTION SHEET

BUILDING SECTIONS CUT ON PLANS, ETC. ARE SHOWN AS FOLLOWS:

INTERIOR ELEVATIONS SHOWN AS FOLLOWS:
ELEVATION NUMBER
ELEVATION SHEET

DETAILS OF SPECIFIC ITEMS ON PLANS, ETC. ARE SHOWN AS FOLLOWS:
DETAIL NUMBER
DETAIL SHEET NUMBER

DETAIL INDICATOR FOR SMALL CONDITIONS ARE SHOWN AS FOLLOWS:
DETAIL NUMBER
DETAIL SHEET NUMBER

SPECIFIC DETAILS ARE SHOWN ON DETAIL SHEET AS FOLLOWS:

1 A101 **FLOOR PLAN** 1/4" = 1'-0"

ARCHITECTURAL SYMBOLS

NAME 101 VESTIBULE 4'-0" x 4'-7" NUMBER
ROOM IDENTIFIER
NOMINAL SIZE OR S.F.
MATCH LINE SEE XX/X-XXX
MATCH LINE INDICATOR
DOOR INDICATOR
WINDOW INDICATOR
EQUIPMENT NUMBER
KEYNOTE INDICATOR
REVISION INDICATOR
CEILING HEIGHT INDICATOR
PARTITION TYPE INDICATOR
COLUMN REFERENCE GRID
T.O.F. ELEV = 614'-0" T.O.P. ELEV = 614'-0"
ELEVATION MARKER +95'-0"
HANDICAP
PLAN NORTH
101'-10" SPOT ELEVATION
LOW SIDE
RECESSED SLAB CONDITION

GENERAL NOTES

NOTES APPLY TO ENTIRE DOCUMENT SET.

SHEET NOTES

NOTES APPLY ONLY TO SHEET.

KEYNOTES

NOTES APPLY ONLY WHERE INDICATED BY SYMBOL.

STANDARD ABBREVIATIONS

AB anchor bolt
A/C air conditioning
AFF above finished floor
ALUM aluminum
ALT alternate
AP access panel
ASPH asphalt

BD board
BLDG building
BLKG blocking
BM beam, bench mark
BO by others
BRG bearing
BS both sides
BTM bottom

CF cubic feet
CJ construction joint
CLG ceiling
CLJ control joint
CLK caulk(ing)
CMU concrete masonry unit
CO cleanout
COL column
CONC concrete
CONT continue, continuous
CONTR contract(or)
CPT carpet(ed)
CR curb ramp
CT ceramic tile
CY cubic yard

DBL double
DF drinking fountain
DIA diameter
DIM dimension
DN down
DR door, drain
DS down spout
DTL detail
DW dishwasher
DWALL drywall
DWG drawing

EA each
EIFS exterior finish insulation system
EL elevation
ELEC electric(al)
ELEV elevator
EPDM ethylene, propylene, diene terpolymer
EPS extruded polystyrene insulation
EQUIP equipment
EW each way
EWC electric water cooler
EXH exhaust
EXIST existing
EXP exposed, expansion
EXT exterior
FAC fire access cabinet
FD floor drain
FE fire extinguisher
FIN finish
FLR floor
FLUR fluorescent
FND/N foundation
FT foot
FTG footing, fitting

G gas
GA gauge
GALV galvanized
GB grab bar
GC general contract(or)
GL glass, glazing
GYP gypsum
HB hose bib
HC hollow core
HDWR hardware
HGT height
HM hollow metal
HORIZ horizontal
HTG heating
HVAC heating/ventilating/air conditioning
HW hot water
HYD hydrant

ID inside diameter
IE invert elevation
IN inch
INCL include(d), including
INSUL insulate(d), insulation
INT interior

JST joist
JT joint

LAV lavatory
LF linear foot
LL live load

MANUF manufactured
MAX maximum
MB mop basin
MECH mechanical
MEMB membrane
MFR manufacturer
MIN minimum
MISC miscellaneous
MO masonry opening
MTL metal

NIC not in contract
NO number
NOM nominal
NTS not to scale

OC on center
OD outside diameter
OH overhead, overhang
OPNG opening

PART partition
PCF pounds per cubic foot
PKT pocket
PLAS plastic
PLBG plumbing
PLF pounds per lineal foot
PNL panel
POLY polyethylene
PROJ/J project, projected
PROP property
PSF pounds per square foot
PSI pounds per square inch
PT pressure treated
PTD point(ed)
PVC polyvinyl chloride
PVMT pavement
PWD plywood

QT quarry tile

R radius, riser
RA return air
RD roof drain
REF refrigerator
REINF reinforcing
REQD required
REV revise, revision
RM room
RO rough opening

SA supply air
SC solid core
SF square foot
SH shelf, shelving, shower
SHT sheet
SIM similar
SPKR speaker
SQ square
SS stainless steel
STC sound transmission coefficient
STD standard
STL steel
SUSP suspended
SY square yard

T tread
TELE telephone
T/G tongue and groove
THK thick(ness)
TOF top of footing
TOS top of steel
TOW top of wall
TYP typical

UH unit heater

VB vapor barrier
VCT vinyl composition tile
VERT vertical
VT vinyl tile

W water
W/ with
WD wood
W/O without
WP waterproof(ing)
WSCT wainscot
WWF welded wire fabric

∠ angle
℄ centerline
Ø diameter
square/square foot
PL plate

MOUNTING HEIGHTS & CLEARANCES

APPROACH
24" MIN.
48" MIN.
* 48" MIN. IF DOOR HAS CLOSER
* 34" MIN. IF DOOR HAS CLOSER
LATCH SIDE APPROACH – SWINGING DOORS
54" MIN.
NOTE: X = 36" MIN. IF Y = 60"
X = 42" MIN. IF Y = 54"
* 48" MIN. IF DOOR HAS BOTH A LATCH & CLOSER
HINGE SIDE APPROACH – SWINGING DOORS
18" MIN.
60" MIN.
NOTE: X = 12" MIN. IF DOOR HAS BOTH A LATCH & CLOSER
FRONT APPROACH – SWINGING DOORS
HOSE VALVE
FLOOR LINE
5'-3 3/16"
5'-8 7/8"
FIRE HOSE CABINET
2'-0 3/16"
SIAMESE
1 1/4"-1 1/2"
1 1/2"
2X10 BLOCKING AS REQ'D
GRAB BARS
SCREEN WALLS OR SHELVES DO NOT EXTEND BEYOND RIM
3'-0" STANDARD 3'-5" HANDICAPPED
HAND/HAIR DRYER
PAPER TOWEL DISPENSER
3'-1 1/4"
SOAP DISPENSER
3'-1 7/4"
42" min.
CLEAR FLOOR SPACE
30" min.
60" min.
17" max.
19" max.
48" min.
CLEAR FLOOR SPACE @ FIXTURES
30" X 48" CLEAR FLOOR SPACE
29" (735 mm) CLEAR
12" MAX.
3'-3 1/8" MIN.
24" MIN. 36" PREF.
5 3/4"
7'-9"
15" MIN.
3'-0"
17"-18"
WATER CLOSET
LEVEL OF COIN SLOT
3'-1 1/16"
2'-3 1/16"
SANITARY NAPKIN-TAMPON DISPENSER
SANITARY NAPKIN DISPOSAL UNIT
LAVATORY CLEARANCES
TOP OF UP
1'-10 5/16" STANDARD 1'-5" HANDICAPPED 1'-6" PREFERRED
MIRROR
PIPE PROTECTION REQUIRED LAVATORY
4'-6"
11 3/16"
3'-3 1/16"
1'-4 3/4"
3'-1 1/4" MAX.
URINAL
8" min.
6" max.
17" min. depth
PARTITION AT TOILET
PARTITION AT URINAL
TOWEL DISPENSER/ WASTE RECEPTACLE
1'-10 3/8"
6'-0 5/16" (MIN.)
3'-8 11/16"
5'-6" (MAX.) 5'-0" (PREF.)
3'-9 13/16"
1'-10 3/8"
3'-1 1/4"
3'-7 11/16"
HOSE BIBB
CLOCK
SHOWER VALVE
SHOWER HEAD
ROBE HOOK
TOILET PAPER HOLDER
EWC

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arccentralinc@outlook.com 715-572-2698

SYMBOLS & LEGENDS

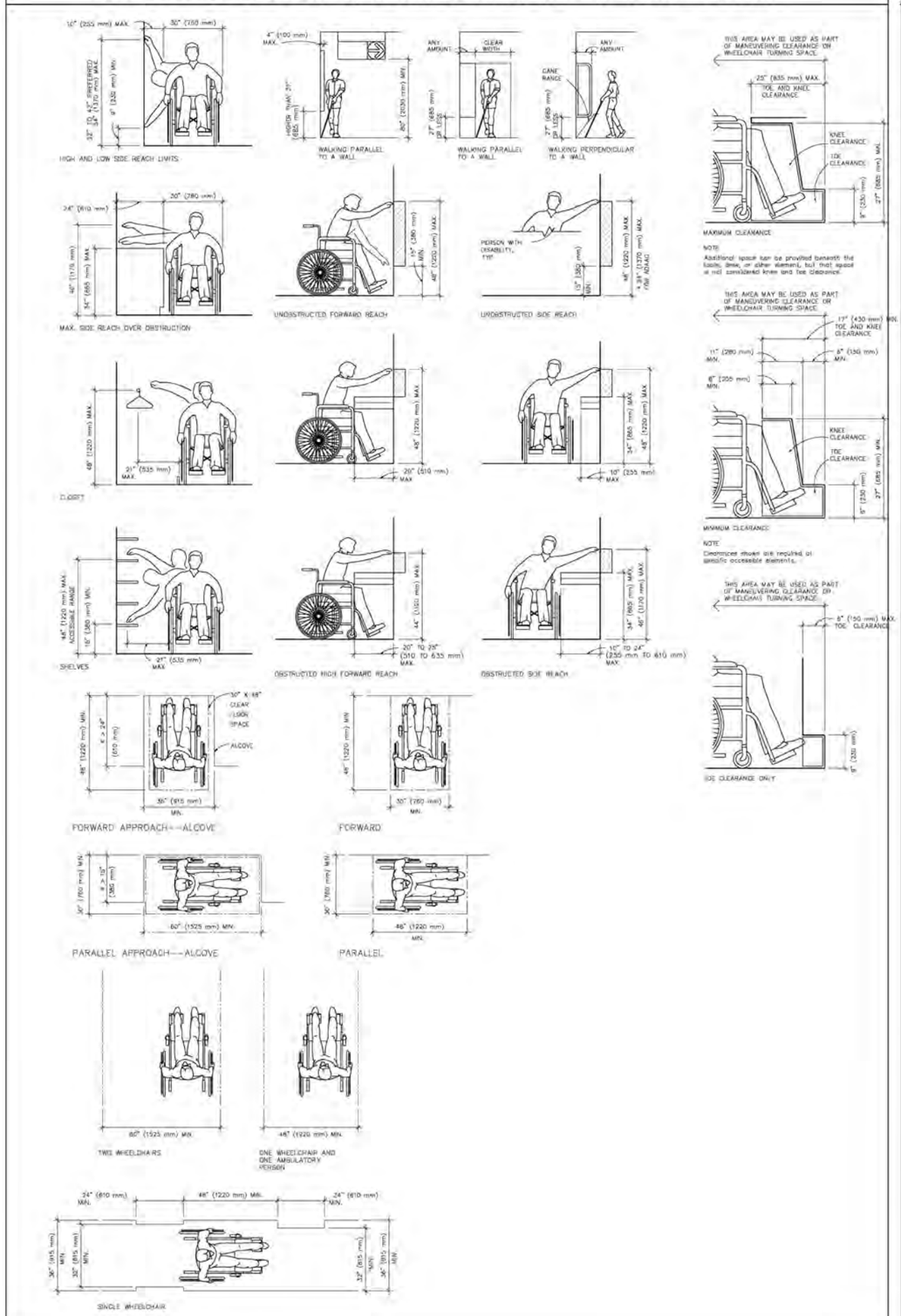
TENANT ALTERATIONS FOR SOUTH WOOD EMERGENCY PANTRY SHELF
331 12th AVENUE S
Wisconsin Rapids, WI 54494

REVISIONS
SCHEM DES 8/2/20
DES DEV 6/21/21
CON DOCS date 7/21
APPROVAL 8/17/21
REV 1

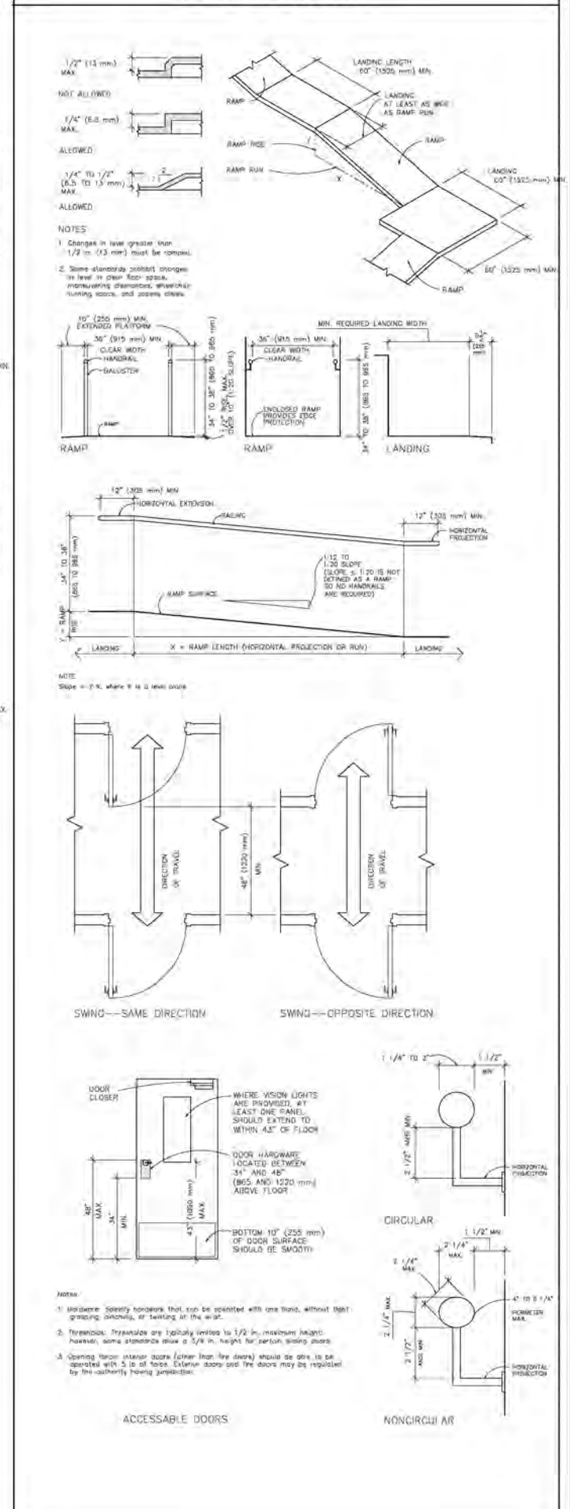
DATE May 14, 2021
PROJECT NO. 21 025

G101

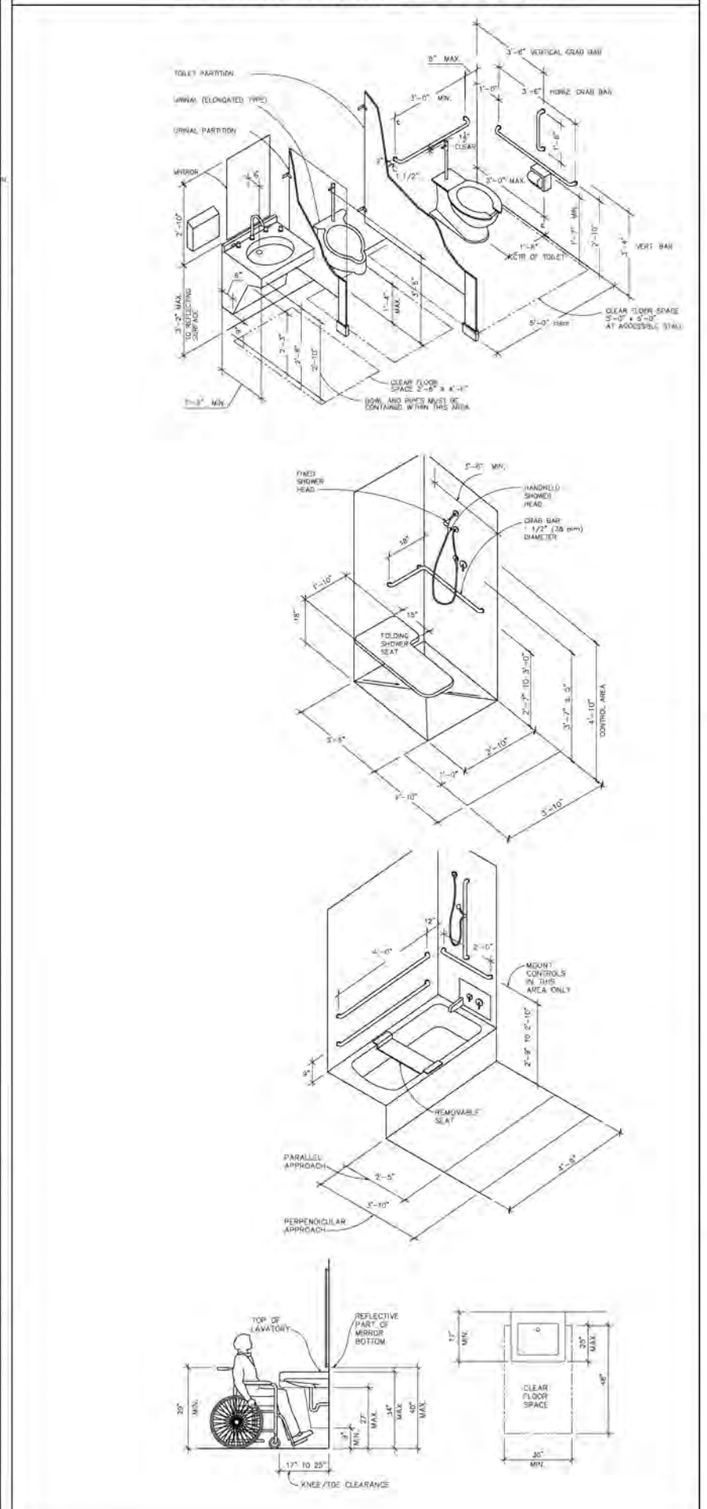
MANUEVERING CLEARANCES, REACH RANGES, & PROTRUDING OBJECTS



RAMPS & DOORS



MOUNTING HEIGHTS & CLEARANCES



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SYMBOLS & LEGENDS

TENANT ALTERATIONS FOR
SOUTH WOOD EMERGENCY PANTRY SHELF
331 12th AVENUE S
Wisconsin Rapids, WI 54494

REVISIONS

SCHEM DES		8.12.20
DES DEV		6.21.21
CON DOCS		date 7.2.21
APPROVAL		8.17.21
REV 1		

DATE
May 14, 2021
PROJECT NO
21 025

G102

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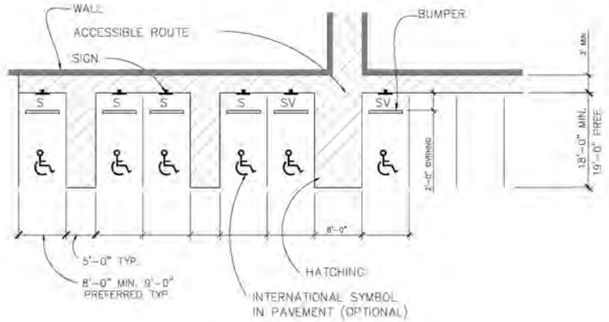
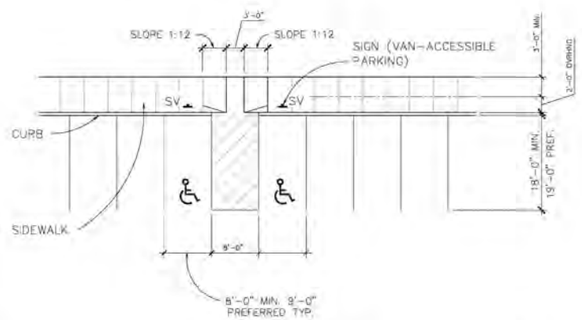
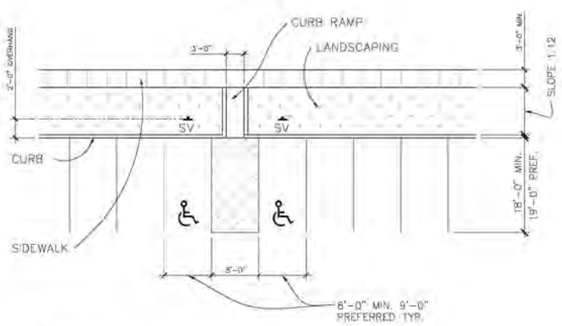
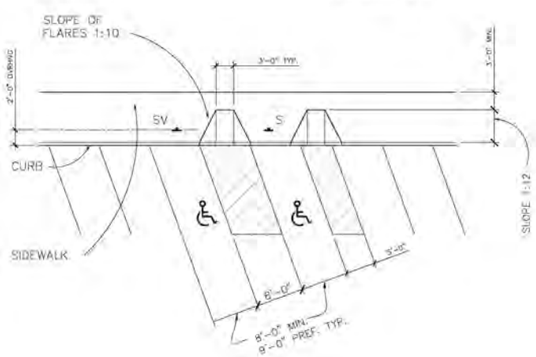
MANUEVERING CLEARANCES, REACH RANGES, & PROTRUDING OBJECTS

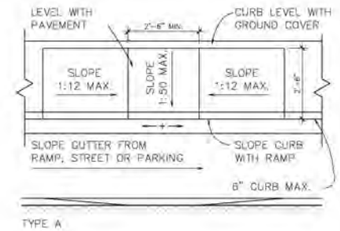








ACCESSIBLE SIDEWALK RAMPS



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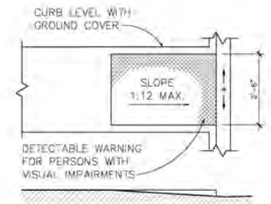
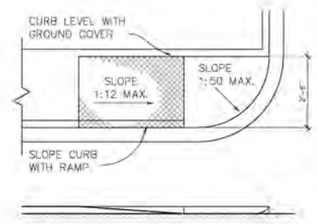
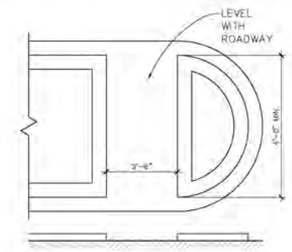


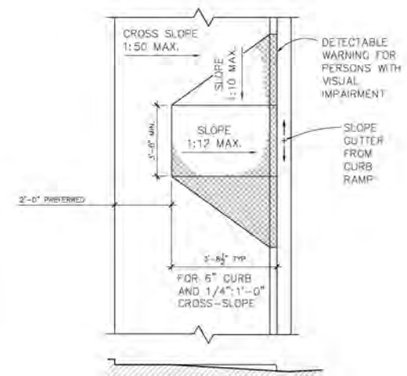
TYPE B



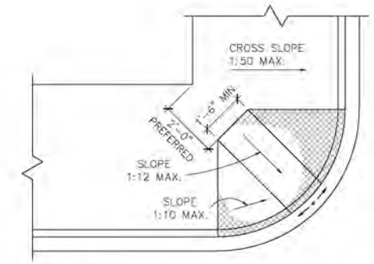
TYPE C



TYPE D



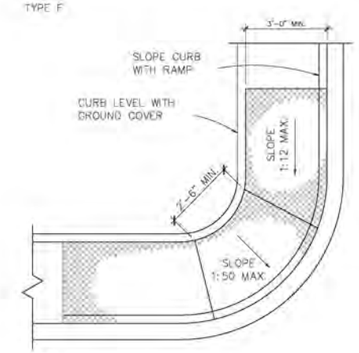
TYPE E



NOTE

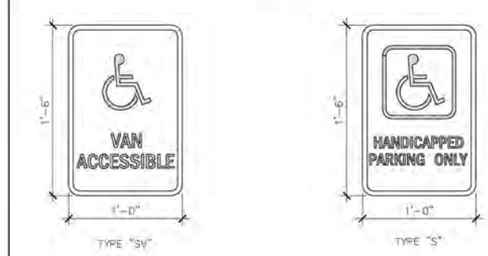
If the 4 ft 0 in. preferred dimension cannot be met for type F, the 1:10 slope becomes 1:12 maximum.

TYPE F



TYPE G

SIGNS



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ACCESLE SIBPARKING & SIDEWALK DETAILS

TENANT ALTERATIONS FOR SOUTH WOOD EMERGENCY PANTRY SHELF
331 12th AVENUE S
Wisconsin Rapids, WI 54494

REVISIONS

SCHEM DES 8.12.20
DES DEV 6.21.21
CON DOCS Date 7.2.21
APPROVAL 8.17.21
REV 1

DATE
May 14, 2021
PROJECT NO
21 025

G103

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Administrative Staff Report

Matalco
Site Plan & Architectural Review
4800 Commerce Drive
September 9, 2021

WISCONSIN RAPIDS
Department of Community Development

Applicant(s):

- Mitch Altman, representing Matalco

Staff:

- Kyle Kearns

Parcel Number(s):

- 3409861

Lot Information:

- Effective Frontage: 1,170 feet
- Effective Depth: 2,400 feet
- Acreage: 65.71 Acres

Zone(s):

- "M-1" General Industrial District

Council District:

- District 4

Master Plan:

- Commercial

Current Use:

- Manufacturing

Applicable Regulations:

- Chapter 11 - Zoning

Request

PLAN-21-0882; Mitch Altman, representing Matalco – request for a site plan review to construct a building at 4800 Commerce Drive (Parcel ID 3409861)

Attachment(s)

1. Application
2. Site Plan
3. Building Renderings

Findings of Fact

1. The applicant is requesting to construct an accessory building east of the primary building.
2. The new structure is 22,000 square feet, and 40 feet high.
3. The property is zoned "M-1" General Industrial District.
4. A manufacturing use is permitted in the M-1 District
5. A building plan – architectural review (AR), plan of operation (PO), site plan (SP), and zoning permit (ZP) are required.

Staff Recommendation

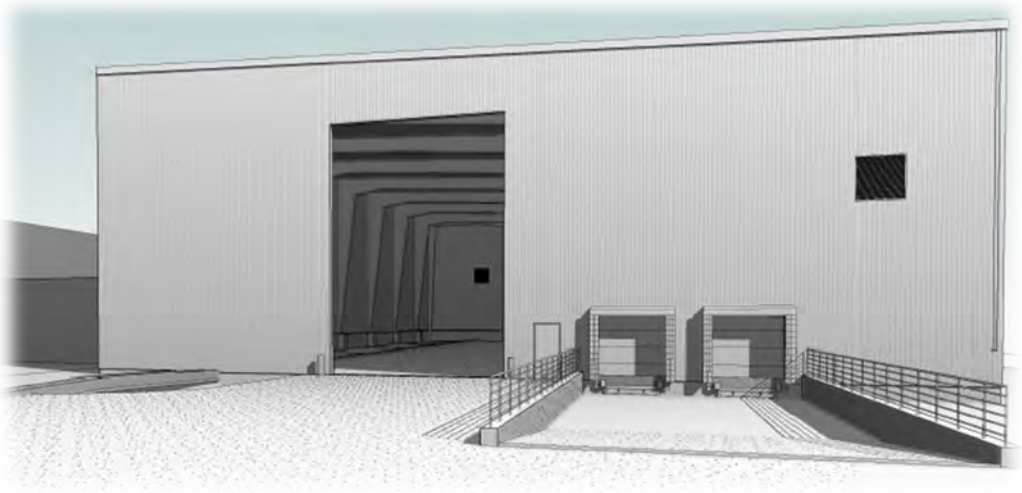
Approve the request from the applicant for site plan review and architectural review to construct a building at 4800 Commerce Drive (Parcel ID 3409861), subject to the following condition(s):

a) Cut-off lighting fixtures shall be installed on all façades.
b) Light from the business shall not exceed 0.2 foot-candles at neighboring commercial property lines or 0.1 foot-candles at neighboring residential property lines.
c) The exterior materials of the building shall match the design and color of the principal building.
d) Applicable permits through the City shall be obtained, along with from other jurisdictions, such as the Wisconsin Department of Natural Resources.
e) Community development staff shall have the authority to approve minor modifications to the plans.

