



PLAN COMMISSION MEETING

October 4, 2021
4:00 PM

PUBLIC MEETING NOTICE

PLANNING COMMISSION

Mayor Blaser, Chairperson
Ryan Austin, Alderperson
Shane Burkart
Lee Thao
Susan Feith
Eric Daven
Ben Goodreau

AGENDA ITEM RECIPIENTS

Sue Schill, City Attorney
Erika Esser, Secretary
Jennifer Gossick, City Clerk

Notice is hereby given of a meeting of the Wisconsin Rapids Plan Commission held within the Council Chambers at City Hall, 444 West Grand Avenue, Wisconsin Rapids, and via remote audioconferencing on **October 4, 2021, at 4:00 PM. The public can listen to the meeting by calling 1-312-626