Vicinity Map

Background

Matalco is proposing to construct an approximate 22,000 (190' x 116') square foot, 40-foot-high building to house equipment and material associated with the use. Plan Commission shall review the site plan and architecture for the new building. The submitted plans and renderings are attached and have been reviewed further below.



Standards of Review

1) **Use**

Analysis: A manufacturing use is permitted in the M-1 District. The use currently exists and is proposed to be expanded, primarily to house equipment and material used in the manufacturing of aluminum billet.

Findings: Note that a building plan – architectural review (AR), plan of operation (PO), site plan review (SP), and zoning permit (ZP) are required.

2) **Dimensional Standards**

Analysis: The M-1 district requires 40,000 square feet, and the lot is over 65 acres. The building footprint is east of the existing building and meets applicable setbacks. The proposed building easily meets the building coverage ratio (70% max.) and impervious surface ratio (90% max.) for the M-1 District. Along with the expansion, the area is going to be paved as well (14,922 square feet).

Findings: The applicable dimensional standards are met.

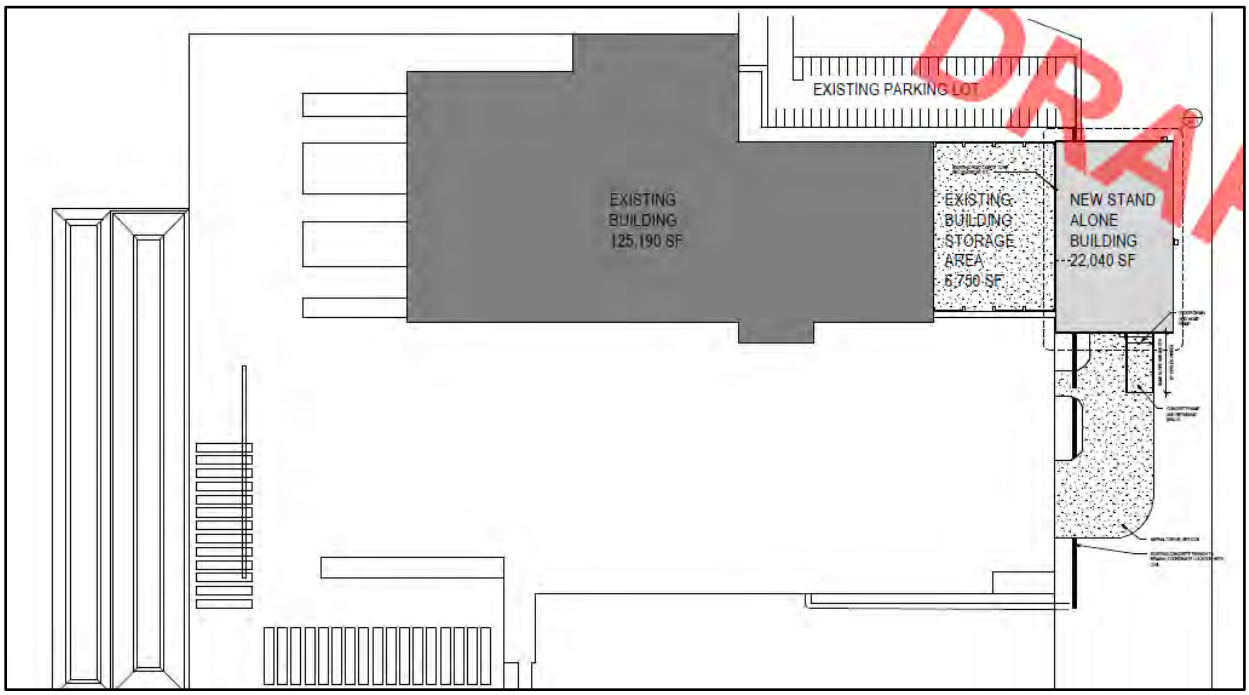
3) **Ingress/Egress**

Analysis: The existing driveway on 48th Street North will remain as the primary ingress/egress to the site. Proposed pavement for the new building will match the existing pavement to the southwest.

Findings: Driveway standards are met, as the proposed improvements do not change ingress/egress to the site.

4) **Parking**

Analysis: The use requires 1space for each employee on the largest work shift; plus 1 space for each fleet vehicle parked on site. Matalco runs 2-3 shifts and employs approximately 65 people. Approximately 57 parking stalls exist on site. The proposed building will not affect the employment of the operation or number of fleet vehicles parking on the property.



Findings: The development meets the parking requirements with the existing stalls onsite.

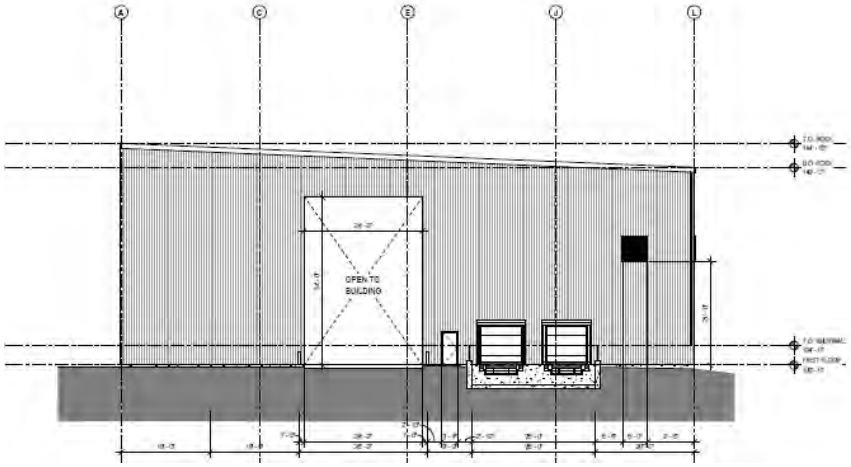
5) **Landscaping**

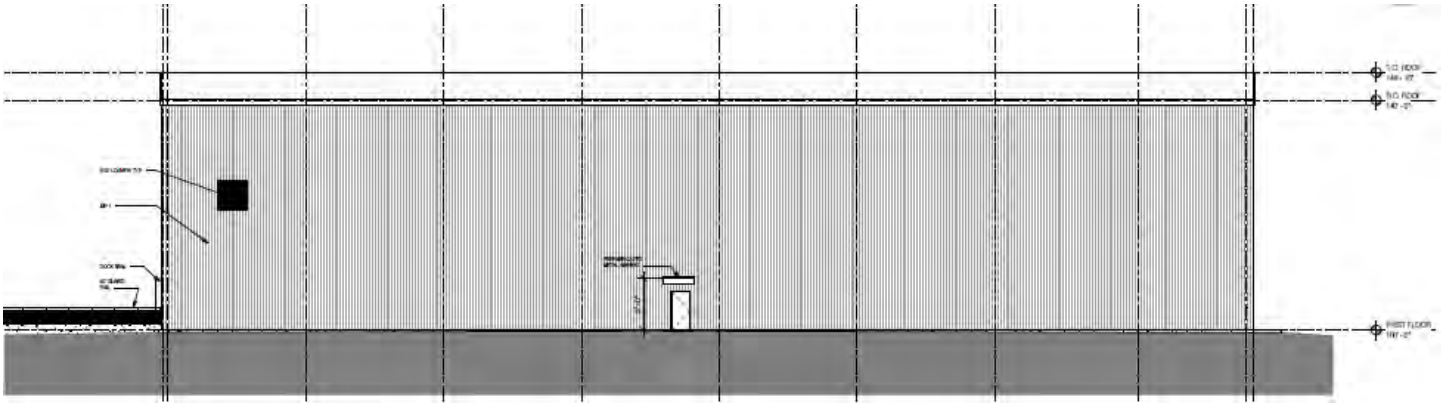
Analysis: The proposed building would trigger building foundation landscaping to be required: A minimum of 40 landscape points shall be provided on a prorated basis for every 100 feet of building foundation perimeter. The building has 612 lineal feet of foundation, meaning 245 perimeter landscape points could be required.

Findings: Upon review, staff have determined that the proposed stand-alone building is accessory to the principal structure and would not require landscaping under section 11.16.41, which pertains to principal buildings.

6) **Architectural Review**

Analysis: Elevations have been submitted, showing the building façade as a metal panel sided building. Furthermore, the roof is also metal, and a large opening exists within the building to accommodate the manufacturing operations on site. Two loading docks are proposed adjacent to the building opening on the south façade, along with 3 service doors on three façades.





Findings: The accessory structure shall have exterior materials that are the same as, substantially the same as, or complement material use on the principal building. The main buildings consists of a standing seam metal roof, metal siding, similar service doors and louvers. Given the accessory nature of the building and use, additional architectural features, such as windows, are not required. Staff would require that the siding match the principal building in color and design.

7) **Lighting & Photometric Plan**

Analysis: Regulations for onsite lighting are related to light trespass (foot-candles) beyond the property line and total lighting levels (lumens). Lighting from the business use should not exceed 0.1 foot-candles at a neighboring residential property line. Minimal lighting will exist on all facades except the south, due to the primary access to the building.

Findings: The building will likely not create a large amount of light and is also nearly 500 feet from the adjacent property line; therefore, a lighting plan may not be required. Staff would recommend cut-off lighting fixtures be

used on all elevations, and that the lighting from the business not exceed 0.1 foot-candles at a neighboring residential property line.

In summary, the proposed building is permitted and appropriate for the existing use and site. Furthermore, the building and additional site improvements should not be detrimental to the use and operations at the site, nor within the vicinity. Therefore, staff would recommend approval of the site plan and architectural review, subject to the items mentioned above and summarized on page one of the staff report.

Site Plan & Plan of Operation Application
City of Wisconsin Rapids, Wisconsin
Version: January 3, 2019

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The Planning Commission reviews site plans and plans of operation for those land uses specifically requiring such review as listed in the land-use matrix (Appendix A of the zoning code).

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at https://wisconsinrapids.zoninghub.com/

Application fee: $175.00 for new; $125.00 for amendment of prior approval

Note: Site plan/plan of operation review and architectural review can be combined into one application fee.

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Office Use Only

Date Received _____

Received By _____

Fee _____

Case # _____

Aldermanic District _____

Plan Commission Date _____

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

1. **Applicant information**

Applicant name	Mitch Altmann
Street address	5921 Plover Road
City, state, zip code	Wisconsin Rapids WI 54494
Daytime telephone number	715 4212550
Email	maltmann@altmannconstruction.com

2. **Agent contact information** Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Agent 1	Agent 2
Name	Carl Miller	Larry Koopman
Company	Dimension IV	Lampert Lee and Associates
Street address	6515 Grand Teton Plaza, Suite 120	10968 WI 54 E
City, state, zip code	Madision, WI 53719	Wisconsin Rapids WI 54494
Daytime telephone number	608-829-4457	715-424-3131
Email	cmiller@dimensioniv.onmicrosoft.com	lkoopman@lampertlee.com

3. **Type of application (check all that apply)**

☒ Site plan — Complete Part A, B and D

☐ Plan of operation — Complete Part A, C and D

☒ New project

☐ Amendment of prior approval (if any)

If an amendment, the date of last approval (if any): _____

7. Encroachments.

Aside from driveways connecting to the street, will any part of the proposed project encroach into a public right-of-way?

- [x] No
- [ ] Yes

If yes, please explain.

8. Site parameters (area in square feet or acres)

Subject property	65 Acres	
Building coverage	22,000 SF	
Outdoor storage	None	
Stormwater facilities	Tie into Existing	
Impervious surfaces	34,962 SF	Impervious surfaces include buildings, parking areas and driveways, sidewalks, decks, patios, and other types of 'hard' surfaces.
Landscaping and other undeveloped areas	40,118 SF	
Wetlands	NA	Attach appropriate documentation if there are any wetlands.
100-year floodplain		

9. Street access

Name	New Access	Change to Existing Access	No Change to Existing Access
48th Street	[ ]	[ ]	[x]
	[ ]	[ ]	[ ]
	[ ]	[ ]	[ ]

10. Traffic generation

Will the proposed project create 500 trips per day or more?

- [x] No
- [ ] Yes Attach a traffic impact report to this application. See s. 11.06.151 of the zoning code for additional details.

Will the proposed project create 300 trips per day or more, but less than 500?

- [x] No
- [ ] Yes The city may require a traffic impact report as described in s. 11.06.151 of the zoning code. Please contact the Community Development Department for further guidance.

11. Parking (See the standards and requirements in Article 17 of the zoning code.)

Minimum number of required spaces	0 additional	See Appendix B of the zoning code for parking requirements for the proposed land use(s).
Proposed number of spaces	0 additional	If the number of proposed spaces exceeds what is required by more than 15 percent, the Planning Commission may grant a special exception to allow oversized parking areas. (See s. 11.17.03(f) of the zoning code.)
ADA van accessible spaces	0 additional	

15. **Site plan.** Attach a site plan drawn to scale with the following information to the extent it applies to the proposed project. The items with an asterisk are required. Check those elements that are included.

Background Project Information

- [x] Project name*
- [x] Applicant name*
- [x] Preparation date/revision*
- [x] Name of preparer*

Survey Information

- [x] North arrow and graphic scale*
- [ ] Address of subject property or legal description*
- [ ] Property boundaries *
- [ ] Acreage of subject property*

Project Development Information

- [ ] Land use summary table by density/intensity and acreage*
- [ ] Easements/rights-of-ways (location, width, purpose, ownership)
- [ ] Common areas/conservancy areas (location, purpose, ownership)
- [ ] Land to be dedicated to the public (boundaries, area, purpose)

Setting

- [ ] Property boundaries within 50 feet of the subject property
- [ ] Land uses within 50 feet of the subject property
- [ ] Zoning district boundaries within 50 feet of the subject property
- [x] Municipal boundaries within 50 feet of the subject property

Site Features (existing and proposed)

- [ ] Ground contours when slopes exceed 8 percent
- [ ] Wetlands
- [ ] Woodlands
- [ ] Wildlife habitat, including critical wildlife habitat
- [ ] Environmentally sensitive features
- [ ] Water resources (rivers, ponds, etc.) and ordinary high-water mark for navigable waters
- [ ] Floodplain boundaries and elevations of the same

Buildings and Outdoor Storage/Activity Areas

- [x] Existing and proposed
- [ ] Existing within 50 feet of subject property

Required Setbacks

- [ ] Yard setbacks (front, side, rear and shore)
- [ ] On-site septic systems
- [ ] On-site wells and off site wells within 10 feet of the perimeter of the subject property

Landscaping Features (existing and proposed)

- [x] Fences, buffers, and berms
- [x] Pervious and impervious surfaces by type
- [ ] Site amenities (benches, fountains, etc.)
- [ ] Existing trees and other prominent vegetation
- [ ] Trees / shrubs to be planted, including a plant list and specs.

Trees / shrubs to be retained

Outdoor Lighting (existing and proposed)

- [x] Location
- [ ] Fixture specifications

Stormwater Facilities (existing and proposed)

- [x] Location
- [ ] Specifications for each facility

Utilities (existing and proposed)

- [ ] Location
- [ ] Type (sewer, telephone, etc.) (buried or overhead, if applicable)
- [ ] Size/capacity, if applicable

Transportation Facilities (existing and proposed)

- [ ] Streets
- [ ] Driveways and road access onto public and private roads
- [ ] Sidewalks and trails
- [ ] Fire lanes (i.e., fire apparatus access)
- [ ] Clear visibility triangles (location and dimensions)

On-Site Parking (existing and proposed)

- [ ] Access aisles and parking spaces by size
- [ ] Location of accessible parking spaces
- [ ] Location and specifications/dimensions for accessibility ramps
- [ ] Type and location of on-site parking signs and traffic control signs
- [ ] Surface materials for parking lot (e.g., concrete, bituminous concrete, pavers)
- [ ] Snow storage areas
- [ ] Areas designated for queuing of vehicles for drive-through facilities (e.g., car washes, drive-up service windows, etc.
- [ ] Pedestrian walks between the parking lot and the building
- [ ] Designated areas of a parking area for pedestrian walks
- [x] Loading lanes and loading docks
- [x] Stormwater drainage
- [ ] Distance between parking areas and adjoining properties if less than 20 feet
- [ ] Areas designated for bicycle parking

Signs (existing and proposed)

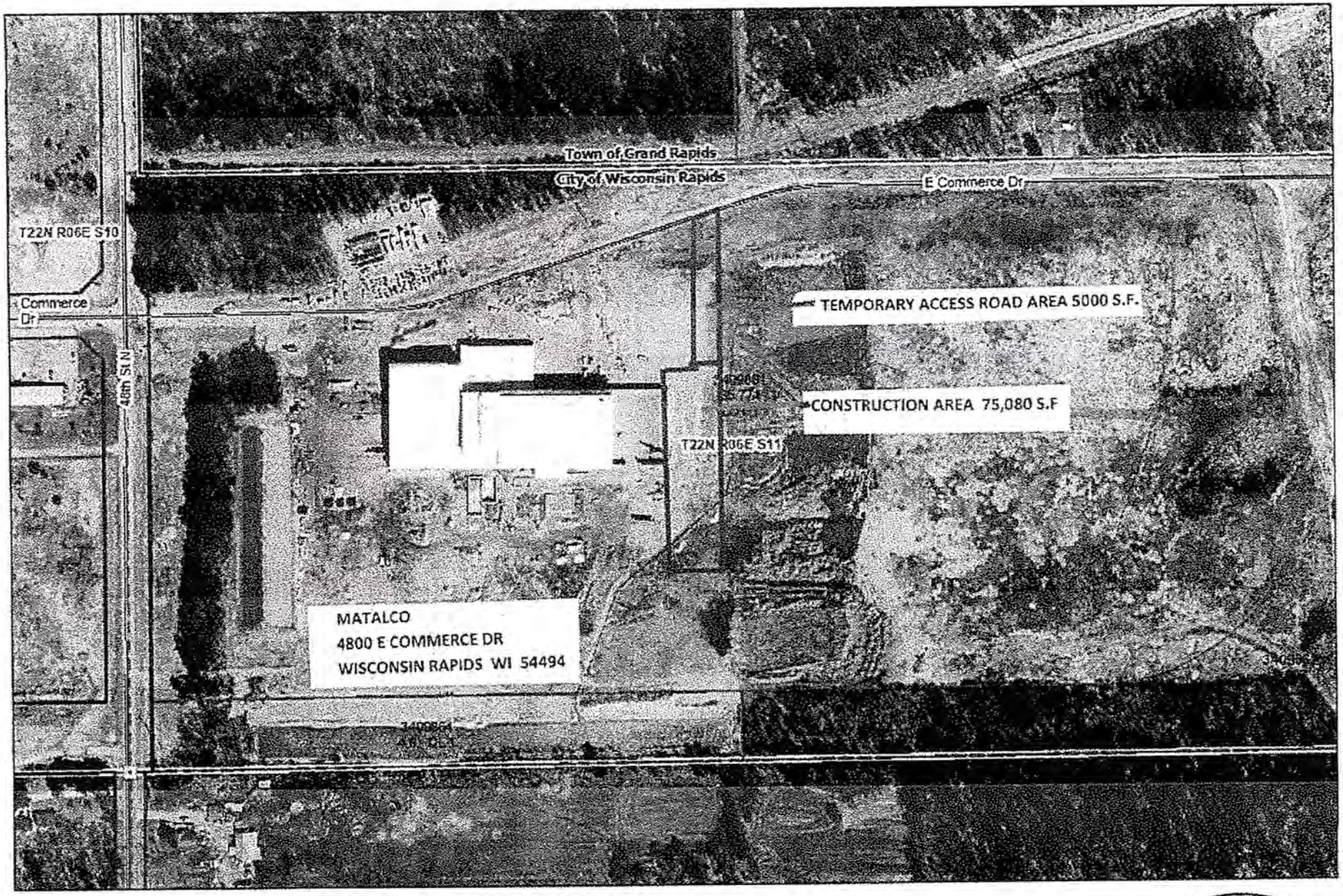
- [ ] Location
- [ ] Specifications for each sign including type, height, dimensions, lighting, and other factors considered during the review process

21. Applicant certification

- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Bill Painter	Bill Painter	Sept 9, 2021
Name – print	Name – Signature	Date
Name – print	Name – Signature	Date



Wood County Land Information Office

Author: Wood County Land Information Office

Date Printed: 9/3/2021 1:18 PM

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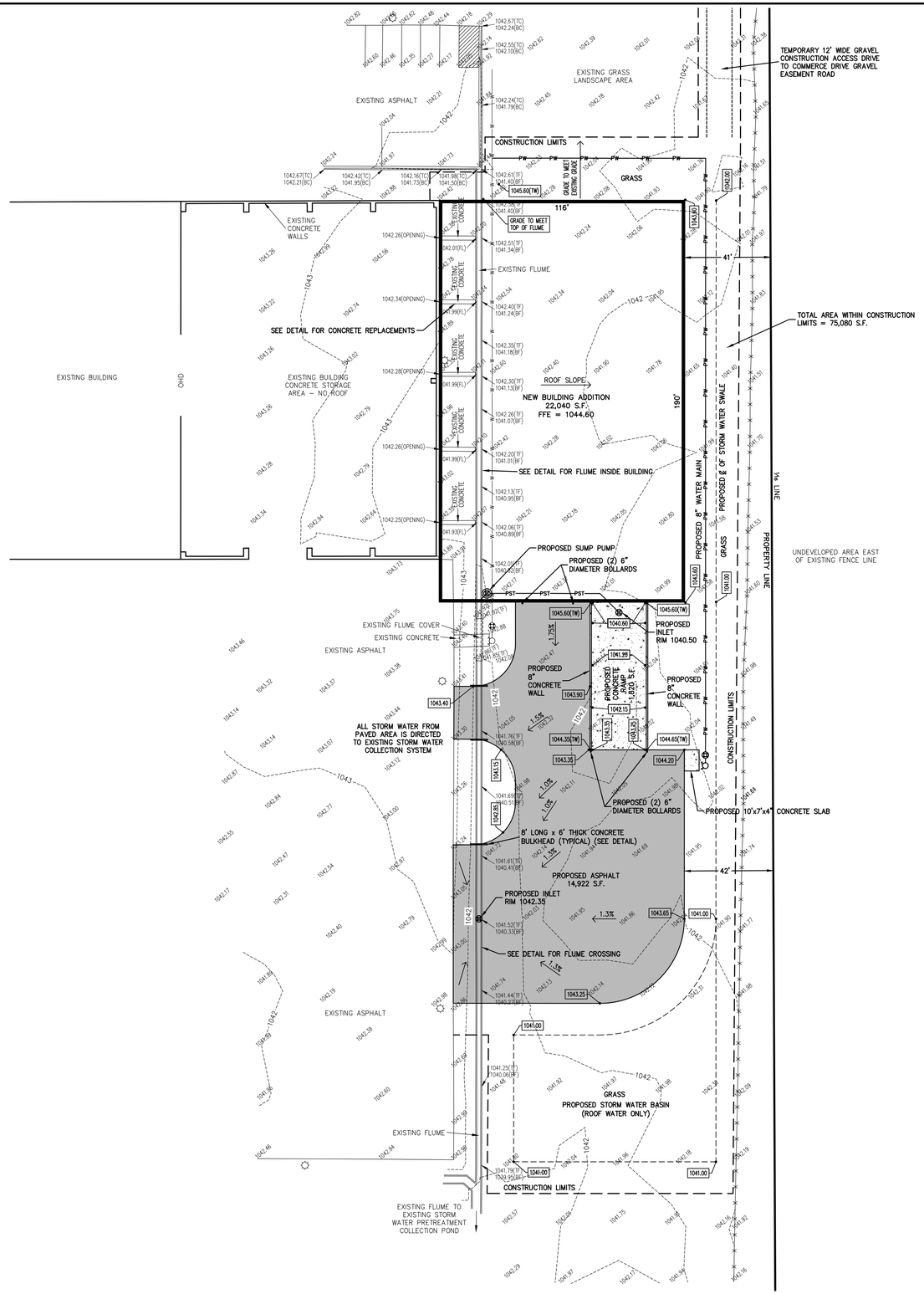

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REVISIONS		
BY	DATE	DESCRIPTION
-		
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-		
-		
-		

ESP GROUP, INC.
LAMPERT-LEE & ASSOCIATES
ENGINEERS • SURVEYORS • PLANNERS
10968 State Hwy. 54 East • Wisconsin Rapids, WI 54494-8718
715-424-3131 • FAX 715-423-8774

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CLIENT: **ALTMANN CONSTRUCTION CO INC**

PROJECT: **MATALCO NEW BUILDING**

TITLE: **PROPOSED SITE & GRADING PLAN**

☒ **PRELIMINARY**
NOT FOR CONSTRUCTION
DATE: 9-3-21 BY C.H.G.

☐ **FOR BIDDING ONLY**
DATE:_____ BY_____

☐ **FOR CONSTRUCTION**
DATE:_____ BY_____

☐ **DRAWING OF RECORD**
DATE:_____ BY_____

☐
DATE:_____ BY_____

CALL DIGGERS HOTLINE
AT 1-800-242-8511 BEFORE DOING ANY EXCAVATION.

Scale 1"=30'
30' 20' 10' 0' 15' 30'

LEGEND:

- HYDRANT
- P.I.V. VALVE
- LIGHT POLE
- FENCE
- TC TOP OF CURB
- BC BOTTOM OF CURB
- TF TOP OF FLUME
- BF BOTTOM OF FLUME
- OHD OVERHEAD DOOR
- 99.99 DENOTES POINT OF EXIST. ELEV.
- 99.99 PROPOSED SPOT ELEVATION

N W E S

SCALE NOTE:
IF YOU ARE VIEWING THESE PLANS IN AN 11"x17" SIZE THEY MAY BE HALF SCALE FROM THE ORIGINAL 22"x34" SIZE DRAWING AND THE DRAWING SCALE IS HALF OF THAT STATED. CHECK SCALE LEGEND BAR.

SEAL:

ORIGINAL DOCUMENT BEARS AN EMBOSSED SEAL OR A SEAL STAMPED IN RED WITH AN ORIGINAL SIGNATURE AND DATE.

DESIGNER: CHUCK GIBBONS
DRAWN BY: PAT PAZUREK
FIELD DATA BY: D.S. & T.T.
DATE: 8/21
CHECKED BY: DATE:
DWG. DATE: AUGUST 26, 2021
DWG. NO. 10407-A-2-D
PROJECT NO. 21-141

PLAN SHEET **C2** SHEET 2 OF ____ SHEET(S)

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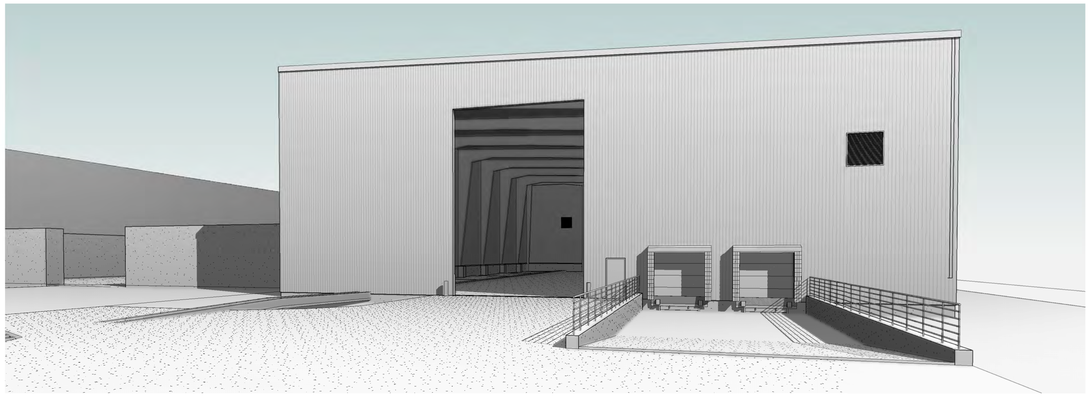
ALTMANN CONSTRUCTION COMPANY, INC.
5921 Plover Road, Wisconsin Rapids, Wisconsin 54495
p715.421.2550 f715.423.2310 altmannconstruction.com

DRAFT

MATALCO - STAND-ALONE BUILDING

4800 Commerce Drive
Wisconsin Rapids, WI



PROJECT RENDERING / PERSPECTIVE

REVISION LIST		
REVISION NO.	REVISION	DATE

Architecture : **Dimension IV - Madison Design Group**
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
p: 608.829.4444 www.dimensionivmadison.com

General Contractor: **Altmann Construction Company**
5921 Plover Road; Wisconsin Rapids, WI 54495
p: 715.421.2550 www.altmannconstruction.com

Structural Engineering: **Strategic Structural Design**
725 Heartland Trail, Suite 201; Madison, WI 53717
p: 608.841.1850 www.strategicstructural.com

Civil Engineering: **Lampert-Lee & Associates**
10968 State Hwy 54 East; Wisconsin Rapids, WI 54494
p: 715.424.3131 www.lampertlee.com

VICINITY MAP

STATE MAP

PROJECT/BUILDING DATA

BUILDING AREAS
NEW STAND-ALONE BUILDING AREA = 22,040 SQFT

PARKING COUNTS
EXISTING PARKING SPACES = ## (NO CHANGE)

CODE INFORMATION SUMMARY

APPLICABLE CODE
2015 INTERNATIONAL BUILDING CODE WITH WI AMMENDMENTS
2009 AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A117.1

OCCUPANCY CLASSIFICATION - *IBC 2015-CHAPTER 3*
S-2 - STORAGE - LOW HAZARD (IBC 2015 - § 311.3)

ALLOWABLE HEIGHTS & AREAS - *IBC 2015-CHAPTER 5*
ALLOWABLE HEIGHT ABOVE GRADE PLANE = 55'-0" (SEE IBC 2015 - § 504.3)
ACTUAL BUILDING HEIGHT ABOVE GRADE PLANE = 44'-10"

ALLOWABLE STORIES ABOVE GRADE PLANE = 3 (SEE IBC 2015 - § 504.4)
ACTUAL BUILDING STORIES ABOVE GRADE PLANE = 1 STORY

ALLOWABLE FLOOR AREA = 26,000 SF (SEE IBC 2015 - § 506)
ACTUAL BUILDING FLOOR AREA = 22,040 GSF

CONSTRUCTION TYPE & FIRE RESISTANCE RATINGS - *IBC 2015-CHAPTER 6*
TYPE-IIB - UNPROTECTED NON-COMBUSTIBLE
STRUCTURAL FRAME = 0 HOUR
EXTERIOR BEARING WALLS = 0 HOUR
INTERIOR BEARING WALLS = 0 HOUR
FLOOR ASSEMBLIES = 0 HOUR
ROOF ASSEMBLIES = 0 HOUR

FIRE SPRINKLER - *IBC 2015 - CHAPTER 9*
BUILDING IS NON-SPRINKLERED

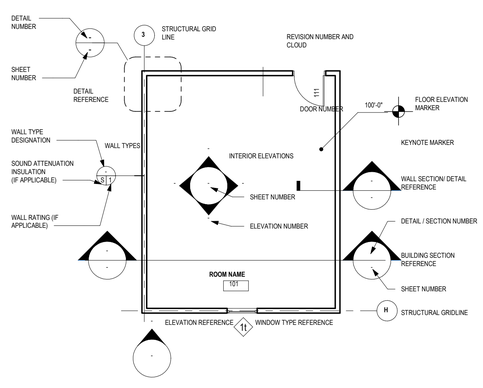
SEE CODE COMPLIANCE PLANS FOR ADDITIONAL INFORMATION

LIST OF DRAWINGS - SET 1

SHEET NO.	SHEET NAME
GENERAL	
G0.1	COVER SHEET
G1.0	CODE COMPLIANCE PLAN
AS1.0	ARCHITECTURAL SITE PLAN
CIVIL	
C1	INFORMATION
C2	PROPOSED SITE AND GRADING PLAN
STRUCTURAL	
S0.0	STRUCTURAL NOTES
S1.0	FOOTING AND FOUNDATION PLAN
S2.1	FIRST FLOOR FRAMING PLAN
S2.2	SECOND FLOOR FRAMING PLAN
S3.0	ROOF FRAMING PLAN
S4.0	STRUCTURAL DETAILS
ARCHITECTURAL	
A1.1	FIRST FLOOR PLAN
A1.3	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A3.0	BUILDING SECTIONS
A3.1	WALL SECTIONS
A4.1	FIRST FLOOR REFLECTED CEILING PLAN
A6.0	ASSEMBLY TYPES
A6.1	DOOR SCHEDULES
A8.0	DETAILS

ARCHITECTURAL ABBREVIATIONS LEGEND

*	- AND
@	- AT
AB	- ANCHOR BOLT
AFF	- ABOVE FINISH FLOOR
ALT	- ALTERNATE
ALUM	- ALUMINUM
ARCH	- ARCHITECT / ARCHITECTURAL
BRD	- BOARD
BLK	- BLOCK (CMU)
BOT	- BOTTOM
CB	- CATCH BASIN
CIP	- CAST-IN-PLACE
CJ	- CONSTRUCTION JOINT
CL	- CENTERLINE
CLG	- CEILING
CLJ	- CONTROL JOINT
CLR	- CLEAR DISTANCE
CMU	- CONCRETE MASONRY UNIT
CO	- CASED OPENING
COL	- COLUMN
CONC	- CONCRETE
CONT	- CONTINUOUS
CU	- CUBIC
DBL	- DOUBLE
DF	- DRINKING FOUNTAIN
DIM	- DIAMETER
DN	- DOWN
DS	- DOWN SPOUT
DTL	- DETAIL
DWG	- DRAWING
EA	- EACH
EC	- ELECTRICAL CONTRACTOR
EIFS	- EXTERIOR INSULATION FINISH SYSTEM
EL	- ELEVATION
ELEV	- ELEVATOR
ENG	- ENGINEER
EQ	- EQUAL
EXIST	- EXISTING
EXP	- EXPANSION
EXT	- EXTERIOR
FD	- FLOOR DRAIN
FND	- FOUNDATION
FE	- FIRE EXTINGUISHER
FEC	- FIRE EXTINGUISHER CABINET
FF	- FINISH FLOOR
FIN	- FINISH
FLR	- FLOOR
FND	- FOUNDATION
FOM	- FACE OF MASONRY
FOS	- FACE OF STUD
FTG	- FOOTING
FUT	- FUTURE
FV	- FIELD VERIFY
GA	- GAUGE
GALV	- GALVANIZED
GB	- GRAB BAR
GC	- GENERAL CONTRACTOR
GYP	- GYPSUM
HC	- HVAC ONTRACTOR
HM	- HOLLOW METAL
HORIZ	- HORIZONTAL
HT	- HEIGHT
HVAC	- HEATING, VENTILATION & AIR CONDITIONING
HR	- HOUR
ID	- INSIDE DIAMETER
I.F	- INSIDE FACE
INSUL	- INSULATION
INT	- INTERIOR
JBE	- JOIST BEARING ELEVATION
JT	- JOINT
L	- STEEL ANGLE DESIGNATION
LAM	- LAMINATE
LVL	- LAMINATED VENEER LUMBER
MAX	- MAXIMUM
MBW	- MASONRY BEARING WALL
MFG	- MANUFACTURER
MIN	- MINIMUM
MO	- MASONRY OPENING
MTL	- METAL
N/C	- NOT IN CONTRACT
NOM	- NOMINAL
NTS	- NOT TO SCALE
NO	- NUMBER
OC	- ON CENTER
OD	- OUTSIDE DIAMETER
O.F.	- OUTSIDE FACE
OH	- OVERHEAD
OPCI	- OWNER PROVIDED, CONTRACTOR INSTALLED
OPOI	- OWNER PROVIDED, OWNER INSTALLED
OPNG	- OPENING
OPP	- OPPOSITE
PREFAB	- PREFABRICATED
PERIM	- PERIMETER
PC	- PLUMBING CONTRACTOR
P/C	- PRECAST / PRESTRESSED
P/T	- POST TENSIONED
PT	- PRESSURE TREATED
R	- RADIUS
RD	- ROOF DRAIN
REINF	- REINFORCING
REQD	- REQUIRED
RM	- ROOM
SCHED	- SCHEDULE
SHT	- SHEET
SIM	- SIMILAR
SOG	- SLAB ON GRADE
SPEC	- SPECIFICATION
SQ	- SQUARE
SS	- STAINLESS STEEL
STL	- STEEL
STR	- STRUCTURAL
THK	- THICKNESS
TOL	- TOP OF LEDGE ELEVATION
TOP	- TOP OF PIER ELEVATION
TP	- TOILET PAPER DISPENSER
TS	- (SEE HIGH STRENGTH STEEL DESIGNATION)
TYP	- TYPICAL
TOW	- TOP OF WALL ELEVATION
UL	- UNDERWRITERS LAB
UNO	- UNLESS NOTED OTHERWISE
VB	- VAPOR BARRIER
VERT	- VERTICAL
V/F	- VERIFY IN FIELD
W	- WIDTH
W/	- WITH
W/O	- WITHOUT
WC	- WATER CLOSET
WD	- WOOD
WRB	- WEATHER RESISTANT BARRIER
WWF	- WELDED WIRE FABRIC



SITE MAP

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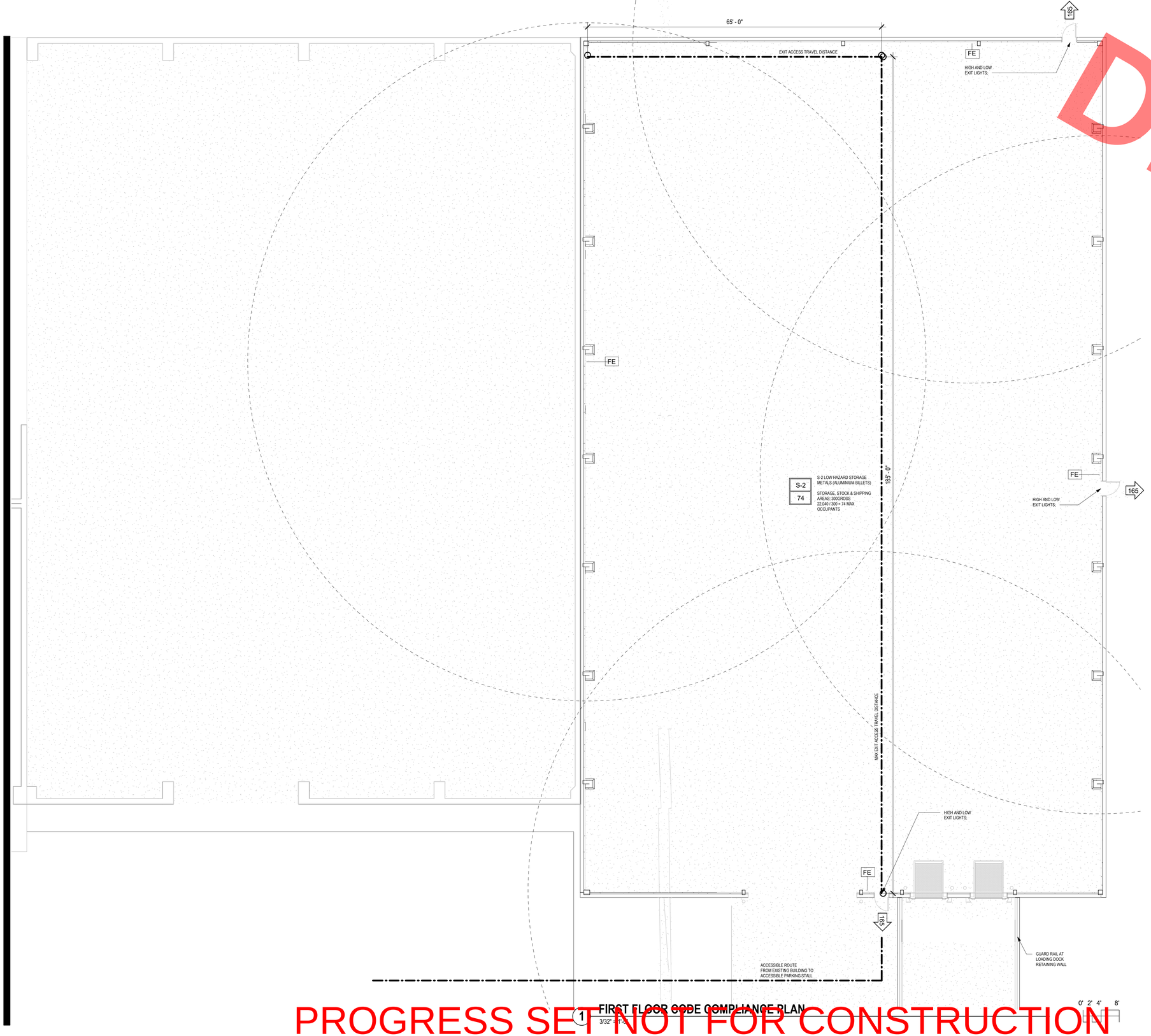

1 FIRST FLOOR CODE COMPLIANCE PLAN
3/32" = 1'-0"

CODE COMPLIANCE GENERAL NOTES

A. REFER TO SHEET A7.0 FOR ACCESSIBLE MOUNTING AND CLEARANCES INFORMATION.

B. ALL FIRE EXTINGUISHER CABINETS SHALL BE IN APPROVED LOCATIONS WITH A MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER TO BE 75 FEET PER I.F.C.

C. COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 75' PER 1006.2.1.

D. EXIT ACCESS TRAVEL DISTANCE IS 300' FOR OCCUPANCY S-2 WITH NO SPRINKLERS PER TABLE 1017.2.

E. FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED IN THE FIELD WITH SIGNS OR STENCILING PER IBC 703.7.

CODE COMPLIANCE SYMBOLS LEGEND

FE — INDICATES FIRE EXTINGUISHER AND MOUNTING BRACKET; MAX 48" AFF TO EXTINGUISHER HANDLE.

X / XXX — INDICATES OCCUPANCY TYPE AND CAPACITY

INDICATES ADA ACCESSIBLE ROUTE

XXX — INDICATES EXIT AND EXIT CAPACITY
EGRESS WIDTH FACTOR
STAIRWAYS = 0.3" PER OCCUPANT
ALL OTHER EGRESS COMPONENTS = 0.2" PER OCCUPANT

EXIT DISTANCE 20' - 0" / 300'-0" MAX ALLOWED — EXIT ACCESS TRAVEL DISTANCE

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MATALCO - STAND-ALONE BUILDING

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CODE COMPLIANCE PLAN

G1.0

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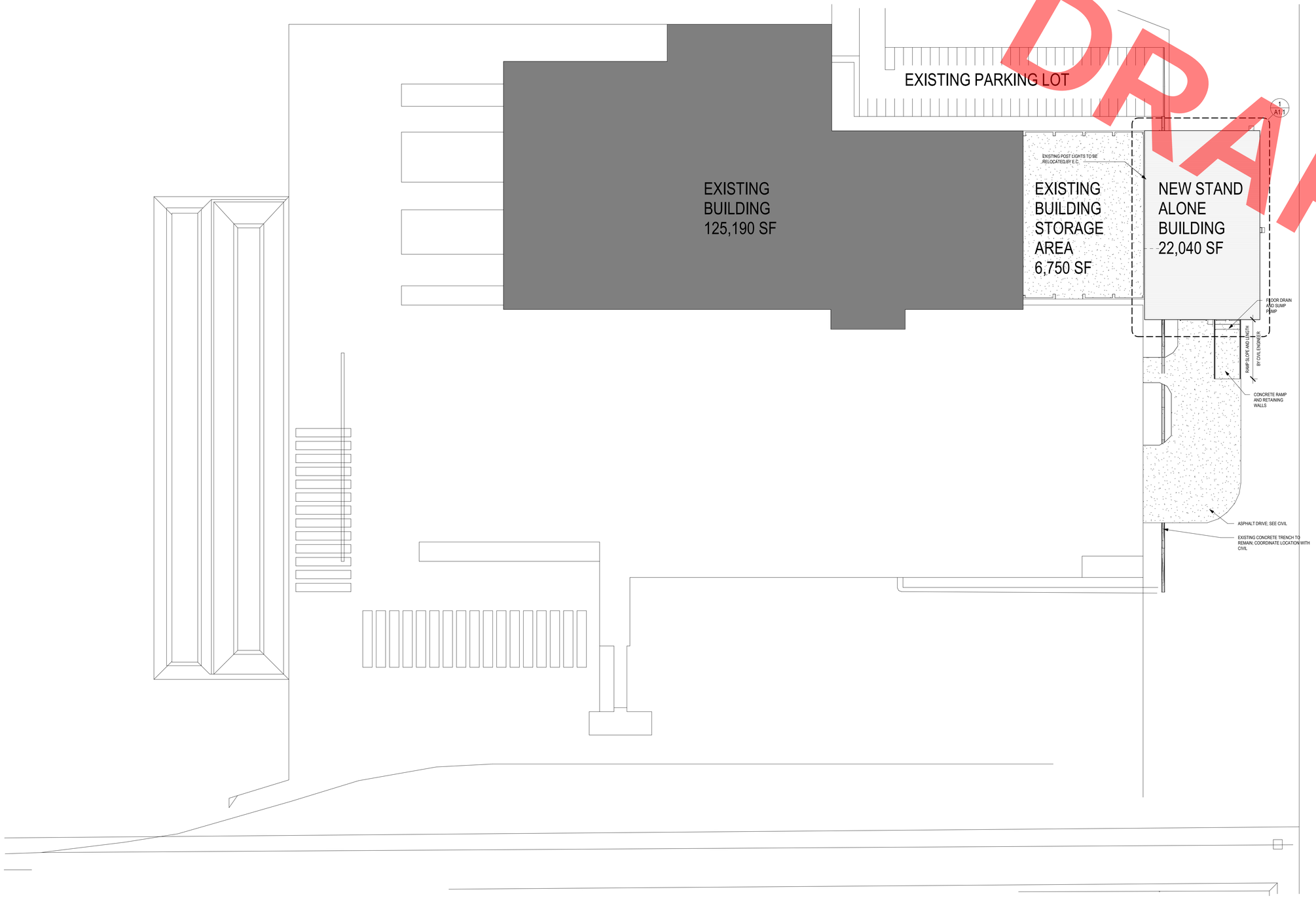

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1 **SITE PLAN**
1" = 50'-0"

0' 25' 50' 100'

N

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ARCHITECTURAL SITE PLAN

AS1.0

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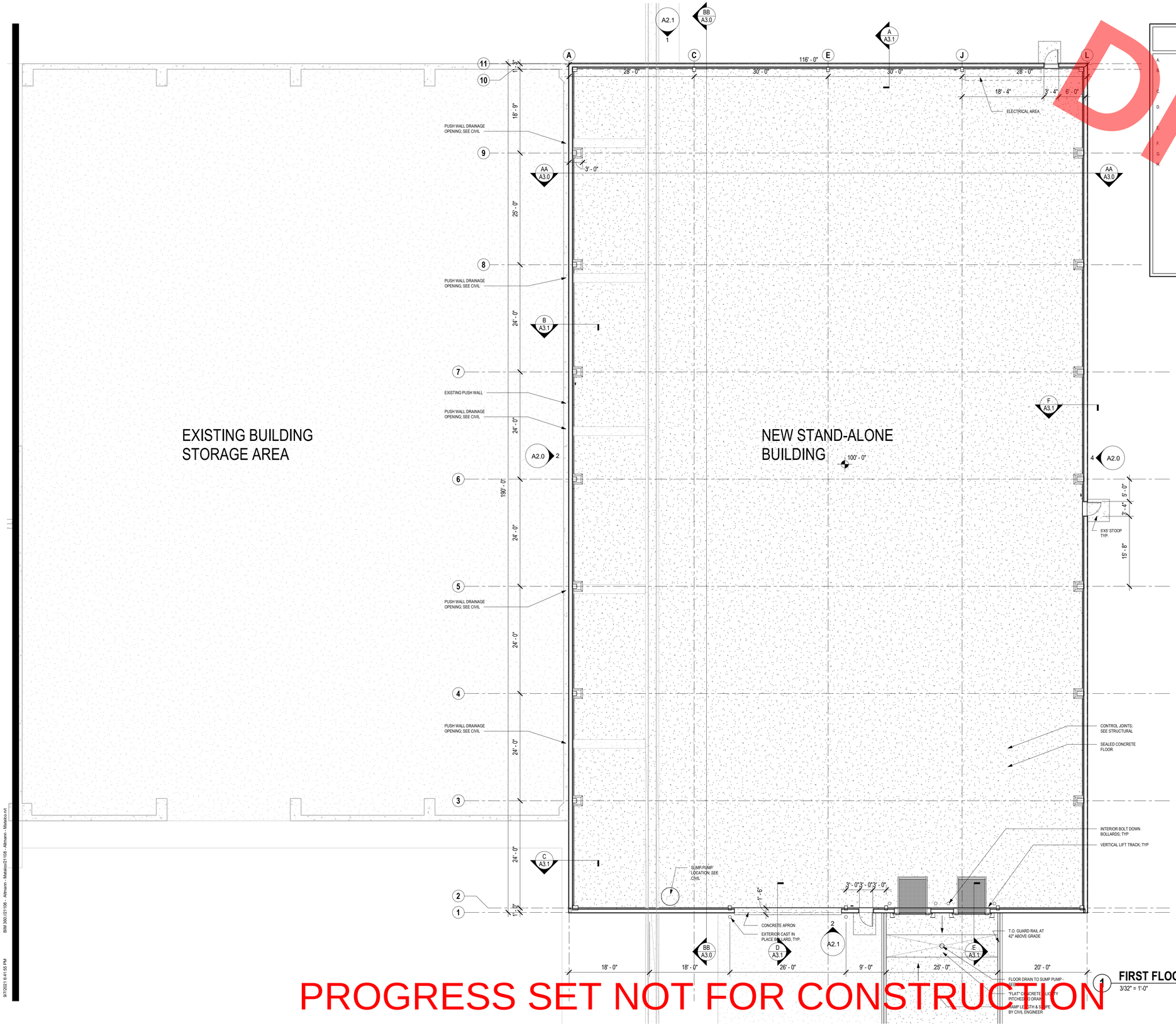

FIRST FLOOR PLAN GENERAL NOTES

A. SEE SHEET A5.XX FOR LARGE SCALE PLANS.

B. PROVIDE VERTICAL CONTROL JOINTS (C/JS) WHERE STRUCTURAL SYSTEMS CHANGE, LOCATIONS THAT ARE PRONE TO CRACKING AND AS REQUIRED BY MANUFACTURES INSTALLATION RECOMMENDATIONS.

C. VERIFY SIZE AND LOCATIONS OF ALL MECHANICAL OPENINGS. GENERAL CONTRACTOR TO PAINT AND SEAL LOUVER PERIMETER. TYPICAL.

D. GENERAL CONTRACTOR TO PROVIDE CONCRETE EQUIPMENT PADS/CURBS AS REQUIRED FOR MECHANICAL/ELECTRICAL EQUIPMENT. VERIFY SIZE/PROFILE/LOCATION WITH PLUMBING/MECHANICAL/ELECTRICAL.

E. GENERAL CONTRACTOR TO PROVIDE WOOD BLOCKING BETWEEN WOOD/METAL STUDS AS REQUIRED FOR CASEWORK/HANDRAILS/TOILET ACCESSORIES ETC. MOUNTING.

F. REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR WALL CONTROL JOINTS.

G. ADA CLEARANCE CIRCLES AND BOXES SHOWN ON PLAN ARE FOR INFORMATION PURPOSES ONLY.

H. DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

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Wisconsin Rapids, WI

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FIRST FLOOR PLAN

A1.1

1 FIRST FLOOR PLAN
3/32" = 1'-0"

0' 2' 4' 8'

N

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1 ROOF PLAN
1/32" = 1'-0"

0' 2' 4' 8'

N

ROOF PLAN GENERAL NOTES

A. ROOFING TO BE SCREW DOWN METAL ROOF - REFER TO ROOF TYPE XXX.

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ROOF PLAN

A1.3

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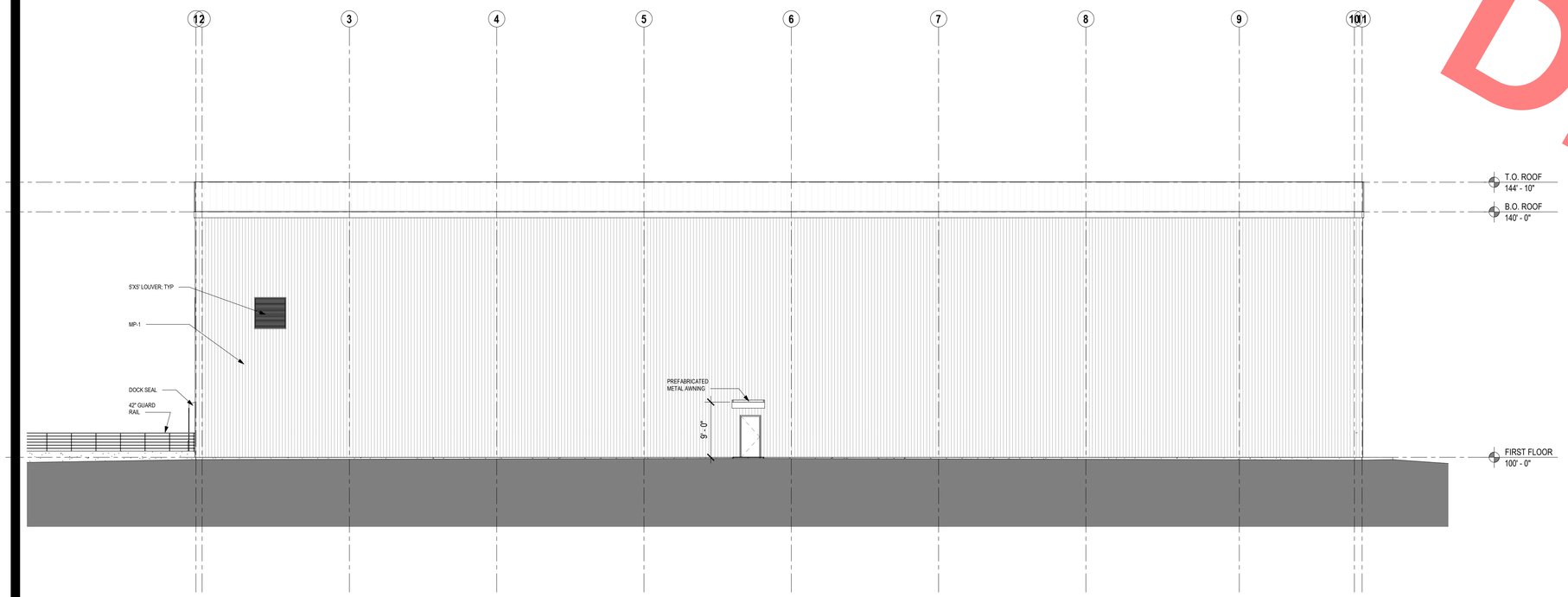
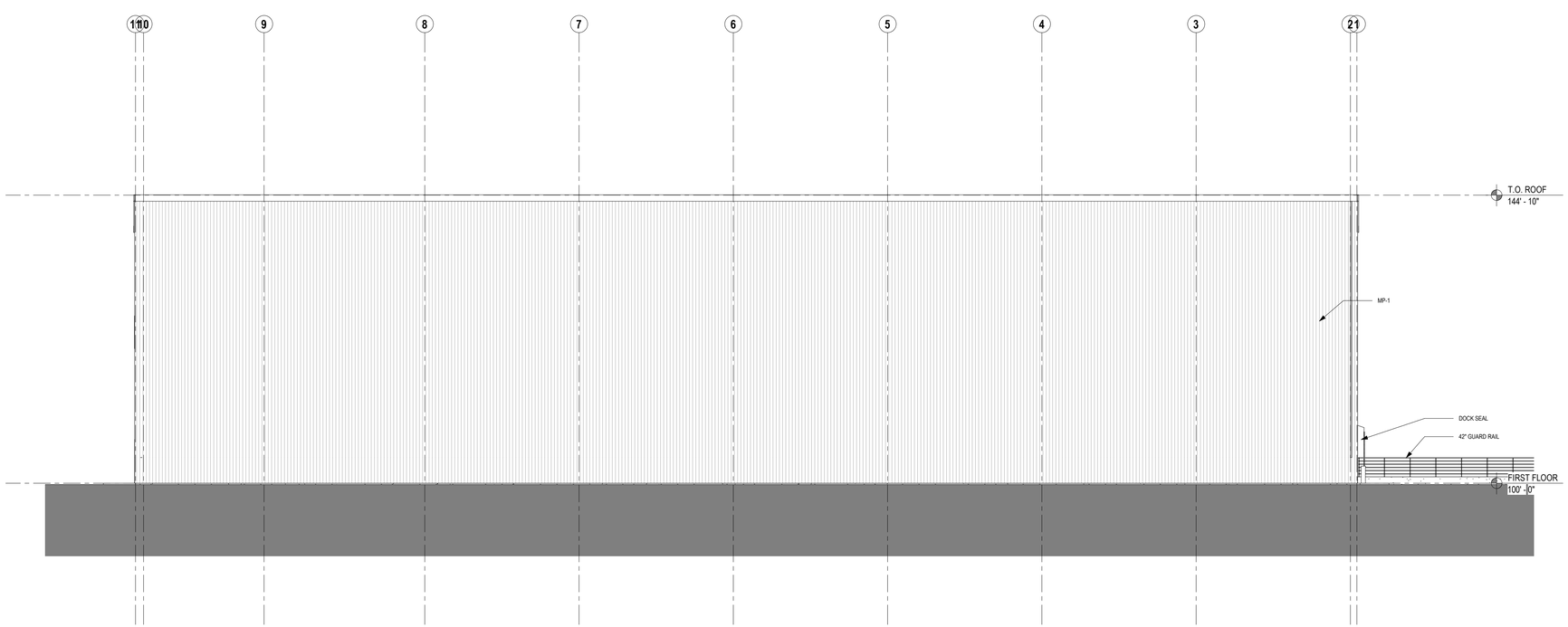


4 **EAST ELEVATION**
3/32" = 1'-0"

0' 2' 4' 8'



2 **WEST ELEVATION**
3/32" = 1'-0"

0' 2' 4' 8'

ELEVATION LEGEND & NOTES

MASONRY		COLOR	MORTAR
CNC	CONCRETE		
CJ	CONTROL JOINT		

SIDING & TRIM		COLOR
MP-1	METAL PANEL SIDING: BUTLER RIB II	COLOR

PRE-FINISHED METAL	"MANUFACTURER (COATED METALS GROUP)	
ARS	ALUMINUM RAILING SYSTEM	COLOR
DS	DOWNSPOUT	COLOR
GTR	GUTTER	COLOR
CPG	COPING	COLOR
FSA	FASCIA	COLOR

GENERAL NOTES

A. NOT ALL MASONRY PENETRATIONS SHOWN. COORDINATE WITH MEP CONTRACTORS.

B. REFER TO WINDOW TYPE SHEET A6.2 FOR ALL WINDOW/LOUVER INFORMATION.

C. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.

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EXTERIOR ELEVATIONS

A2.0

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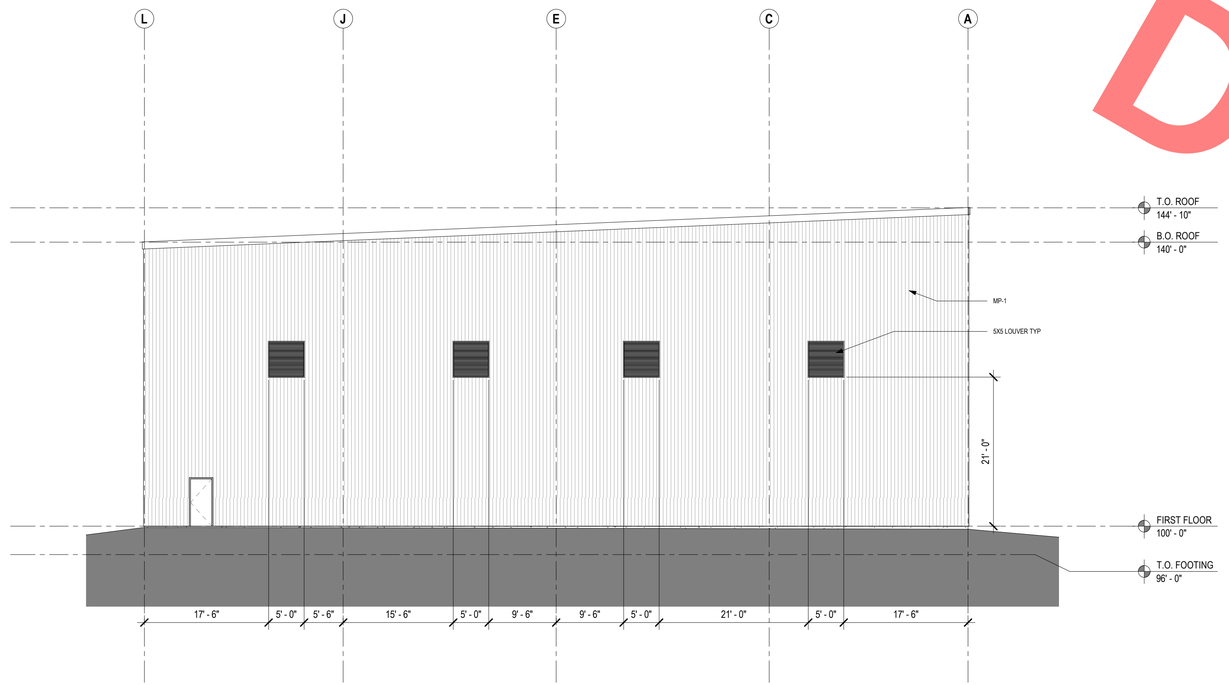
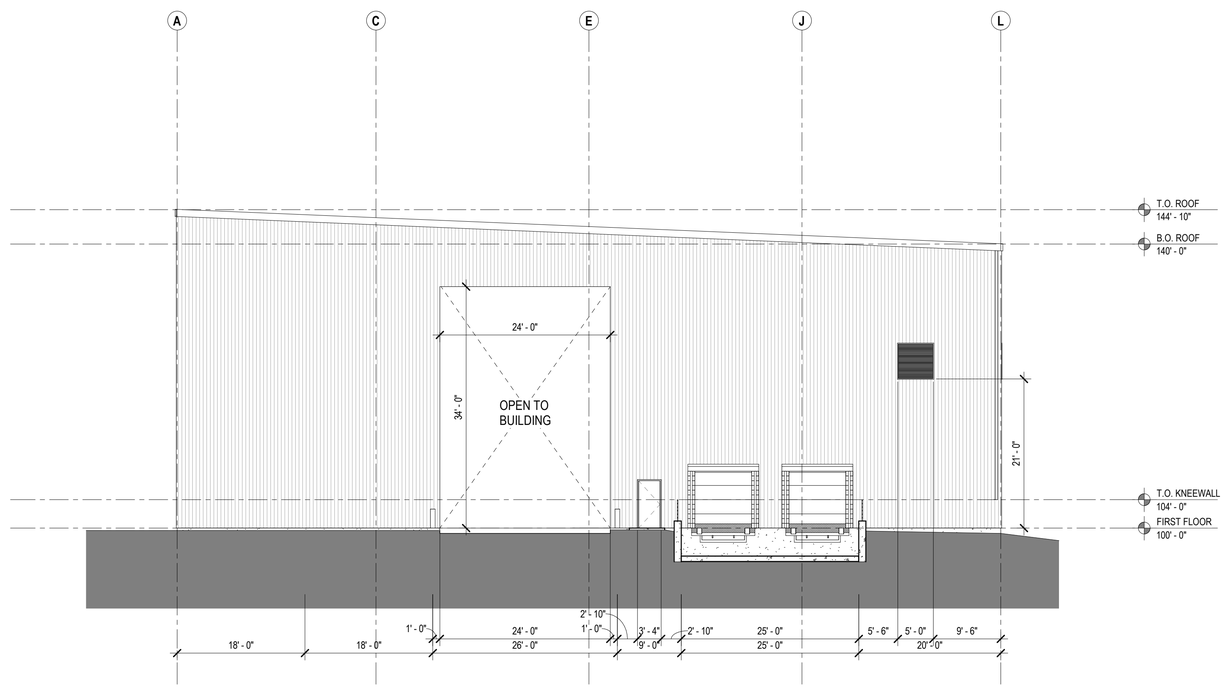


1 **NORTH ELEVATION**
3/32" = 1'-0"



2 **SOUTH ELEVATION**
3/32" = 1'-0"

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ELEVATION LEGEND & NOTES

MASONRY		COLOR	MORTAR
CNC	CONCRETE		
CJ	CONTROL JOINT		

SIDING & TRIM		COLOR
MP-1	METAL PANEL SIDING; BUTLER RIB II	COLOR

PRE-FINISHED METAL	MANUFACTURER (COATED METALS GROUP)	
ARS	ALUMINUM RAILING SYSTEM	COLOR
DS	DOWNSPOUT	COLOR
GTR	GUTTER	COLOR
CPG	COPING	COLOR
F SA	FASCIA	COLOR

GENERAL NOTES

A. NOT ALL MASONRY PENETRATIONS SHOWN. COORDINATE WITH MEP CONTRACTORS.

B. REFER TO WINDOW TYPE SHEET A6.2 FOR ALL WINDOW/LOUVER INFORMATION.

C. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.

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EXTERIOR ELEVATIONS

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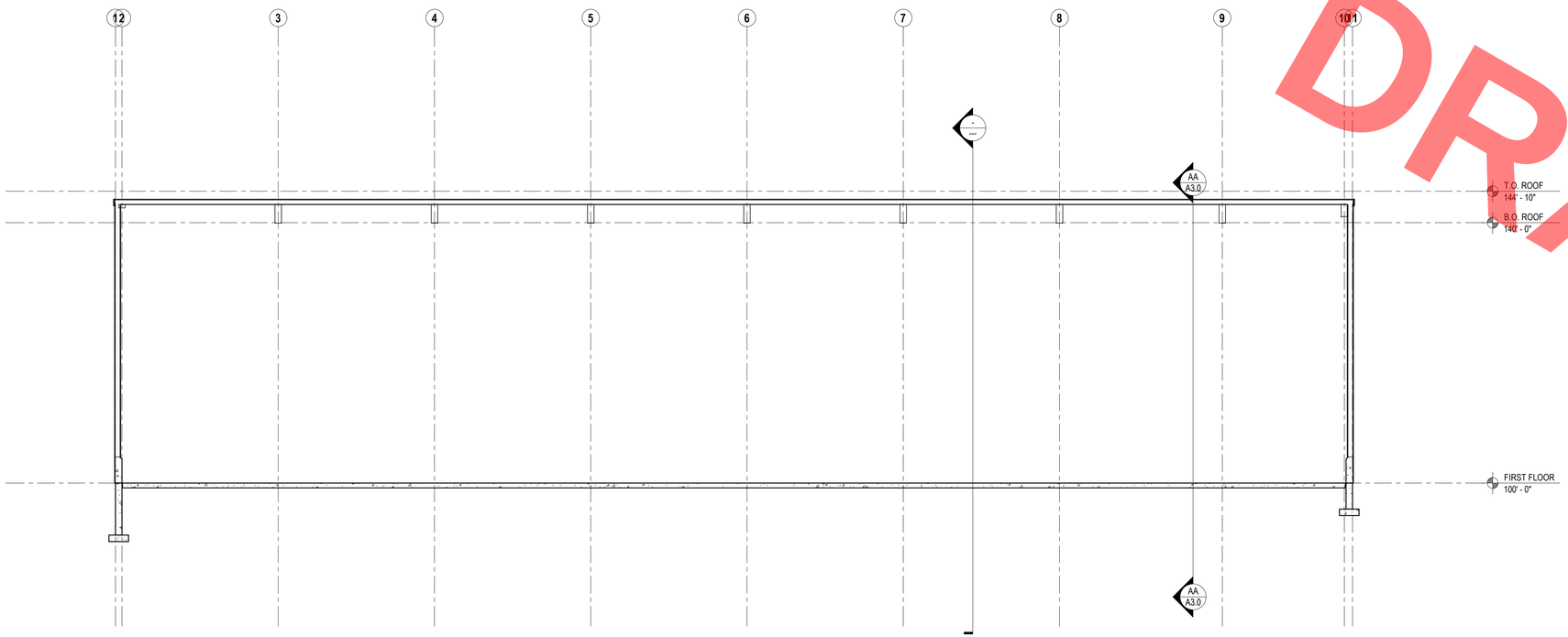
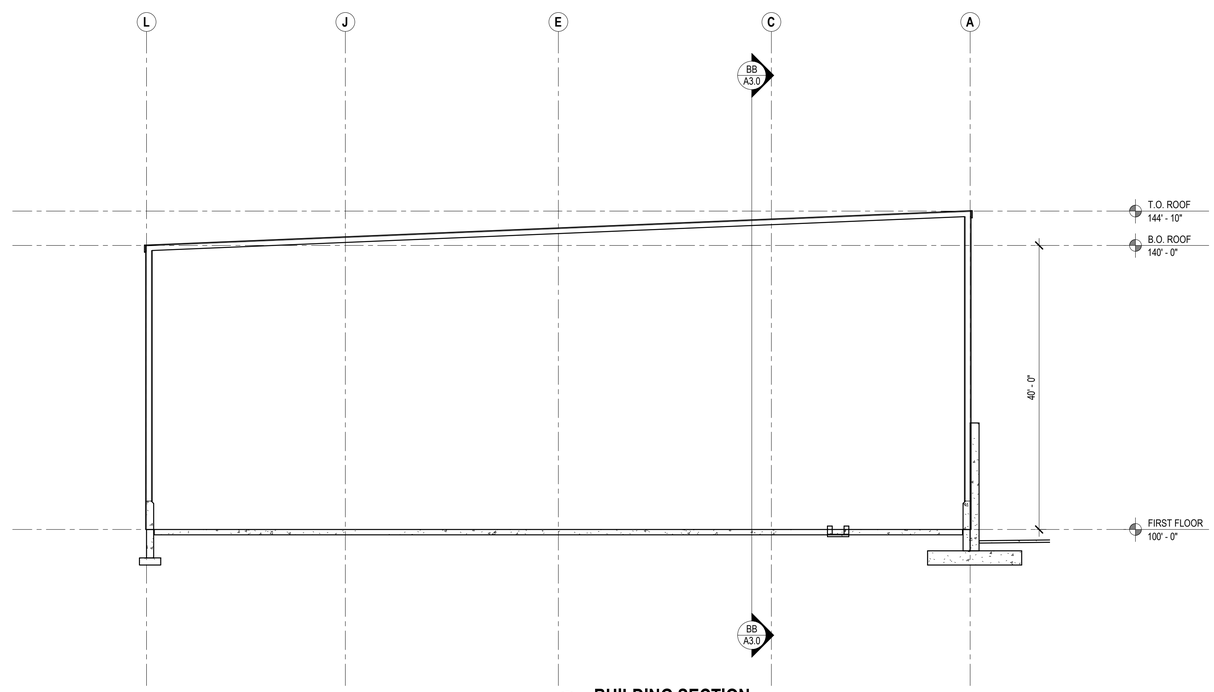


BB BUILDING SECTION
3/32" = 1'-0"

0' 2' 4' 8'



AA BUILDING SECTION
3/32" = 1'-0"

0' 2' 4' 8'

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BUILDING SECTIONS

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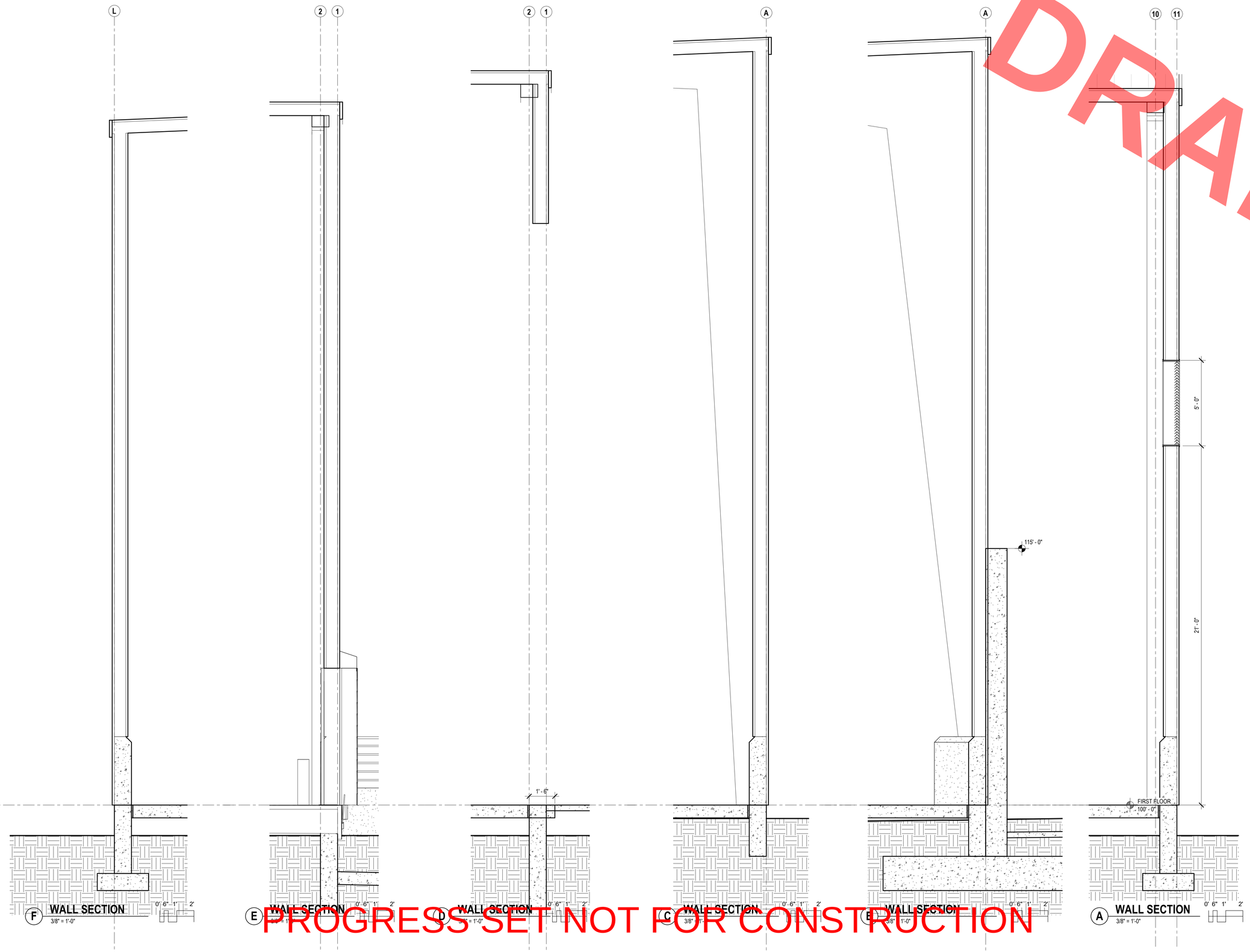

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WALL SECTIONS

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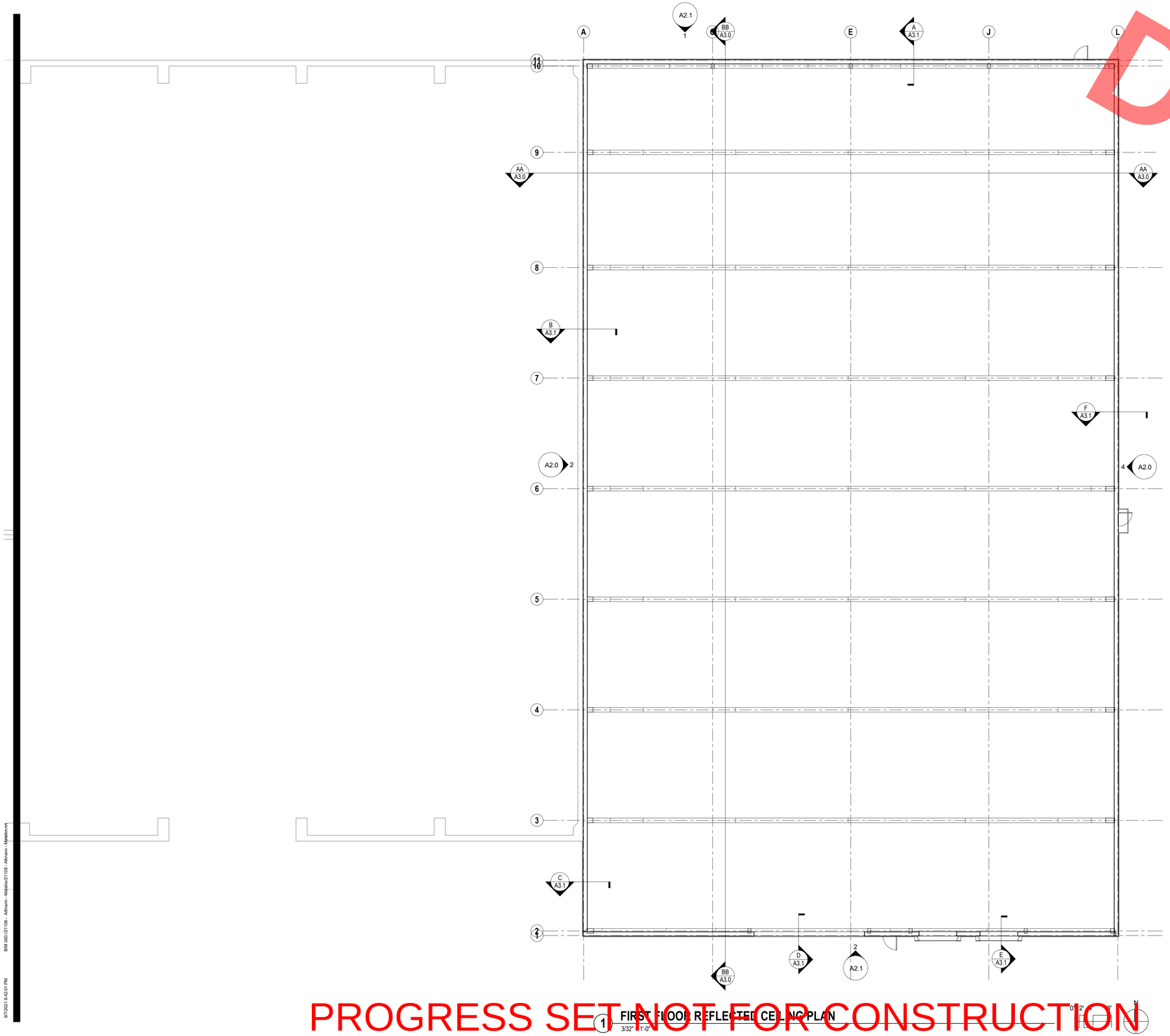

1 FIRST FLOOR REFLECTED CEILING PLAN
3/32" = 1'-0"

RCP GENERAL NOTES

A. ALL CEILINGS ARE OPEN TO STRUCTURE ABOVE UNLESS NOTED OTHERWISE.

B. PRE ENGINEERED METAL BUILDING STRUCTURE TO BE PAINTED UNLESS NOTED OTHERWISE.

C. PROVIDE SUPPORT TEES AT LIGHT FIXTURES, DIFFUSERS, ETC. AS REQUIRED TO SUPPORT DEVICE.

D. REFER TO ELECTRICAL DRAWINGS FOR FIXTURE INFORMATION.

REFLECTED CEILING LEGEND

Type Name
1'-0" A.F.F.

CEILING HEIGHT A.F.F.

EXPOSED TO STRUCTURE

2X4 LED FIXTURE

2X2 LED FIXTURE

RECESSED CAN LIGHT

PENDANT LIGHT

WALL SCONCE

LED STRIP FIXTURE

INDIRECT LINEAR PENDANT FIXTURE

RETURN OR EXHAUST DUCT/ CEILING DIFFUSER

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FIRST FLOOR REFLECTED CEILING PLAN

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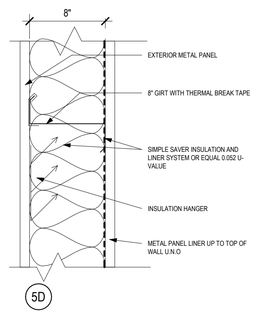
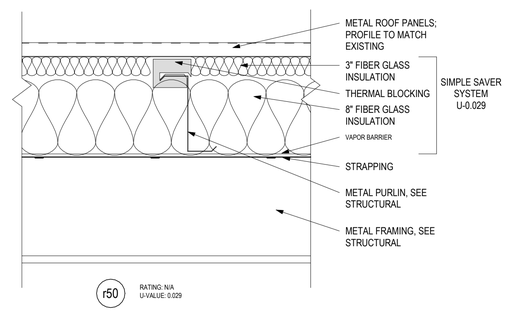
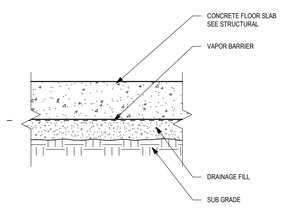


NEW PEMB WALL
WITH SIMPLE SAVER INSULATION SYSTEM (OR EQUAL)

1 PEMB WALL
1 1/2" = 1'-0"

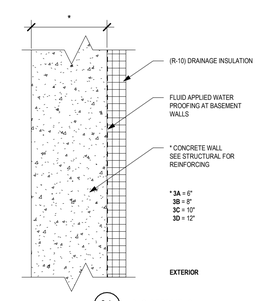


2 PEMB ROOF TYPE
1 1/2" = 1'-0"



FLOOR ASSEMBLY
SLAB-ON-GRADE
F30

3H TYPE 3 HORIZONTAL ASSEMBLIES - CONCRETE
1 1/2" = 1'-0"

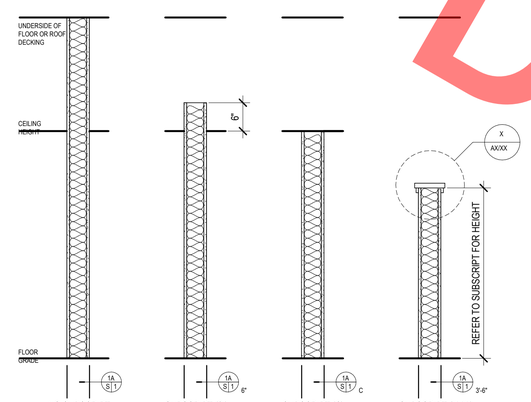


3A 3 HOUR FIRE RATING PER IBC TABLE 721.1(2)

3B 3C 3D 4 HOUR FIRE RATING PER IBC TABLE 721

3V TYPE 3 VERTICAL ASSEMBLIES - CONCRETE
1 1/2" = 1'-0"

WALL HEIGHTS LEGEND



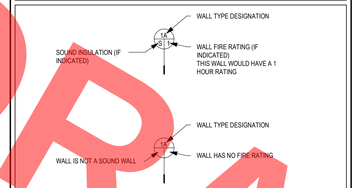
NO SUBSCRIPT
EXTEND TOTAL PARTITION TO STRUCTURE

SUBSCRIPT (6")
EXTEND TOTAL PARTITION TO 6" ABOVE CEILING

SUBSCRIPT (C)
EXTEND TOTAL PARTITION TO CEILING

SUBSCRIPT (X'-X")
PARTIAL HEIGHT PARTITION HEIGHT AS NOTED, SEE ABOVE DETAIL FOR OTHER REQUIREMENTS

WALL DETAIL NOTES



1. TO ACHIEVE STC RATING, ADD FIBERGLASS BATT INSULATION TO THE ENTIRE WIDTH OF STUD CAVITY, TYP.

WALL TYPE GENERAL NOTES

A. ASSEMBLY FIRE RATING REPRESENTS MAXIMUM ALLOWABLE RATING PER UL CLASSIFICATION. REFER TO CODE COMPLIANCE AND FLOOR PLANS FOR REQUIRED FIRE RATING AT SPECIFIC LOCATIONS.

B. CONTINUE ALL PARTITION FRAMING AND GYPSUM BOARD TO UNDERSIDE OF RATED ROOF ASSEMBLY OR FLOOR DECK ABOVE, UNLESS INDICATED OTHERWISE.

C. SOUND WALLS (INDICATED BY "STC" - SOUND TRANSFER COEFFICIENT): CAULK ALL UNFINISHED JOINTS BETWEEN GYPSUM BOARD PANELS AND BETWEEN GYPSUM BOARD PANELS AND FLOOR AND SIDE WALL MATERIALS WITH ONE BEAD OF SEALANT PER LAYER OF GYPSUM BOARD. ACOUSTICALLY SEAL ALL PENETRATIONS INCLUDING ELECTRICAL, MECHANICAL AND PIPING. LIMIT NECESSARY WALL PENETRATIONS TO ONE PER STUD CAVITY. FOR DEEPER CHANNELS, USE RECOMMENDED SCREW LENGTH IN ORDER TO ACHIEVE DESIGNED SOUND RATING.

D. PENETRATIONS IN FIRE AND SMOKE RATED WALLS AND CONNECTIONS AT WALLS TO CONCRETE FLOOR OR MASONRY WALLS FOR FIRE RATING, SHALL BE IN ACCORDANCE WITH MANUFACTURER'S COMPONENT PROFILES, AND SHALL COMPLY WITH APPLICABLE TESTING AGENCY DOCUMENTATION.

E. WHERE WALL TYPE INDICATE WRINKLE MOISTURE BARRIER ON THE SIDE WHERE WALL SURFACE IS EXPOSED TO OUTDOOR OR COOLER SPACE, UNLESS INDICATED OTHERWISE.

F. FIRE RATINGS SHOWN ARE FIRE RATINGS AVAILABLE PER TESTED TESTING AGENCY AND/OR IBC REQUIREMENTS. REFER TO FLOOR PLANS AND WALL TYPE SUBSCRIPTS FOR LOCATIONS OF FIRE RATED WALLS.

G. REFER TO ROOM SCHEDULES FOR ADDITIONAL WALL FINISHES.

H. PROVIDE BACKBLOCKING IN PARTITION TYPES AS REQUIRED BY SPECIFICATIONS AND ACCESSORIES INDICATED ON DRAWINGS.

I. REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS OF VARIATIONS IN EXTERIOR VENEER MATERIALS.

J. PROVIDE AT LEAST ONE LAYER OF GYPSUM BOARD BEHIND ALL MOCKWORK AND CABINETWORK, BUT NO FEWER LAYERS THAN REQUIRED BY EXTERIOR, DEMISING, CORRIDOR, FIRE-RATED AND ACOUSTICAL WALL TYPES. ADDITIONAL LAYER OF GYPSUM BOARD TO BE ADDED ABOVE AND ADJACENT TO MODULAR UNITS TO COVER MOUNTING HARDWARE AS RECOMMENDED BY THE MANUFACTURER.

FRAME ASSEMBLIES GENERAL NOTES

A. PROVIDE SPECIFIED METAL STUD GAUGE UNLESS OTHERWISE NOTED.

B. PROVIDE FIRE RATED GYPSUM BOARD AT FIRE RATED PARTITIONS AS REQUIRED BY TESTED ASSEMBLY.

C. INSTALLATION OF GYPSUM BOARD AND SOUND BOARD AND USE BOARD SHALL CONFORM TO REQUIREMENTS FOR FIRE RATING AND SOUND RATINGS.

D. STUDS SHALL BE 16" O.C. U.N.O. UNLESS OTHERWISE NOTED.

E. PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT WALLS AND CEILINGS IN WET & BATH ROOMS AND LAUNDRY ROOMS.

F. PROVIDE GLASS MAT GYPSUM TILE BACKER BOARD AT LOCATIONS OF WET TILE. PROVIDE GYPSUM BOARD TILE BACKER BOARD BEHIND WET TILE AT TUB AND SHOWER LOCATIONS.

G. THERMAL RESISTANCE (R-VALUE) IDENTIFICATION MUST SHALL BE APPLIED BY MFG. ON EACH PIECE OF BUILDING INSULATION IN LOCATION 12" ON CENTER MIN WIDTH, PER IECC 303.1.1.

H. INSULATION INSTALLATION SHALL PROVIDE ATTACHMENT AND DATED CERTIFICATION OF INSULATION INSTALLATION FOR ELEMENTS OF THE BUILDING ENVELOPE, INDICATING TYPE OF INSULATION INSTALLATIONS IN ROOF/CEILINGS, THE MANUFACTURER'S NOMINATE R VALUE. PER IECC 303.1.1

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ASSEMBLY TYPES

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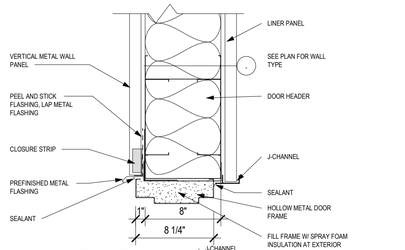
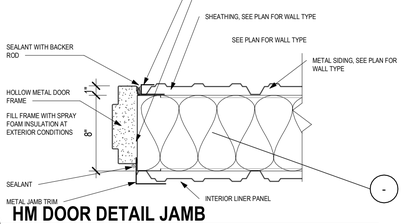
DOOR SCHEDULE

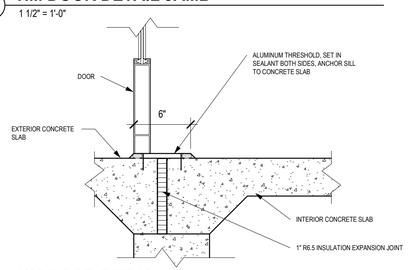
DOOR NO.	TYPE	DOOR W	DOOR H	DOOR T	DOOR ELEV	DOOR MATERIAL	FRAME ELEV	FRAME MATERIAL	FRAME HEAD	FRAME JAMB	FRAME SILL	GLAZE	FIRE RATING	HARDWARE	COMMENTS
FIRST FLOOR															
100A	Single	3' - 0"	6' - 8"	1 3/4"	F	HM	A	HM				N/A	N/A	ENTRY LOCK SET	
100B	Single	3' - 0"	6' - 8"	1 3/4"	F	HM	A	HM				N/A	N/A	STOREROOM LOCK SET	
100C	Single	3' - 0"	6' - 8"	1 3/4"	F	HM	A	HM				N/A	N/A	STORE ROOM LOCKSET	
100D	Overhead	8' - 2"	8' - 0"	2"	OH	HM		HM				N/A	N/A		
100E	Overhead	8' - 2"	8' - 0"	2"	OH	HM		HM				N/A	N/A		



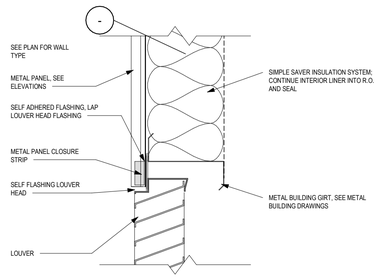
3 HM DOOR DETAIL HEAD
1 1/2" = 1'-0"

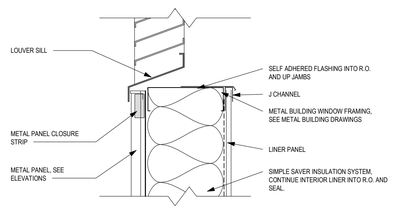


4 HM DOOR DETAIL JAMB
1 1/2" = 1'-0"

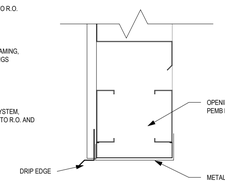


5 HM DOOR DETAIL SILL
1 1/2" = 1'-0"

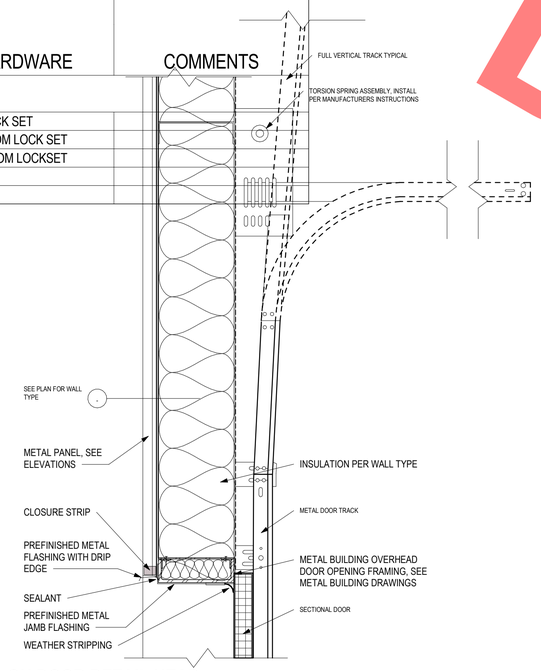




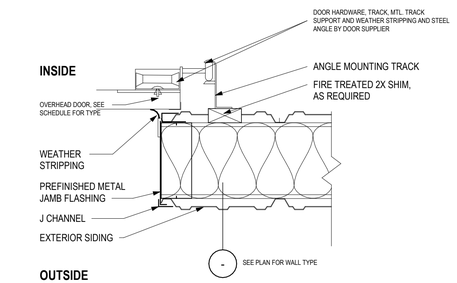
6 LOUVER DETAIL HEAD AND SILL
1 1/2" = 1'-0"



7 TRIMMED OPENING DETAIL HEAD
1 1/2" = 1'-0"



8 OH DOOR DETAIL HEAD
1 1/2" = 1'-0"

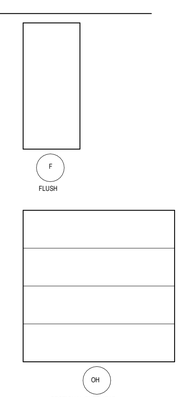


9 OH DOOR DETAIL JAMB
1 1/2" = 1'-0"

HARDWARE SCHEDULE

	HARDWARE FUNCTION	HARDWARE FINISH	1	2	3	4	5	6	7	8	9	10	11
LOCK SETS	LEVER - ENTRY LOCK SET	BRUSHED CHROME	X										
	LEVER - PASSAGE LATCH	BRUSHED CHROME											
	PUSH/PULL	BRUSHED CHROME										X	
	LEVER - STOREROOM LOCK	BRUSHED CHROME					X			X			
	LEVER - PRIVACY LOCKSET	BRUSHED CHROME						X	X		X		X
	LEVER - CLASSROOM LOCKSET	BRUSHED CHROME											
	LEVER - OFFICE LOCKSET	BRUSHED CHROME											
OTHER HARDWARE	HINGES						X	X	X	X	X	X	X
	CLOSER			X									
	CLOSER W/ HOLD OPEN OPTION		X										X
	THRESHOLD			X							X		
	WEATHER STRIP								X	X		X	X
	SWEEP			X	X								
	KICK PLATE				X								
	EXIT PANIC		X						X	X	X	X	X
	FINISH BOLTS AT INACTIVE LEAVE												X
	OVERHEAD STOP						X						
	WALL STOP				X		X				X		

2 DOOR FRAME ELEVATIONS
1/4" = 1'-0"



1 DOOR TYPE ELEVATIONS
1/4" = 1'-0"

0' 1' 2' 4'

DOOR SCHEDULE GENERAL NOTES

A. WOOD DOORS TO BE UNFINISHED. PROVIDE FINISHED SAMPLES TO OWNER AND ARCHITECT FOR FINAL SELECTION.
B. HOLLOW METAL FRAMES TO BE PRIME, U.N.O.
C. ALL SWING DOORS TO RECEIVE 1-1/2 PAIR OF HINGES (3 HINGES TOTAL), U.N.O.
D. PROVIDE LEVER HANDLE LOCK/LATCH SETS AT ALL DOORS, U.N.O.
E. ALL FIRE DOOR ASSEMBLIES BE RATED ASSEMBLIES (DOOR AND FRAME TOGETHER). PROVIDE ALL REQUIRED HARDWARE, SMOKE SEALS, AND ACCESSORIES.
F. COORDINATE CARD READER DOOR LOCATIONS AND COMPATABLE PRODUCTS WITH OWNER.
G. MEANS OF EGRESS DOORS LATCHES DO NOT REQUIRE MORE THAN 15 lbf TO RELEASE THE LATCH. NO SPECIAL OR REQUIRED DEXTERITY, TOOL OR SPECIAL KNOWLEDGE FOR OPERATION.

DOOR SCHEDULE LEGEND

SYMBOL	ITEM DESCRIPTION
FG	FULL GLASS
SC	SOLID CORE
PKT	POCKET
HC	HOLLOW CORE
WD	WOOD
HM	HOLLOW METAL
ALUM	ALUMINUM
INS	INSULATED

DOOR SCHEDULE COMMENTS

1. KICK PLATE (CORRIDOR SIDE ONLY). VERIFY SIZE AND MATERIAL WITH OWNER
2. TIMLY SPRINGTIME GREEN FINISHED METAL FRAMES
3. WD-L MAGNETIC HOLD OPEN FOR EXIT DOOR WHEN ALARM DETECTORS FIRE ALARM SYSTEM
4. FIRE SEAL
5. SMOKE SEAL
6. WEATHER SEAL
7. ASTRAGAL WITH DOOR SEAL
8. DOOR STOP
9. SEAL FULL
10. ELECTRONIC ACCESS SYSTEM @ STAIRWELL SIDE
11. HINGE BUMPERS
12. FLUSH BOLTS
13. ELECTRONIC SECURITY LOCK DEVICE
14. KICK PLATE (BOTH SIDES)
15. POWER ASSISTANCE OPENER

HARDWARE SCHEDULE COMMENTS

1. SEE ALL DOORS. PROVIDE ELECTRONIC DOOR HARDWARE TO COORDINATE WITH BUILDING ACCESS SECURITY SYSTEM.
2. CONFIRM HARDWARE WITH OWNER AND TENANT REQUIREMENTS.
3. COORDINATE HOLD OPEN WITH FIRE ALARM SYSTEM.
4. PROVIDE ONE PEEWER @ 60" AFF. IN UNITS ACCESSIBLE APARTMENTS PROVIDE TWO DOOR PEWER, WITH SECOND PEEWER @ 48" AFF.

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DOOR SCHEDULES

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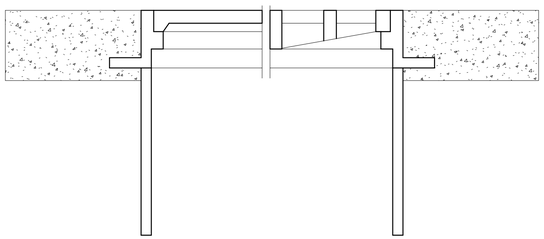
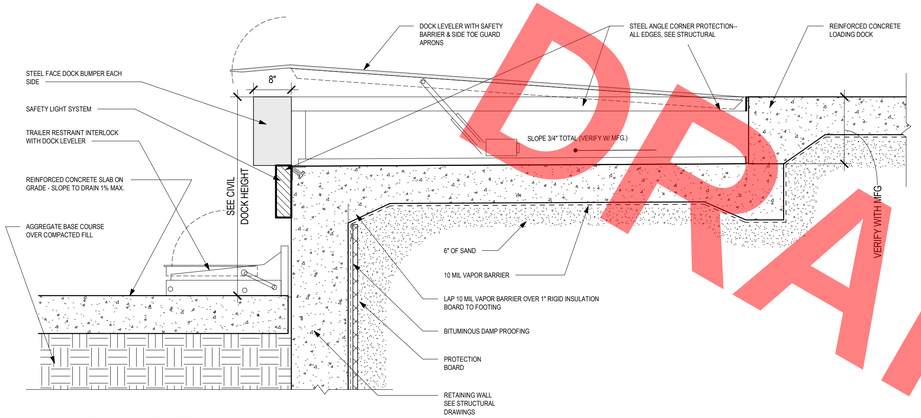


1 MAN HOLE COVERING
1/2" = 1'-0"



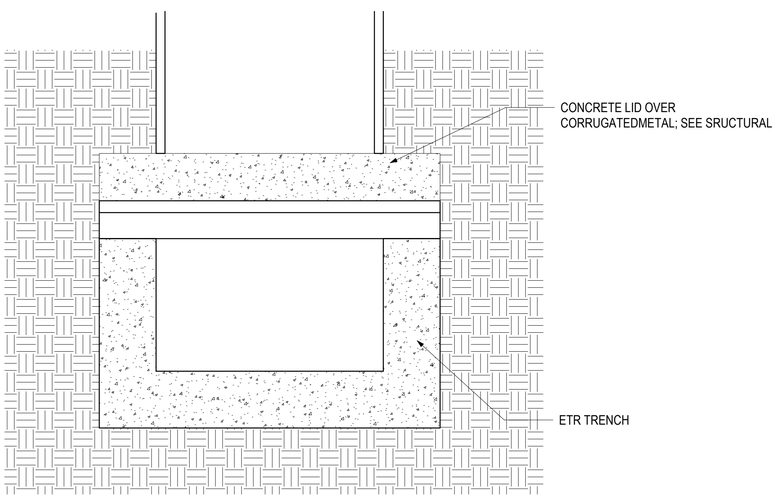
2 DOCK LEVER
3/4" = 1'-0"

8 NOT USED 8
1 1/2" = 1'-0"

7 NOT USED 7
1 1/2" = 1'-0"

6 NOT USED 6
1 1/2" = 1'-0"

5 NOT USED 5
1 1/2" = 1'-0"



3 SECTION AT CONCRETE THROUGH
1 1/2" = 1'-0"

PROGRESS SET NOT FOR CONSTRUCTION

DRAFT

DIMENSION IV
Madison Design Group
architecture · interior design · planning
6515 Grand Teton Plaza, Suite 120
Madison, Wisconsin 53719
p608.829.4444 f608.829.4445 dimensionivmadison.com

ALTMANN CONSTRUCTION COMPANY, INC.
5921 Plover Road; PO Box 65
Wisconsin Rapids, Wisconsin 54495
p715.421.2550 f715.423.2310 altmannconstruction.com

MATALCO - STAND-ALONE BUILDING

4800 Commerce Drive
Wisconsin Rapids, WI

DATE OF ISSUE: 9/10/2021

REVISIONS:

PROJECT # 21108

DETAILS

A8.0

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Administrative Staff Report

Conditional Use: Addition
Plan Commission Review
1801 16th St. S.
September 2, 2021

WISCONSIN RAPIDS
Department of Community Development

Applicant(s):

- Wisconsin Rapids Public School District

Staff:

- Kyle Kearns, Director of Community Development

Parcel Number(s):

- 3414751

Lot Information:

- Acreage: 80.74 Acres

Zone(s):

- "I-1" Institutional District

Council District:

- District 6

Master Plan:

- Institutional

Current Use:

- Institutional

Applicable Regulations:

- Chapter 11 - Zoning

Request

PLAN-21-0838; Wisconsin Rapids Public School District – public hearing and action on a request for a conditional use permit amendment to construct an addition on the high school at 1801 16th Street South (Parcel ID 3414751)

Attachment(s)

1. Application
2. Site Plan

Findings of Fact

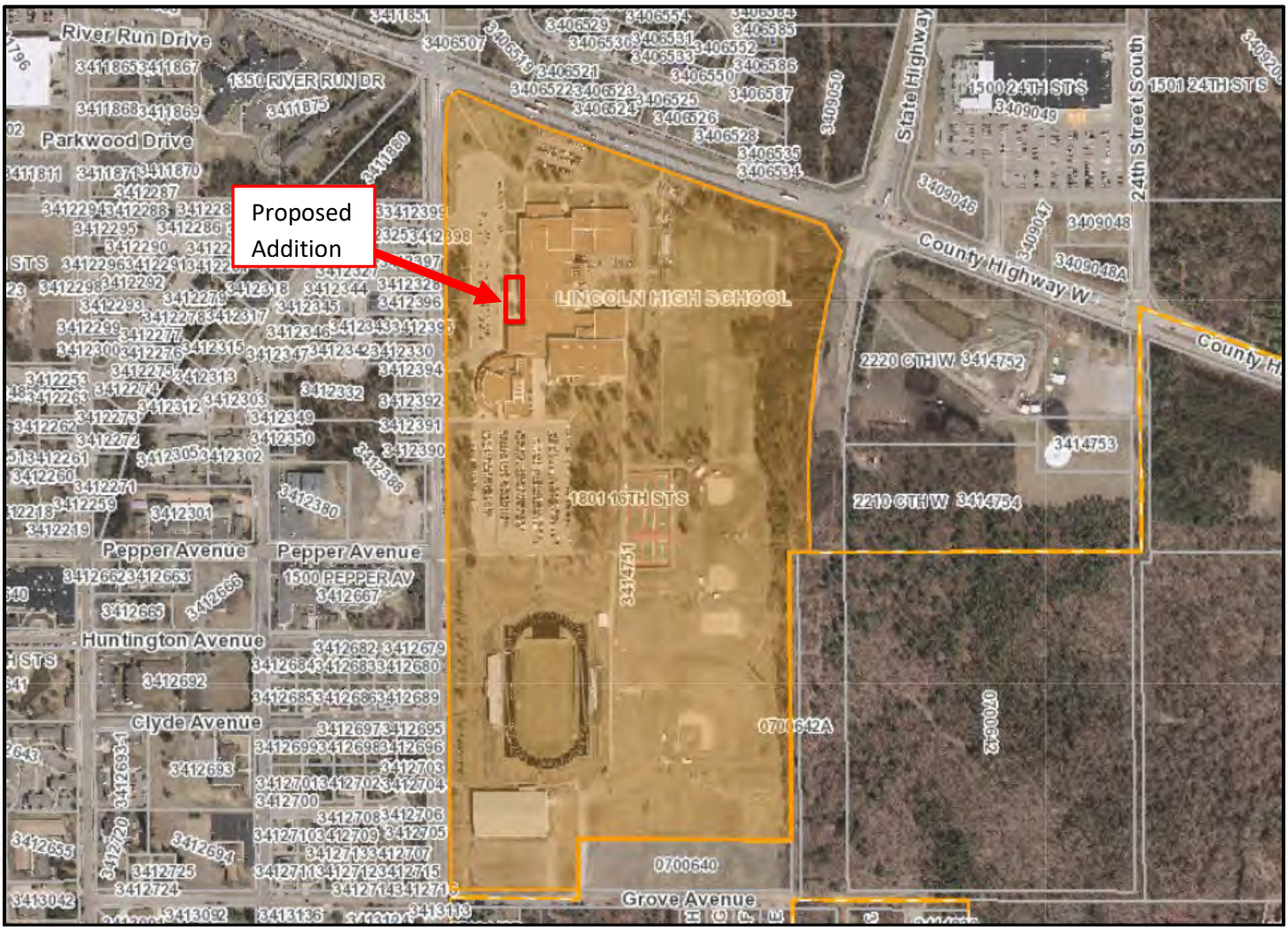
1. The property is over 80 acres in size and is utilized for the local area high school.
2. The request is to add an addition onto the western entrance of the school.
3. High Schools are a conditional use within the Institutional district; any changes to the site requires an amendment.
4. The property is zoned "I-1" Institutional District

Staff Recommendation

Approve the request from the applicant for a conditional use permit amendment to construct an addition on the high school at 1801 16th Street South (Parcel ID 3414751):

1. An updated landscaping plan shall be submitted, meeting applicable requirements, to be reviewed and approved by the Community Development Department.
2. A lighting plan shall be submitted, meeting applicable standards, to be reviewed and approved by the Community Development Department.
3. Applicable building and stormwater permits, state and local, shall be obtained.
4. Minor modifications to the plan shall be permitted to be reviewed and approved by the Community Development Department.

Vicinity Map



Background

The Wisconsin Rapids Area Public School District is requesting an addition in order to create a secure entry to the High School. Offices are also included in the addition. The high school is a considered a conditional use within the Institutional zoning district and would require review and approval for the addition.

The conditional use permit standards of review are analyzed below, and more information can be found within the attached application and plans.

Conditional Use Permit Standards of Review

11.05.55 Basis of decision

Generally. When reviewing conditional uses other than nonconforming conditional uses, the review authority shall consider the following factors:

1) **the size of the parcel on which the proposed use will occur;**

   Analysis: The property is currently being utilized for the high school, which includes outdoor recreational activities. Furthermore, the proposed improvements assist in securing the facility and are within a developed area on site.

   Findings: The high school property is large at over 80 acres, much of which is devoted to recreational uses. The addition onto the west side of the building, within and already improved area, should not be detrimental to the use.

2) **the presence of and compatibility with other uses on the subject property, if any;**

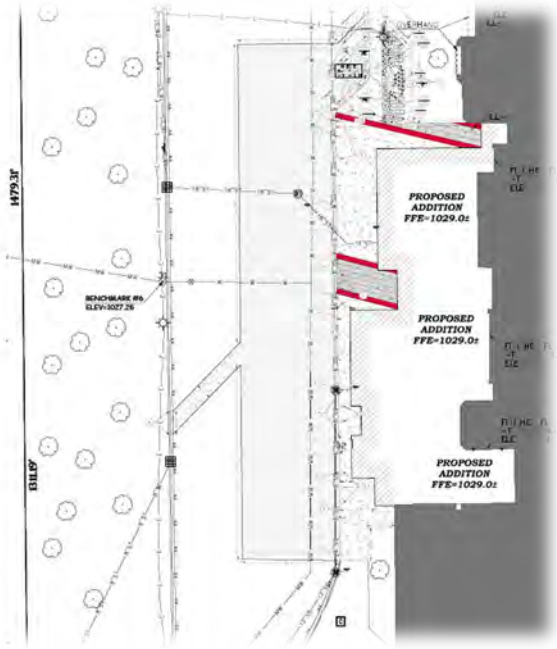
   Analysis: The high school use and any accessory recreational uses already exist on the property.

   Findings: The proposed improvements should not increase, change, or impact traffic, pedestrian access, or other uses. Furthermore, they should, compliment the high school use and should not be detrimental to such use.

3) **the location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses);**

   Analysis: See the above analysis and findings. The proposed improvements will occur on southwest side of the building, in an area where hard surface currently exists. This area currently serves as one of the building's primary entrances. Residential properties exist to the west of the property, along 16th Street South.

   Findings: While the addition will expand the building closer to the adjacent street, it will somewhat match the building line directly south and will not encroach further into the parking area westward. Additionally, the improvements will significantly improve the building aesthetics and create a more secure entrance for students.



4) **effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;**

   Analysis: See analysis and findings above regarding the addition location and facility security. As depicted above, a walkway will remain to allow pedestrians to transect north and south through the site without entering the parking area. Vehicle parking, including for buses and drop-off will remain similar to its existing configuration.

   Findings: Traffic should not negatively be impacted by the addition nor pedestrian access and accommodations.

5) **the suitability of the subject property for the proposed use;**

   Analysis: See the above standards regarding lot size and other site specifics. The applicant has described the use further within the application.

Findings: The addition will improve the security of the entire facility as well as the aesthetics of the building.

6) **effects of the proposed use on the natural environment;**

Analysis: The addition is proposed within an improved impervious area.

Findings: Some landscaping exists within the development area which will be lost, but other landscaping will be installed after the development. Staff would recommend all stormwater requirements, state and local, be met.

7) **effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances;**

Analysis: See the above analysis'. Again, the use already exists on the property, but would be expanded.

Findings: The use is on a property where it already occurs, and the improvements should not increase the intensity of the use. Furthermore, the property lies on a main arterial street where multiple ingress/egress points exists to the use, which will remain.

8) **effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts; and**

Analysis: The surrounding area is fully developed. Vacant land to the east is owned by the School District or City and will likely be held.

Findings: The building addition should not impede the normal development and improvement of the surrounding area.

9) **any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.**

Analysis: Notices regarding the request were sent to neighbors within a 300-foot boundary of the property.

Findings: Concerned citizens can attend the meeting and provide input at the public hearing. As of the date of this memo, no communication from neighbors or members of the public have been received.

Site Plan & Architectural Standards of Review

1) **Use**

Analysis: A high school is a conditional use within the I-1 Institutional District.

Findings: See the Conditional Use Permit standards above. Note that a building plan – architectural review (AR), plan of operation (PO), site plan review (SP), and zoning permit (ZP) are required for nonresidential accessory structures.

2) **Dimensional Standards**

Analysis: The I-1 district requires 30,000 square feet, and the lot is 80+ acres. Building setbacks for the addition appear to meet the minimums (25-foot street and 10-foot side and rear). The building coverage ratio and impervious surface ratio are unknown, but it appears they are evidently met given the size of the site.

Findings: The applicable dimensional standards appear to be met.

3) **Ingress/Egress**

Analysis: The existing driveways on 16th Street will remain, to be utilized for the entrance of the high school.

Findings: Driveway standards are met, as the addition does not change ingress/egress to the site.

4) Parking

Analysis: The proposed development does not include an expansion to the parking area on the site. The following parking is required for the use:

Parking Requirements: 1 space for each 8 students (grades 9-12) at design capacity; plus 1 space for each employee on the largest work shift.

Findings: As the addition will not affect enrollment or staffing, no additional parking shall be required based on the standards above.

5) Landscaping

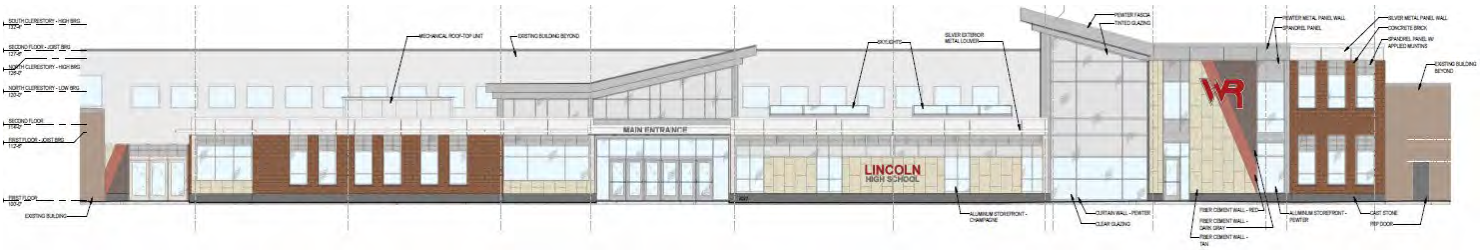
Analysis: The addition may slightly increase the building foundation planting requirements below:

*11.16.43 Building foundation landscape requirements (a) Minimum amount required. A minimum of 40 landscape points shall be provided on a prorated basis for every 100 feet of building foundation perimeter. For example, a building with a perimeter of 180 feet must provide a minimum of 72 landscape points ((180/100)*40)=72*

Findings: A landscaping plan has been submitted and identifies over 100 plantings in a landscaped area, north of the addition. Placement of landscaping in a larger planting area is primarily so that the pedestrian path in front of the development is maintained and so the addition does not encroach into the parking area. The plantings total approximately 215 landscape points. The landscape points may meet the point requirements for the linear length of the addition, but not the actual calculation for the building foundation. Staff would recommend the applicant submit an updated landscaping plan which identifies the building foundation calculations.

6) Architectural Review

Analysis: The proposed addition has a great deal of architectural features and façade materials. Most noticeable is the large atrium-like entrances with large windows and skylights. Incorporated within the facade are fiber cement board panels, metal panels and concrete brick, all of different colors and textures.



Findings: The design and architecture of the addition is impressive and surely made to attract attention, which is the main purpose of the addition, serving as a secured main entrance. The overall appearance differs slightly from the rest of the building, but the building has several designs and facades materials given the use and age. The addition will blend with the colors of the existing building and fit within the character of the facility.

7) Lighting & Photometric Plan

Analysis: A lighting and photometric plan have not been submitted, given the size and use of the addition, as well as the adjacent residential properties on 16th Street South.

Findings: Staff would recommend a lighting plan to be submitted, meeting applicable standards, to be reviewed and approved by the Community Development Department.

In summary, the proposed use should not be detrimental to the neighborhood and seems appropriate for the area and property, as it is not a substantial change to the existing use. Furthermore, the intensity of the use is not increasing, but the safety of students and visitors will be greatly improved as will the aesthetics of the school. Again, while the physical size of the building is increasing, the access and parking remain unaffected as the addition is in an already impervious area. Upon review, staff would recommend approving the conditional use permit amendment to construct an addition at the High School as proposed, subject to the conditions outlined on page 1.

Photos

Conditional Use Application
City of Wisconsin Rapids, Wisconsin

Version: January 3, 2019

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The City's zoning regulations identify land uses that may be allowed in each of the zoning districts either by right or as a conditional use. By definition, a conditional use is a land use that may or may not be appropriate on a given parcel depending on a wide range of factors that relate to the proposed use and the particular circumstances relating to the parcel and surrounding properties. Conditional uses are therefore considered on a case-by-case basis. As part of the review process, the Planning Commission and Common Council conduct a joint public hearing to solicit input from the general public and other interested parties. When reviewing conditional use applications, the Planning Commission serves in an advisory capacity to the Common Council, which makes the final decision. The recommendation of the Planning Commission and the decision of the Village Board are based on the evidence and testimony received as part of the application and through the public hearing process.

If you submit an application, do not contact any member on the Planning Commission or the Common Council until after a final decision has been made.

Office Use Only

Date Received	
Received By	
Fee	
Case #	
Aldermanic District	
Plan Commission Date	

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at https://wisconsinrapids.zoninghub.com/

Application fee: $250.00 for principal and accessory uses; $100.00 for temporary uses and $50.00 for administrative renewals

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Alderperson notification Before you submit your application, you will need to send a letter to the Alderperson of the district of where the request is taking place, explaining the request. Please attach the notification letter with your application materials.

1. **Applicant information**

Applicant name	Wisconsin Rapids Public Schools District
Street address	510 Peach Street
City, state, zip code	Wisconsin Rapids, WI 54494
Daytime telephone number	715.424.6700
Email	craig.broeren@wrps.net

2. **Agent contact information** Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Agent 1	Agent 2
Name	Steve Kieckhafer	Jim Lundberg
Company	Plunkett Raysich Architects, LLP	Point of Beginning
Street address	2310 Crossroads Dr., Suite 2000	4941 Kirschling Court
City, state, zip code	Madison, WI 53718	Stevens Point, WI 54481
Daytime telephone number	608-478-4012	715-310-3271
Email	skieckhafer@prarch.com	jiml@pobinc.com

3. Type of application (select one)

☐ New conditional use

☐ Yes ■ No Are there any other current conditional use approvals for the property?

If yes, provide the year of issuance and a short description.

■ An amendment of a previously approved conditional use

4. Subject property information

Physical address 1801 16th Street South

Parcel number(s) _____ _____ _____ _____

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

✔ No

☐ Yes

If yes, please explain.

Comment: Pursuant **to** Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

✔ No

☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to https://wisconsinrapids.zoninghub.com/zoningmap.aspx)

The subject property is located in the following base zoning district(s). (check all that apply)

☐ RR Rural Residential	☐ R-8 Manufactured Home Park	☐ M-1 General Industrial
☐ R-1 Single-family Residential	☐ B-1 Downtown Commercial	☐ M-2 Heavy Industrial
☐ R-2 Mixed Residential	☐ B-2 General Commercial	■ I-1 Institutional
☐ R-3 Multi-family Medium Density Residential	☐ B-3 Neighborhood Commercial	☐ P-1 Park and Recreation
☐ R-4 Multi-family High Density Residential	☐ B-5 Mixed Use Commercial	☐ C-1 Conservancy

The subject property is also located in the following overlay zoning district(s). (check all that apply)

☐ Planned Development (PDD)	☐ Shoreland	☐ Floodplain
☐ Downtown Design	☐ Shoreland-Wetland	☐ Wellhead Protection

6. **Current use** Describe the current use of the subject property.

Lincoln High School is currently operating on the property.

7. **Proposed use** Describe the proposed conditional use or the proposed amendment.

No change. Lincoln High School will continue to operate on the property.

8. **Evaluation criteria** The factors listed below will be used in evaluating this application. Your responses are important.

1. The size of the parcel on which the proposed use will occur.

80.710 Acres

2. The presence of and compatibility with other uses on the subject property if any.

No other uses are currently located on the property. There are Athletic Activities throughout the site. However, they are for the use of the High School.

3. The location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses).

The proposed project is a secure entry, LMC, and office addition onto the front of the High School Building.

4. Effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site.

No change to current operations. Will improve the safety of the building with a newly configured secure entry.

5. The suitability of the subject property for the proposed use.

The site currently operates successfully as a High School and there is no change in use being requested.

6. Effects of the proposed use on the natural environment.

The proposed addition has minimal impact to the natural environment. The project area is majority impervious currently.

7. Effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances.

No change.

8. Effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts.

No change.

9. Any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.

None.

9. Supplemental materials Attach the following to this application form.

1. A project map with the information listed in Appendix F of the zoning code.
2. Proposed construction plans (if applicable)
3. The letter you sent to the Alderperson for the district in which the project is located.

10. Attachments List any attachments included with your application.

Building Elevations of the new addition
Site Plans (Including Landscaping)
Lighting Plan

11. Other information You may provide any other information you feel is relevant to the review of your application.

12. Mandatory meeting with staff

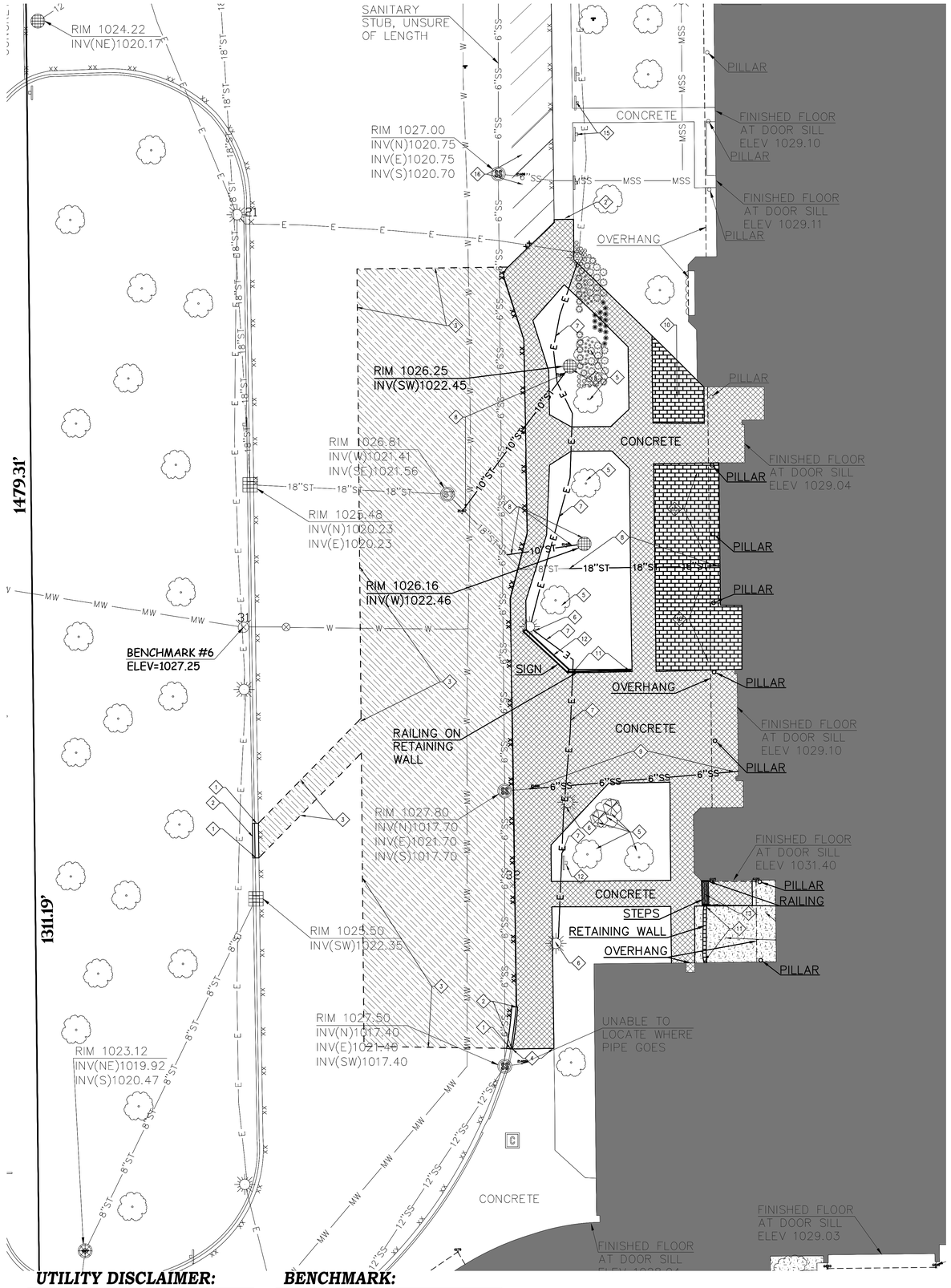
When did you meet with the Community Development Director? August/2021 Month/year

13. Applicant certification

- I understand that I, or any of my agents, may not discuss this application with any member of the Planning Commission or the Common Council until after a final decision is rendered.
- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Craig G. Broeren		8/13/21
Name – print	Name – Signature	Date
Name – print	Name – Signature	Date



GENERAL NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED, WHICH SHOULD BE TURNED OVER TO THE OWNER.
3. INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/CONSTRUCTION, IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
4. BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
5. COORDINATE WITH THE OWNER AND LOCAL UTILITY COMPANIES TO LOCATE ANY EXISTING UTILITIES ON SITE PRIOR TO THE START OF WORK.
6. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED, AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
7. STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
8. IF STRIPPED TOPSOIL IS STOCKPILED ON SITE, SILT FENCE SHALL BE INSTALLED AROUND THE BASE OF THE STOCKPILE TO PREVENT SEDIMENT TRANSPORT.
9. PRIOR TO PERFORMING WORK WITHIN PUBLIC RIGHT OF WAYS, NOTIFY AND COORDINATE WORK WITH THE LOCAL MUNICIPALITY.
10. ALL CONCRETE SAWCUTS SHALL BE AT AN EXISTING JOINT.

XX KEYNOTE:

1. SAWCUT EXISTING CONCRETE CURB
2. REMOVE EXISTING CONCRETE CURBING
3. SAWCUT EXISTING BITUMINOUS PAVEMENT
4. SAWCUT EXISTING CONCRETE WALK
5. CLEAR & GRUB EXISTING TREE/SHRUB
6. REMOVE AND SALVAGE LIGHT POLE
7. REMOVE ELECTRICAL LINE
8. REMOVE STORM PIPE AND MANHOLE (SEE PLUMBING PLANS FOR PROPOSED)
9. REMOVE SANITARY PIPE (SEE PLUMBING PLANS FOR PROPOSED)
10. REMOVE AND SALVAGE BRICK PAVERS
11. REMOVE RETAINING WALL (INCL. RAILINGS)
12. REMOVE SIGN
13. REMOVE CONCRETE STAIRS (INCL. RAILINGS)
14. REMOVE LANDSCAPING
15. REMOVE AND SALVAGE ADA PARKING SIGN
16. REMOVE ADA PARKING SYMBOL

DEMOLITION HATCH PATTERNS:

BITUMINOUS REMOVAL

CONCRETE REMOVAL

CIVIL SHEET INDEX:

1. DEMOLITION PLAN
2. LAYOUT PLAN
3. GRADING PLAN
4. EROSION CONTROL PLAN
5. UTILITY PLAN
6. DETAILS
7. DETAILS

UTILITY DISCLAIMER:

THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOW HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED, OR MARKED, DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY EXCAVATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MARKINGS, BY OTHERS, AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON, AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.

BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #4
WHP BOLT ON HYDRANT
LOCATED APPROXIMATELY 100 FEET WEST OF THE NORTHWEST CORNER OF THE SCHOOL BUILDING.
ELEVATION = 1028.61

BENCHMARK #6
TOP OF WEST FLANGE BOLT ON HYDRANT
LOCATED APPROXIMATELY 200 FEET WEST OF THE WESTERN EDGE OF THE SCHOOL BUILDING, EAST OF THE INTERSECTION OF MICHAEL COURT AND 16TH STREET SOUTH.
ELEVATION = 1027.25

0' 20' 40'
1" = 20'

209 south water street suite 200 milwaukee, wisconsin 53204 | 414 339 3060
2210 ringwood drive suite 202 sarasota, florida 34235 | 941 364 9020
1900 main street suite 309 sarasota, florida 34236 | 941 484 8845
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Landscape Architecture
641 Forestlake Court
Stevens Point, WI 54481
715.344.9999(Ph) 715.344.9922(Fx)
Point of Beginning

WISCONSIN RAPIDS PUBLIC SCHOOLS
Lincoln High School Addition and Renovations
1801 16TH ST S WISCONSIN RAPIDS, WI 54494

REVISIONS:

DEMOLITION PLAN

CUP REVIEW

DATE: 08-27-2021
JOB NO: 200013-02
SHEET NO: C100.1

NOT FOR CONSTRUCTION

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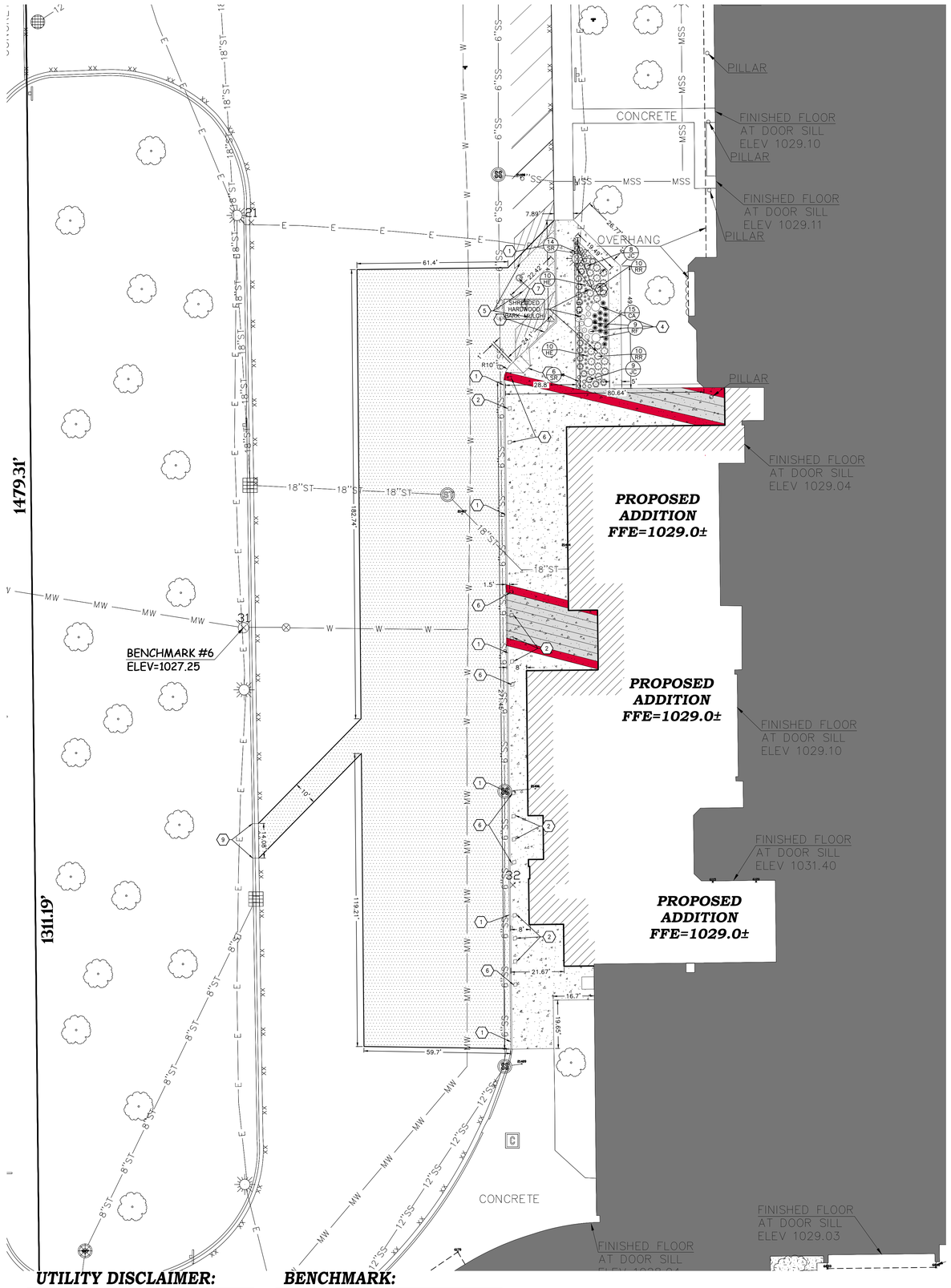

GENERAL NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
3. ALL REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
4. SEE SHEET C102.1 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
5. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
6. VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
7. BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
8. PRIOR TO STARTING WORK, VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
9. COORDINATE CONSTRUCTION IN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES.
10. PROVIDE PROPER BARRICADES, SIGNS, AND TRAFFIC CONTROL TO MAINTAIN THRU TRAFFIC ALONG ADJACENT STREETS IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS.
11. SIDEWALK JOINTS SHALL BE INSTALLED AS INDICATED OR AS APPROVED BY THE CONSTRUCTION MANAGER.
12. ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED, FERTILIZED, AND CRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

KEYNOTES:

1. THICKENED EDGE WALK — 2/C103.1
2. DECORATIVE BOLLARD (SEE ARCHITECTURAL)
3. ADA RAMP — 4/C103.1
4. TOP LIT FLAG POLE (COORDINATE WITH ELEC.)
5. PARKING LOT STRIPING — 3/C103.1
6. LIGHTED BOLLARD (SEE ELECTRICAL)
7. ADA PARKING STALL — 3/C103.1
8. REINSTALL ADA PARKING SIGNS
9. REPLACE CURB IN KIND

PAVEMENT HATCH PATTERNS:

PROPOSED 3.5" ASPHALT PAVEMENT W/DENSE GRADED BASE COURSE		1/C103.1
PROPOSED 4" CONCRETE PAVEMENT		2/C103.1
PROPOSED 4" COLORED CONCRETE PAVEMENT (SEE ARCHITECTURAL FOR LAYOUT)		2/C103.1
PROPOSED 4" COLORED CONCRETE PAVEMENT (SEE ARCHITECTURAL FOR LAYOUT)		2/C103.1

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BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #4
WHIP BOLT ON HYDRANT
LOCATED APPROXIMATELY 100 FEET WEST OF THE NORTHWEST CORNER OF THE SCHOOL BUILDING.
ELEVATION = 1028.61

BENCHMARK #6
TOP OF WEST FLANGE BOLT ON HYDRANT
LOCATED APPROXIMATELY 200 FEET WEST OF THE WESTERN EDGE OF THE SCHOOL BUILDING, EAST OF THE INTERSECTION OF MICHAEL COURT AND 16TH STREET SOUTH.
ELEVATION = 1027.25

0' 20' 40'
1" = 20'

NOT FOR CONSTRUCTION

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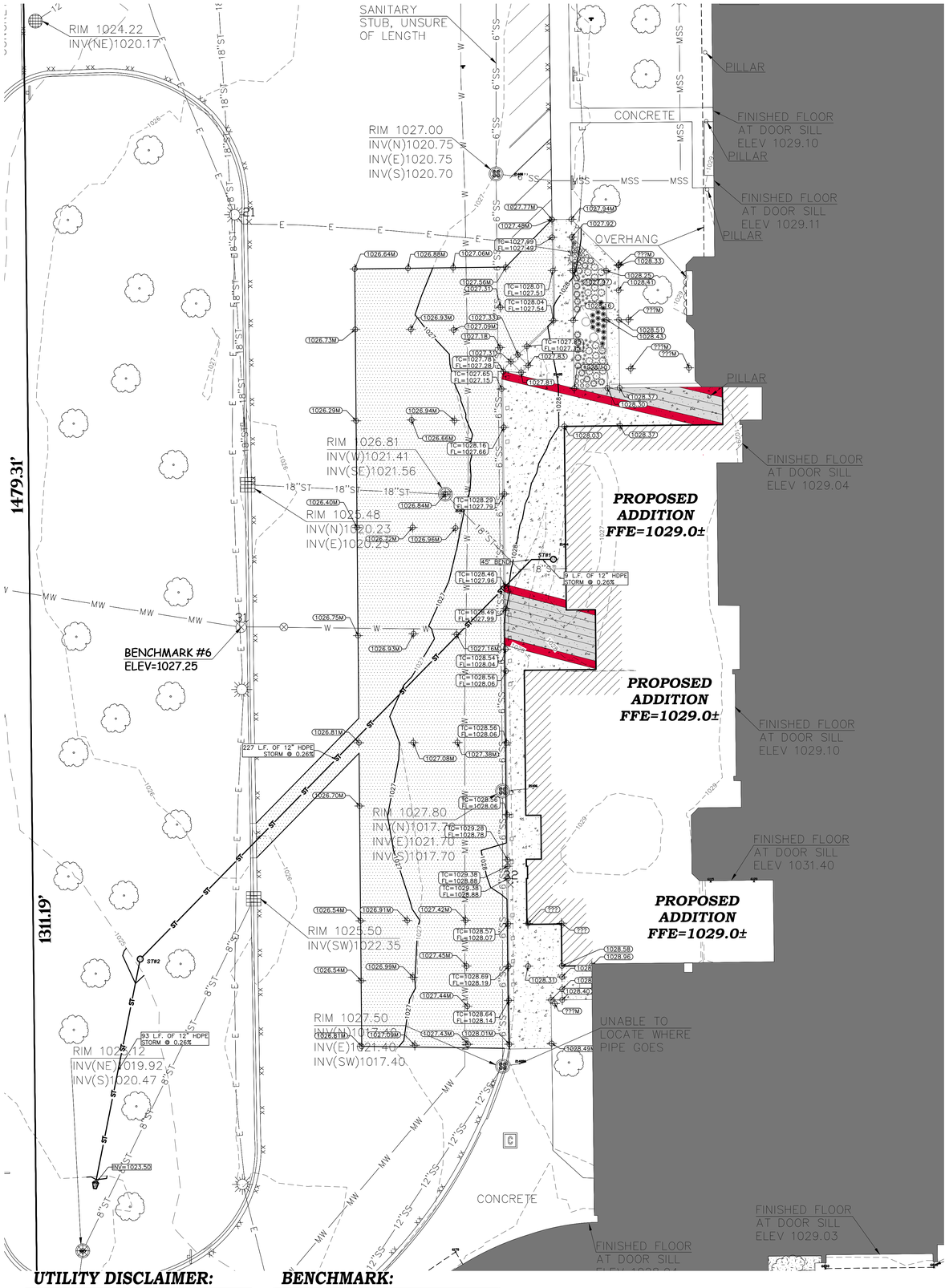
WISCONSIN RAPIDS PUBLIC SCHOOLS
Lincoln High School Addition and Renovations
1801 16TH ST S WISCONSIN RAPIDS, WI 54494

REVISIONS:

LAYOUT PLAN

CUP REVIEW

DATE: 08-27-2021
JOB NO: 200013-02
SHEET NO: C101.1



GENERAL NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. THE PROPOSED SITE PLAN FINISH FLOOR ELEVATION OF 1029.0' EQUALS THE PROPOSED BUILDING ARCHITECTURAL FINISH FLOOR ELEVATION OF 100.00'.
3. GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
4. INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
5. 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS AND 12" SHALL BE PROVIDED IN ALL PLANTING BED AREAS.
6. SEE SHEET C102.1 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
7. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED, AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
8. COORDINATE ALL EARTHWORK ACTIVITIES WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
9. EXCESS TOPSOIL SHALL BE REMOVED FROM SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER. COORDINATE WITH OWNER FOR LOCATION OF STOCKPILE IF THE OWNER CHOOSES TO SALVAGE EXCESS TOPSOIL FOR FUTURE USE. SILT FENCE SHALL BE PLACED AROUND STOCKPILE.
10. ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
11. THE LOCAL MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES IF NEEDED.
12. GRADES AT BUILDING EDGE SHALL BE 10" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.

GRADING LEGEND:

EXISTING CONTOUR	712
PROPOSED CONTOUR	712
PROPOSED SPOT ELEVATION	892.26
PROPOSED MATCH ELEVATION (CONTRACTOR TO VERIFY)	892.05M
PROPOSED STORM SEWER	X"ST
PROPOSED ENDWALL STRUCTURE WITH RIP RAP	6 C103.1
PROPOSED STORM SEWER MANHOLE	ST 5 C103.1

STORM MANHOLE SCHEDULE:

STRUCTURE #	STRUCTURE DETAILS
ST#1	RIM = 1028.44 INV (E) = 1024.50 INV (W) = 1024.34 DEPTH = 4.09' 36" I.D. PRECAST MANHOLE W/ NEENAH R-1733 CASTING & SOLID LID
ST#2	RIM = 1025.91 INV (NE) = 1023.74 INV (S) = 1023.74 DEPTH = 2.17' 36" I.D. PRECAST MANHOLE W/ NEENAH R-1733 CASTING & SOLID LID

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0' 20' 40'
1" = 20'

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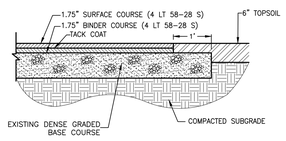
WISCONSIN RAPIDS PUBLIC SCHOOLS
Lincoln High School Addition and Renovations
1801 16TH ST S WISCONSIN RAPIDS, WI 54494

REVISIONS:

GRADING & EROSION CONTROL PLAN

CLP REVIEW

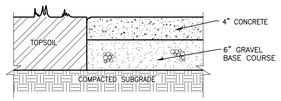
DATE: 08-27-2021
JOB NO: 200013-02
SHEET NO: C102.1



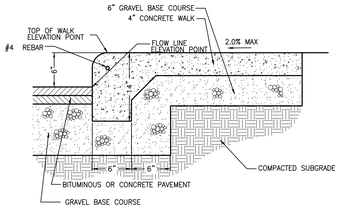
3.5" STANDARD DUTY

*NOTES:
1. PLACE ADDITIONAL DENSE GRADED BASE IN FILL AREAS WITHIN THE PROPOSED PARKING LOT, TO BRING SUBGRADE UP TO PROPOSED.

ASPHALT PAVING — 1 / C103.1

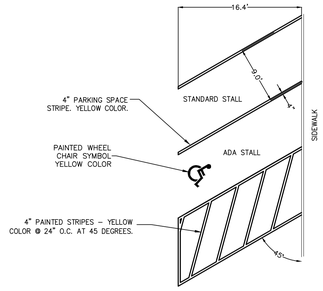


4" CONCRETE

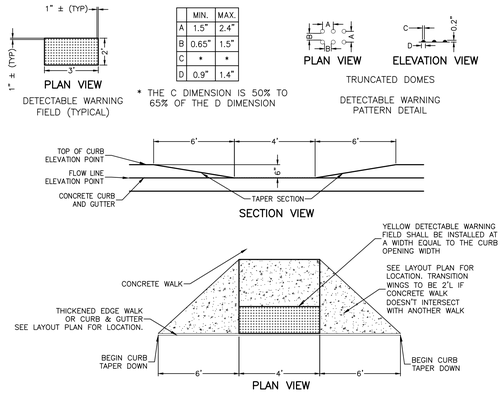


THICKENED EDGE SIDEWALK

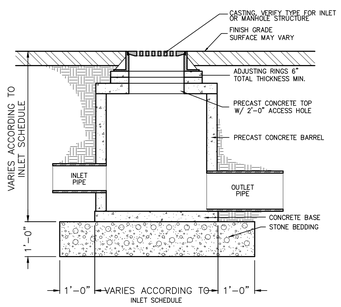
CONCRETE PAVEMENT — 2 / C103.1



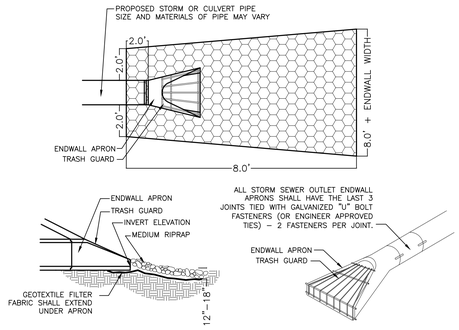
PARKING LOT STRIPING — 3 / C103.1



ADA CURB RAMP — 4 / C103.1



STORM SEWER MANHOLE — 5 / C103.1



NOTES:
1. ENDWALL APRON SHALL BE PLACED LEVEL WITH THE TOP OF THE RIPRAP. PLACE FILTER FABRIC BENEATH THE PROPOSED RIPRAP. RIPRAP SHALL BE PLACED ONLY AT DISCHARGE END PIPE. SEE UTILITY PLAN FOR LOCATION
2. ALL ENDWALLS SHALL HAVE A TRASH GUARD

ENDWALL STRUCTURE — 6 / C103.1

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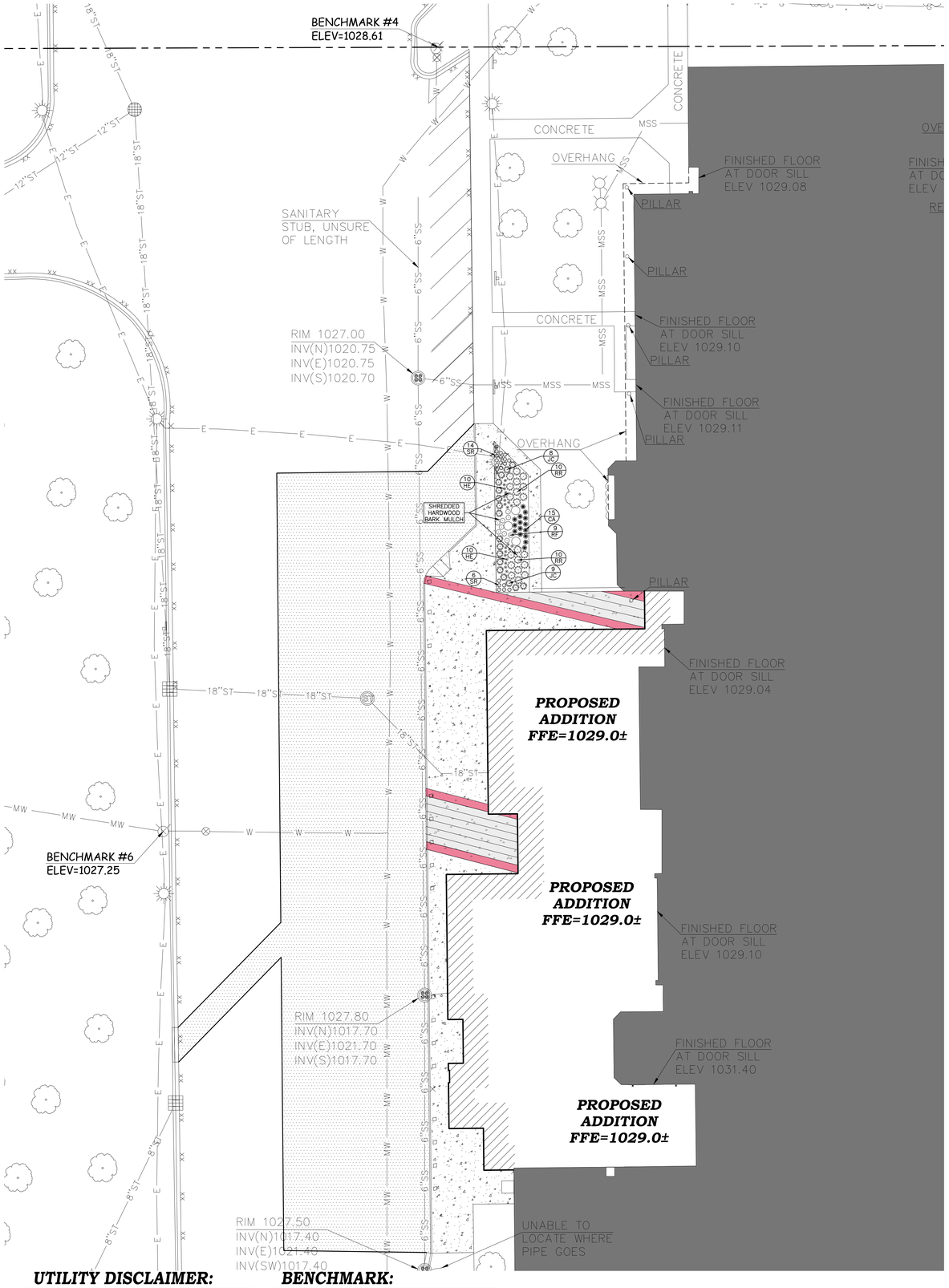
WISCONSIN RAPIDS PUBLIC SCHOOLS
Lincoln High School Addition and Renovations
1801 16TH ST S WISCONSIN RAPIDS, WI 54494

REVISIONS:

DETAILS

CUP REVIEW

DATE: 08-27-2021
JOB NO: 200013-02
SHEET NO: C103.1



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GENERAL NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SPECIFIED PLANTING SOIL DEPTH IS PRESENT PRIOR TO PLANTING.
3. SEED/FERTILIZE/CRIMP HAY MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION.
4. ALL PLANT MATERIALS LISTED SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION FOR THE SIZES GIVEN.
5. EDG-KING LANDSCAPE EDGING OR EQUAL SHALL BE PLACED AROUND ALL LANDSCAPE BEDS.
6. 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH SHALL BE PLACED IN PLANTING BEDS.
7. DEWITT WEED BARRIER-20 YEAR SHALL BE PLACED BENEATH ALL BARK MULCH.
8. COORDINATE ALL LANDSCAPE WORK WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.

PLANTING SCHEDULE:

SHRUBS SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
JC	JUNIPERUS COMMUNIS 'MONDAP'	ALPINE CARPET JUNIPER	#3	8"T X 3'W	17
RR	ROSA RUGOSA 'MEITOZAURE'	RUGOSTAR RASPBERRY GROUNDCOVER ROSE	#3	2-3'T X 3-5'W	20

ORNAMENTAL GRASS SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
CA	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#2	4-6'T X 2'W	15

PERENNIALS SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
HE	HEMEROCALLIS 'ROSY RETURNS'	ROSY RETURNS DAYLILY	1 GAL.	12-15"T X 10-12"W	20
RF	RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM BLACK EYED SUSAN	1 GAL.	24"T & W	9
SR	SEDUM 'RAZZLEBERRY'	SUNSPARKLER DAZZLEBERRY SEDUM	1 GAL.	6-8"T X 18"W	20

0' 20' 40'
1" = 20'

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REVISIONS:

LANDSCAPE PLAN

CUP REVIEW

DATE: 08-27-2021
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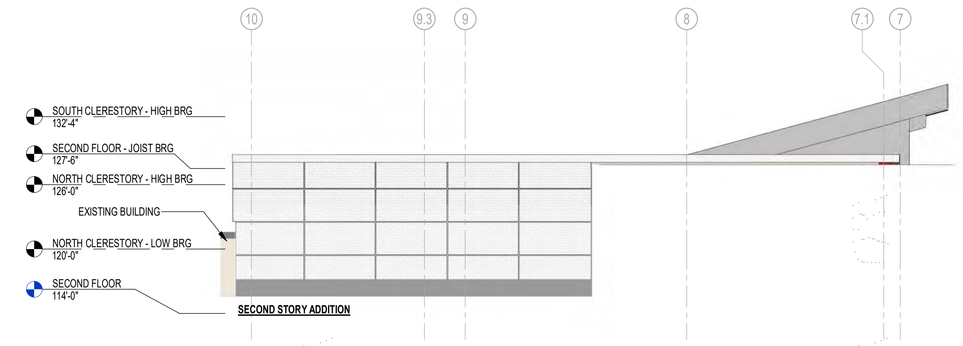
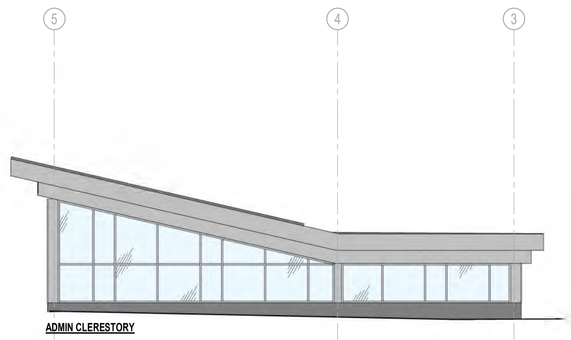
SHEET NO: L100.1



A1 **EAST ELEVATION**
1/8" = 1'-0"



EXTERIOR ELEVATIONS SYMBOLS LEGEND

- SECTION REFERENCE (1 / A101)
- ELEVATION NOTE (X)
- DETAIL REFERENCE (1 / A101)
- WINDOW TYPE (AL01)
- CONSTRUCTION KEYNOTE (X)

EXTERIOR FINISH PATTERNS

- CAST STONE
- CONCRETE BRICK
- GLASS (CLEAR/ TINTED/ SPANDREL)
- FIBER CEMENT PANEL (TAN/ RED/ GRAY)
- COMPOSITE METAL PANEL (SILVER/ PEWTER)

EXTERIOR ELEVATIONS GENERAL NOTES

A. PAINT ALL EXPOSED STEEL LINTELS TO MATCH ADJACENT MASONRY COLOR

B. TRIM ALL EXTERIOR LIGHTING FIXTURES, OUTLETS, HOSE BIBBS AND ALL OTHER SIDING PENETRATIONS WITH 1X4 FIBER CEMENT TRIM (TYP.)

C. REFER TO SHEET A891 FOR WINDOW FRAME ELEVATIONS

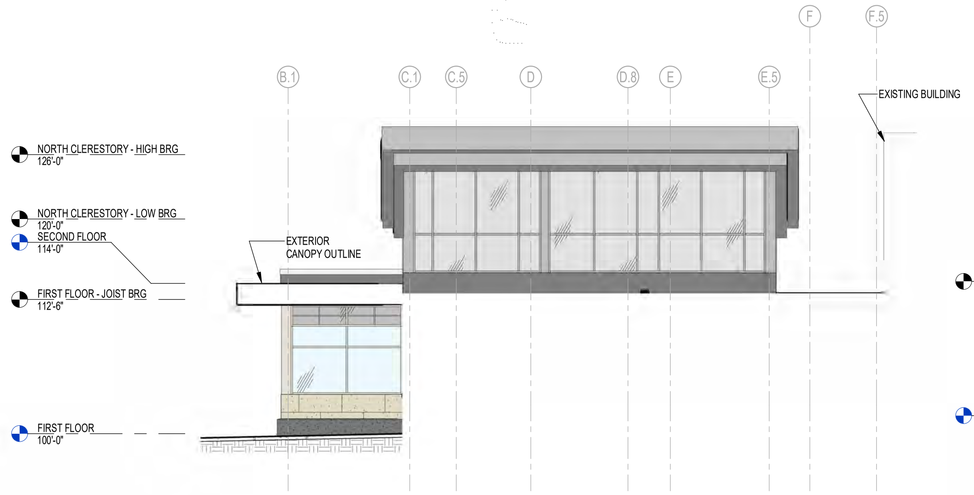
D. SEALANT COLORS TO MATCH ADJACENT FINISHED SURFACES.

E. FIBER CEMENT COLOR TO BE REDWOOD STAIN.

CONSTRUCTION TYPES	
MARK	DESCRIPTION

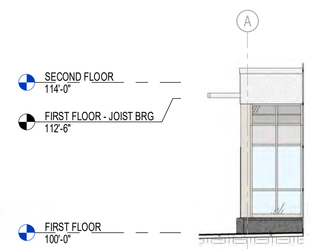
C1 **WEST ELEVATION**
1/8" = 1'-0"

D1 **NORTH ELEVATION**
1/8" = 1'-0"

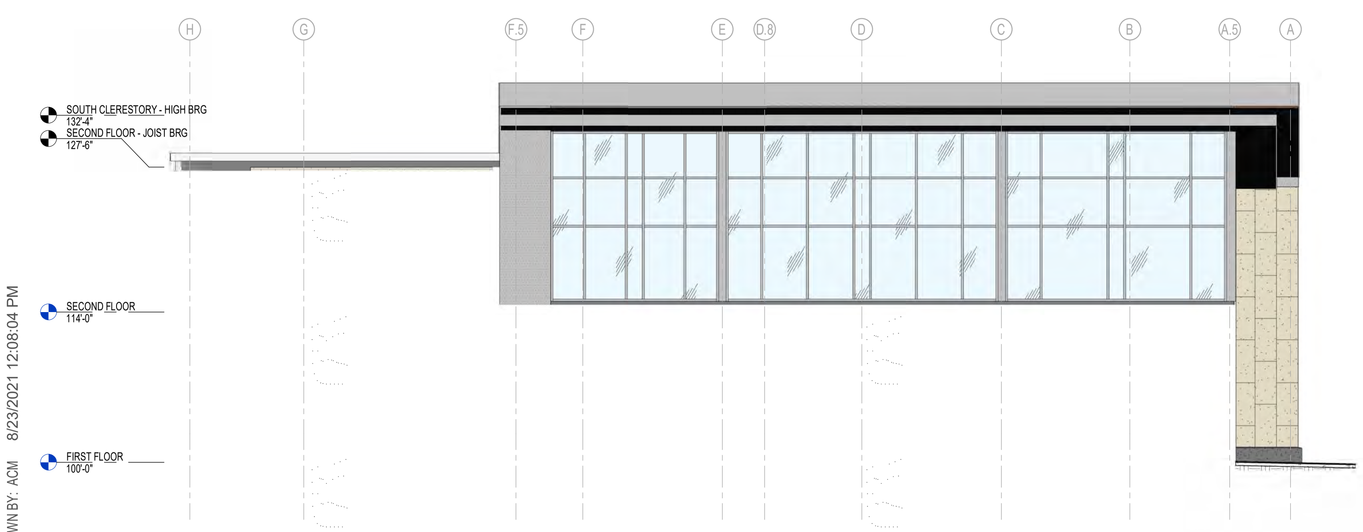


D3 **NORTH ELEVATION - WEST ELEVATION @ ENTRY**
1/8" = 1'-0"

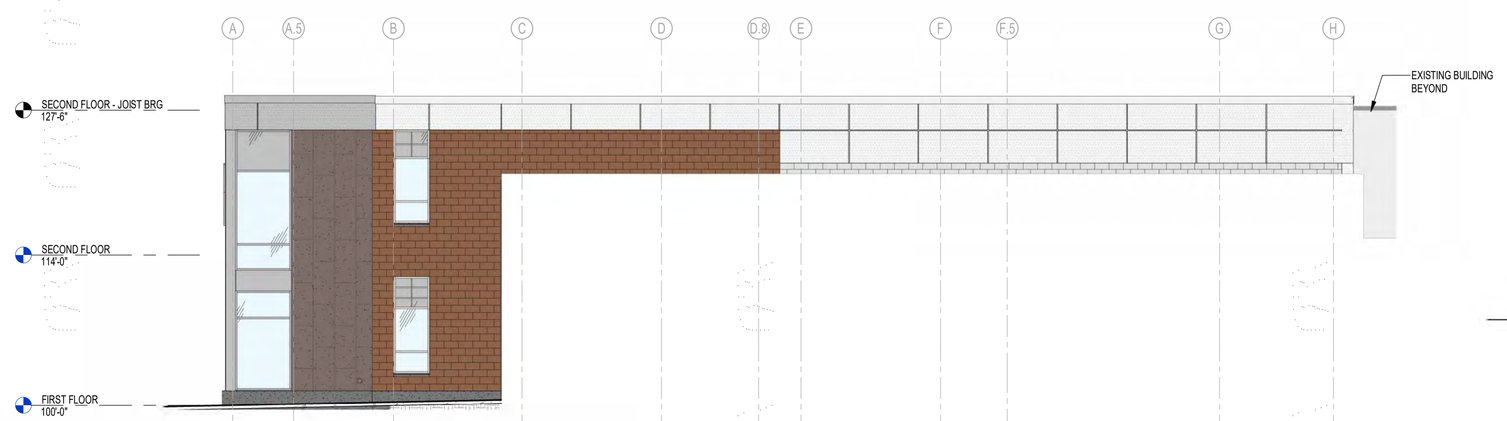
D4 **SOUTH ELEVATION - WEST ELEVATION @ ENTRY**
1/8" = 1'-0"



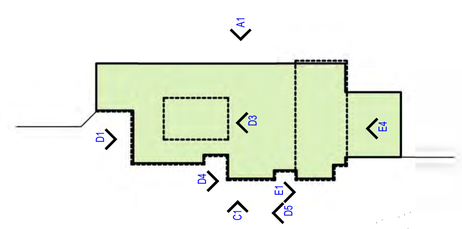
D5 **NORTH ELEVATION - WEST ELEVATION @ BUMP OUT**
1/8" = 1'-0"



E1 **SOUTH ELEVATION - WEST ELEVATION @ BUMP OUT**
1/8" = 1'-0"



E4 **SOUTH ELEVATION**
1/8" = 1'-0"



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Wisconsin Rapids Public Schools
Lincoln High School Addition and Renovations - Phase 1
1801 16TH ST S WISCONSIN RAPIDS, WI 54494

REVISIONS:

EXTERIOR ELEVATIONS

PROGRESS SET

DATE: 08-27-2021
JOB NO: 200013-02
SHEET NO: A400

WEST PERSPECTIVE

AERIAL VIEW

NORTHWEST PERSPECTIVE

SOUTHWEST PERSPECTIVE

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Wisconsin Rapids Public Schools
Lincoln High School Addition and Renovations - Phase 1
1801 16TH ST S WISCONSIN RAPIDS, WI 54494

REVISIONS:

RENDERINGS

PROGRESS SET
BID PACKAGE:
DATE: 08-27-2021
JOB NO: 200013-02
SHEET NO: A222

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Administrative Staff Report

Rezoning Request
410 Avon Street & 431 Saratoga Street
Plan Commission Review
September 2, 2021

WISCONSIN RAPIDS
Department of Community Development

Applicant(s):

- County of Wood

Staff:

- Kyle Kearns, Director of Community Development

Parcel Number(s):
410 Avon St. (Parcel ID 3407750) 431 Saratoga St. (Parcel ID 3407748)

Lot Information:

- Combined Size: 1.44 Acres

Zone(s):

- B-2 Commercial District

Council District:

- District 5 - Evanson

Master Plan:

- Commercial

Current Use:

- Vacant – Parking

Applicable Regulations:

- Chapter 11 - Zoning

Request

PLAN-21-0816; County of Wood – public hearing and action on a request for a zoning map amendment to rezone 410 Avon Street (Parcel ID 3407750), zoned B-2 General Commercial and R-2 Mixed Residential district, and 431 Saratoga Street (Parcel ID 3407748), zoned B-2 General Commercial, to I-1 Institutional District

Attachment(s)

1. Application

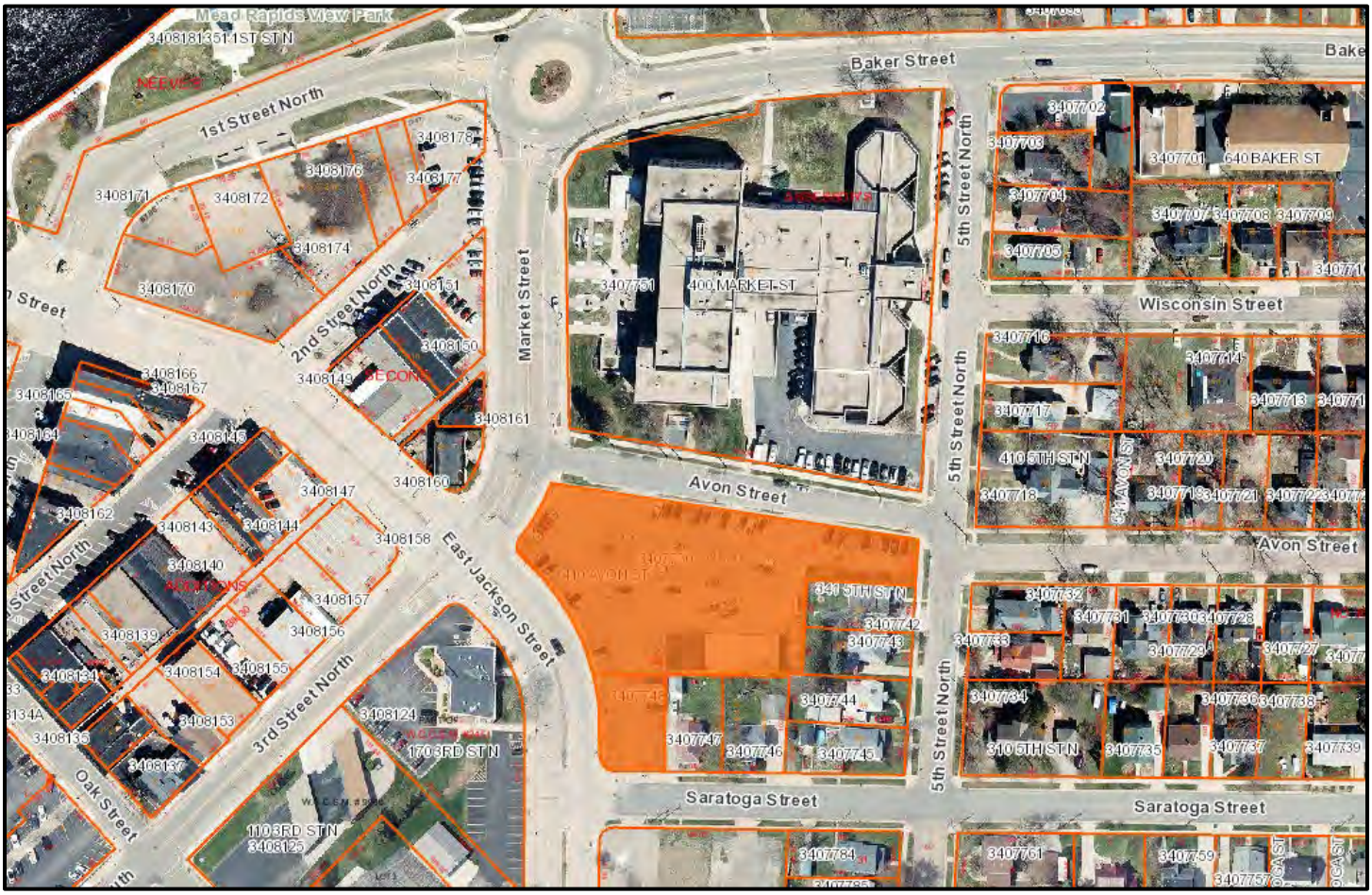
Findings of Fact

1. The property includes two parcels, approximately 1.44 acres combined.
2. The parcels are currently being used primary as parking for the courthouse, but a maintenance building also exists on site.
3. The property is primarily zoned B-2 Commercial District and a small portion split zoned R-2 Mixed Residential District.
4. Wood County plans to construct a jail (public safety facility) on the property.
5. The applicant request a rezoning from B-2 to I-1 to create consistency with the adjacent courthouse zoning classification.
6. Public Safety Facilities are permitted in the B-2 District, however, become a conditional use in the I-1 District.
7. The surrounding area is a mix of uses and zoning classifications.
8. Plan Commission shall make a recommendation on the rezoning request

Staff Recommendation

1. Approve the request to rezone 410 Avon Street (Parcel ID 3407750) and 431 Saratoga Street (Parcel ID 3407748) from B-2 General Commercial District to I-1 Institutional District

Vicinity Map



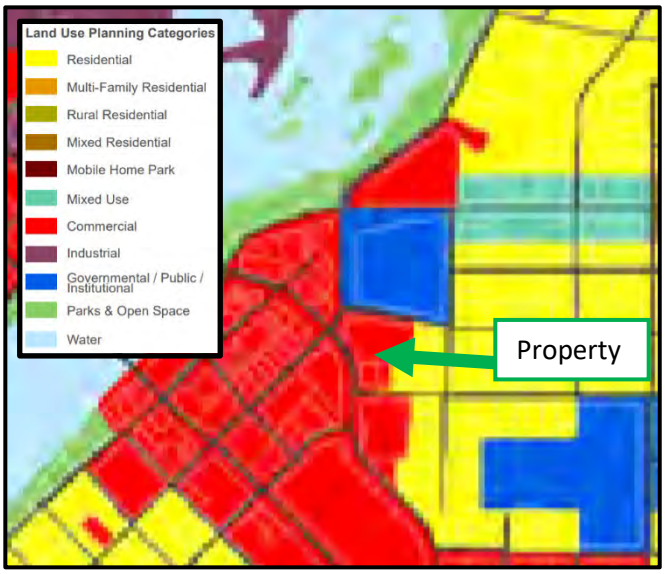
Background

Wood County is proposing to construct a new jail (public safety facility) adjacent to the courthouse. The property is currently primarily zoned B-2 Commercial District with a small portion split zoned R-2 Mixed Residential. The B-2 district permits the jail use, however, is inconsistent with the Institutional (I-1) zoning of the courthouse. Therefore, a request has been made to rezone the property above from B-2 & R-2 to I-1 to create a consistent zoning for both civic uses. Wood County intends to combine the parcels above with the courthouse and vacate Avon Street as well. Typically, a split zoned parcel is not recommended, as it can lead to inconsistent enforcement of zoning district performance standards. The civic public safety facility use is defined below and while a permitted use in the current B-2 District, would be come a conditional use under the I-1 District. This means a conditional use permit would be required prior to the construction of the jail if rezoned to I-1.

Public safety facility	**Description:** A place where public safety services are offered. The term includes ambulance services, fire stations, police stations, and jails. The term does not include correctional facilities. **Parking Requirements:** 1 space for each 500 gross square feet of office area; 1 space for each employee on the largest work shift; plus 1 space for each vehicle normally parked on the premises **Supplemental Standards:** Aside from generally applicable standards, no special standards apply to public safety facilities.

The applicant intends to apply for the conditional use permit if the rezoning is approved. The Avon Street Vacation is also occurring, which can take up to 90 days. Below are the standards of review for the rezoning request.

Rezoning Standards of Review



Zoning map amendment. If a proposed amendment would revise the zoning map, the Planning Commission in making its recommendation and the Common Council in making its decision shall consider the following factors:

1. **whether the amendment is consistent with the City's comprehensive plan, including future land use maps or similar maps.**

   Analysis: The Comprehensive Plan future land use map proposes the property to develop as Commercial, defined below.

   Commercial – Areas for a wide range of commercial development, including retail sales, personal and professional services, and offices. This area may also include lands designated for environmental protection and compatible civic uses.

   Findings: The commercial land use definition above permits the use of land for compatible civic uses**.** The rezoning to an institutional classification creates more of a focus on civic uses and zoning performance standards. For example, within the zoning ordinance, more civic government type uses are allowed within the B-2 Commercial District than the I-1 residential district. Also, I-1 district standards, such as setbacks, and lot size, are increased from the B-2 district standards, confirming the less-intense and less dense nature of the I-1 zoning district. Therefore, in this instance, an official comprehensive map amendment may not be necessary for the rezoning of the property to be consistent with the Comprehensive Plan.

   > ***Comprehensive Plan (page 135****) Land use and zoning are similar, but they are not the same. Land use categories are more general, while zoning is much more detailed. Zoning is the legal tool to regulate specific land uses. Since the land use categories are generalized, it is possible that more than one zoning district would correspond to each of the categories. The city has a zoning code and related map that details the current zoning and requirements.*

   It should also be noted that often the future land use map is created based on existing land use, and thorough review of all parcels does not occur. The Commercial designation was likely provided due to the adjacency to the downtown commercial area and past uses. Again, a rezoning to I-1, as proposed, would be consistent with the current Comprehensive Plan, and adjacent uses given the compatible civic type uses allowed in the Commercial land use category.

2. **whether the amendment is consistent with other planning documents adopted by the Common Council.**

   Analysis: The property is identified within the City's 2009 Downtown Waterfront Plan.

   The intent of the B-2 District and I-1 District is provided below.

   General commercial (B-2) district. *This district is primarily intended to accommodate a wide range of large- and small-scale commercial development generally on or near a major arterial along with compatible community and civic uses.*

   Institutional (I-1) district. *This district is intended to accommodate institutional uses, whether maintained by the City, another governmental body, or a private business, that are deemed to be a permanent use. This district is*

located in and adjoining residential areas of the City where such uses are consistent with existing and planned residential uses.

Findings: The City's downtown plan identifies structured parking and mixed-use development on the site.

P9 >>> AVON STREET PARKING STRUCTURE: Provide a public/private structure in close proximity to the Wood Co. Courthouse and Downtown District. Limiting structure to primarily private parking will open up existing surface lots downtown for public parking or infill opportunities.

While the plan above identifies a parking structure on the site, the plan does not provide an accurate assessment of downtown parking, as recent roadways improvements and other developments have occurred over the last decade. The plan furthermore indicates a void space along Jackson Street in front of the property. Any development on the property would assist in activating the frontage and removing the void.

The property is in a unique area on the edge of dense downtown commercial development and residential neighborhoods. Furthermore, it exists along a main thoroughfare near a controlled intersection. Generally, an institutional zoning classification is less intense than commercial, as it restricts uses and requires increased performance standards, such as setbacks, lot size, and impervious surface ratios. Therefore, it is a better zoning classification for buffering residential type uses. Generally, zoning districts should transition from higher intense districts to lower intense district to reduce incompatibilities amongst uses. Given the intent of the above zoning districts referenced, surrounding uses, lots, and other land use features, a rezoning is appropriate.

3. **the extent to which the amendment will or will likely increase or decrease the number of nonconforming uses and structures; and**

Analysis: The property is currently being used for County parking, as well as, a maintenance building, which is slated for demolition. A jail is proposed to be constructed on the property, connected to the adjacent courthouse. Below are the dimensional zoning standards for the existing district (B-2) and proposed district (I-1).

B-2 District

Lot Standards	Additional Details	Illustration Symbol	
Lot area, minimum	s. 11.06.102	A	10,000 square feet
Lot width, minimum	s. 11.06.103	B	90 feet
Street frontage, minimum	s. 11.06.104	C	50 feet
Water frontage, minimum	s. 11.06.105	-	none
Building Setbacks			
Front yard setback, minimum	s. 11.06.106	D	25 feet for principal building and detached accessory building **[1,2,3]**
Side yard setback, minimum	s. 11.06.106	E	20 feet for principal building; 10 feet for detached accessory building
Rear yard setback, minimum	s. 11.06.106	F	20 feet for principal building; 10 feet for detached accessory building
Building Standards			
Building height, maximum	s. 11.06.108	-	35 feet for principal building adjacent to a residential district; 45 feet for principal building not adjacent to a residential district; 15 feet for detached accessory building
Building coverage, maximum	s. 11.06.109	G	60 percent
Impervious surface, maximum	s. 11.06.110	H	80 percent
Other			
Distance between driveway and property boundary line, minimum	-	I	5 feet
Distance between parking lot and property boundary line, minimum	-	J	5 feet if adjacent to non-residential; 10 feet if adjacent to residential
On-site parking in front of principal building, maximum	s. 11.06.118	K	35 percent; 50 percent with special exception consistent with s. 11.06.118

I-1 District

Lot Standards	Additional Details	Illustration Symbol	
Lot area, minimum	s. 11.06.102	A	30,000 square feet
Lot width, minimum	s. 11.06.103	B	90 feet
Street frontage, minimum	s. 11.06.104	C	50 feet
Water frontage, minimum	s. 11.06.105	-	none
Building Setbacks			
Front yard setback, minimum	s. 11.06.106	D	25 feet for principal building and detached accessory building **[1,2,3]**
Side yard setback, minimum	s. 11.06.106	E	30 feet for principal building; 10 feet for detached accessory building
Rear yard setback, minimum	s. 11.06.106	F	30 feet for principal building; 10 feet for detached accessory building
Building Standards			
Building height, maximum	s. 11.06.108	-	45 feet for principal; 15 feet for detached accessory building
Building coverage, maximum	s. 11.06.109	G	45 percent
Impervious surface, maximum	s. 11.06.110	H	65 percent
Other			
Distance between driveway and property boundary line, minimum	-	I	5 feet
Distance between parking lot and property boundary line, minimum	-	J	5 feet if adjacent to non-residential; 10 feet if adjacent to residential

Findings: The combined lot would meet the minimum lot standards in the I-1 district. Lot size, setbacks and lot coverage differ between the existing and proposed district, with those in the I-1 district being more restrictive due to the less intense nature of the district. This means that if rezoned, any future development would have to meet a larger setback, and more restrictive lot coverage ratio, in addition to others zoning requires such as parking, drainage, lighting etc. A site plan review process through Plan Commission is also required for any type of development, but as indicated previously, a public safety facility would also require a conditional use permit. This would allow for added conditions to be placed upon the approval to ensure protections for the general welfare and safety of the public.

4. **any other factor not specifically or generally listed, but deemed appropriate by the Planning Commission or Common Council given the particular circumstances.**

Analysis: Below is the zoning map showing the property and surrounding properties.

ZONING MAP

Direction	Land Use	Zoning
North	Courthouse, Public Parking	I-1 Institutional District and B-1 Downtown Commercial District
South	Vacant, Homes	B-2 Commercial District R-2 Mixed Residential District
East	Homes	R-2 Mixed Residential District
West	Office, Restaurant	B-1 Downtown Commercial District

Findings: The map above shows the property, which is surrounded by multiple uses and districts, see the table above. Again, Jackson Street, adjacent to the site, serves as a main thoroughfare which is conducive to higher through traffic. Rezoning to an institutional classification reduces the ability for higher intense uses, such as restaurants, retail, or vehicle repair & sales, that are incompatible next to residential uses. Furthermore, the rezoning would create more of a transition of uses from the commercial high density downtown uses and nearby residential neighborhoods.

The request requires a public hearing, upon which members of the public can provide input or voice concern. As of the writing of this report, the department has not received any input regarding rezoning. Further public comment can be taken into consideration at the meeting.

Based on the findings and analysis above, including the surrounding uses, zoning, and district standards, staff recommends approving the permanent zoning of the property to I-1 Institutional District. The close proximity of residences is a concern, and the character of the neighborhood can better be protected under an institutional classification. Furthermore, the intent of the I-1 district, including the dimensional standards and uses, better align with the intent of property and adjacent land uses, including the civic use as noted in the Comprehensive Plan.

Code Amendment
City of Wisconsin Rapids, Wisconsin
Version: January 3, 2019

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The Common Council adopted the City's zoning code, which consists of text and a zoning map. Both of these can be amended.

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at https://wisconsinrapids.zoninghub.com/

Application fee: $300.00 for zoning map (rezoning); $300 for text amendment

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Office Use Only

Date Received _____

Received By _____

Fee _____

Case # _____

Aldermanic District _____

Plan Commission Date _____

1. Applicant information

Applicant name	County of Wood
Street address	400 Market St.
City, state, zip code	Wisconsin Rapids, WI 54494
Daytime telephone number	715-421-8478 - Jason R. Grueneberg
Email	jgrueneberg@co.wood.wi.us

2. Agent contact information Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Agent 1	Agent 2
Name	Jason R. Grueneberg, Director	Peter Kastenholz, County Attorney
Company	County of Wood	County of Wood
Street address	400 Market St.	400 Market St.
City, state, zip code	Wisconsin Rapids, WI 54494	Wisconsin Rapids, WI 54494
Daytime telephone number	715-421-8478	715-421-8403
Email	jgrueneberg@co.wood.wi.us	pkastenholz@co.wood.wi.us

3. Type of proposed amendment (check one or both)

- [x] Map amendment — Complete Part A and C
- [ ] Text amendment — Complete Part B and C

Part A. Questions Related to Map Amendment

4. Subject property information

Physical address	400 Market St., Wisconsin Rapids			
Parcel number(s)	3407750	3407748		

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

- [x] No
- [ ] Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

- [x] No
- [ ] Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. **Zoning information** (refer to https://wisconsinrapids.zoninghub.com/zoningmap.aspx)

The subject property is located in the following base zoning district(s). (check all that apply)

- [ ] RR Rural Residential
- [ ] R-1 Single-family Residential
- [ ] R-2 Mixed Residential
- [ ] R-3 Multi-family Medium Density Residential
- [ ] R-4 Multi-family High Density Residential
- [ ] R-8 Manufactured Home Park
- [ ] B-1 Downtown Commercial
- [x] B-2 General Commercial
- [ ] B-3 Neighborhood Commercial
- [ ] B-5 Mixed Use Commercial
- [ ] M-1 General Industrial
- [ ] M-2 Heavy Industrial
- [ ] I-1 Institutional
- [ ] P-1 Park and Recreation
- [ ] C-1 Conservancy

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- [ ] Planned Development (PDD)
- [ ] Downtown Design
- [ ] Shoreland
- [ ] Shoreland-Wetland
- [ ] Floodplain
- [ ] Wellhead Protection

6. **Proposed map amendment.** Select the general reason(s) why you believe the zoning classification should be changed and provide additional details.

- [ ] The zoning designation should be brought into conformity with the City's comprehensive plan.

- [ ] A mapping error was made on the official zoning map.

☑ Other

The zoning classification for parcel 3407750 and 3407748 should be changed from B-2 to Institutional Zoning to accommodate the construction of a jail that will be connected to the Courthouse. The aforementioned parcels are commonly referred to as the "Avon St. parking lot'. The County will request that the city of Wisconsin Rapids introduce a resolution declaring that since public interest requires it, Avon St. be vacated and discontinued. On completion of the vacation and discontinuance of Avon St., a single parcel will be created that will include parcel 3407751 that the Courthouse is on and is zoned Institutional. The Institutional zoning classification is the most appropriate zoning for the current Courthouse, as well as the future jail that will be constructed. The jail will require a conditional use permit under the Institutional District.

7. **Consistency with zoning requirements**

Are there any buildings on the subject property?

☐ No
☑ Yes

If yes, please describe each and state whether it is consistent with the proposed zoning classification.

1. There is one building on parcel 3407750 that is currently used by the Maintenance Department and Sheriff's Department for storage. This use of this structure is consistent with the proposed zoning classification and will be razed prior to the construction of the jail.
2.
3.
4.

Are there any existing land uses on the subject property?

☐ No – Land is vacant / undeveloped
☑ Yes

If yes, please describe each, including conditional uses, and state whether it is consistent with the proposed zoning classification.

1. Current uses on the properties include vehicle parking and a 40' by 120' building that is used for storage by the Maintenance Department and the Sheriff's Department.
2.
3.
4.
5.
6.

Does the size of the subject property comply with the minimum lot size of the proposed zoning district?

☐ No
☑ Yes

If no, describe why you believe the map amendment should be made in spite of this.

Has the City approved a variance or special exception for the subject property?

- [x] No
- [ ] Yes

If yes, provide the year of issuance and a short description of each one.

1.

2.

3.

4.

Part B. Questions Related to Text Amendment

8. **Proposed text amendment.** For each proposed text amendment, identify the section number (e.g., 7-444) to be revised and describe the proposed change and the reason(s) why you believe the change should be made.

Section number	Proposed change	Justification
1.		
2.		
3.		
4.		

Part C.

9. **Attachments** List any attachments included with your application.

Attachment A shows current zoning
Attachment B shows proposed zoning and the vacation of Avon St.

10. **Other information** You may provide any other information you feel is relevant to the review of your application.

11. Mandatory meeting with staff

When did you meet with the Community Development Director? August 11, 2021 Month/year

12. Applicant certification

- I understand that I, or any of my agents, may not discuss this application with any member of the Planning Commission or the Common Council until after a final decision is rendered.
- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

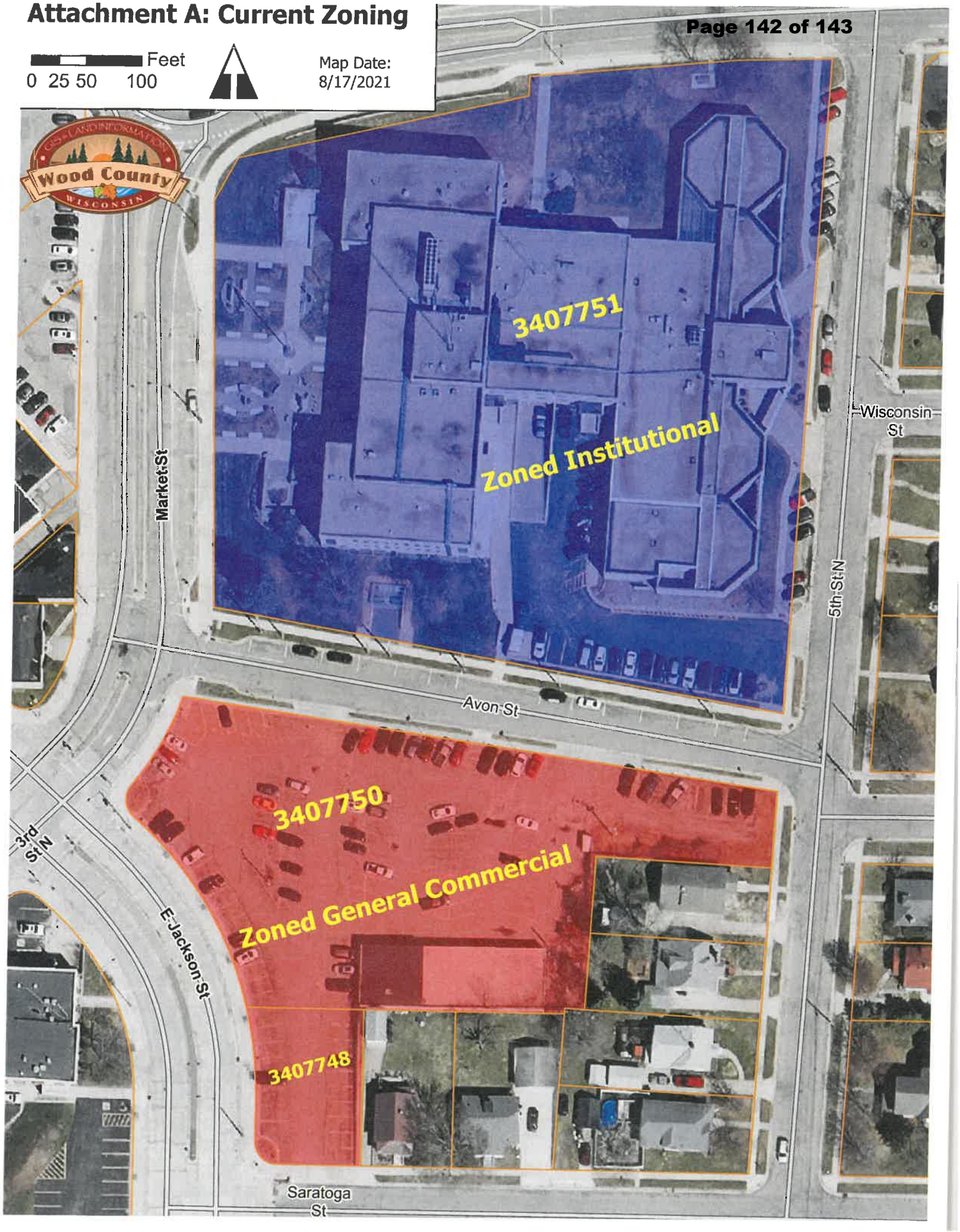
Property Owner:

Jason R. Grueneberg, Director	Jason R Grueneberg	August 18, 2021
Name – print	Name – Signature	Date
Peter Kastenholz, County Attorney	P. A. Kastenholz	August 18, 2021
Name – print	Name – Signature	Date

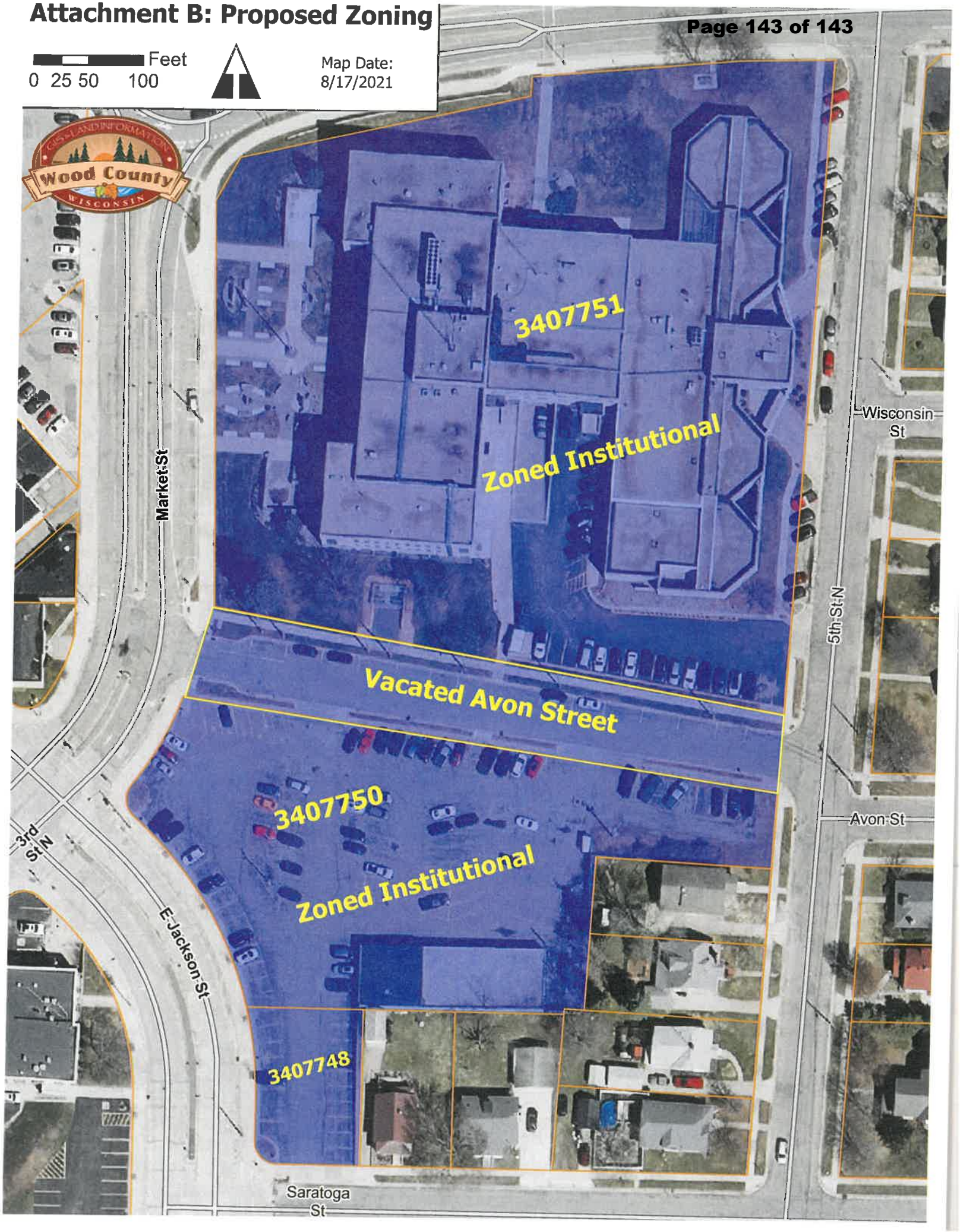
Attachment A: Current Zoning

Feet
0 25 50 100

Map Date:
8/17/2021



Attachment B: Proposed Zoning

Feet
0 25 50 100

Map Date:
8/17/2021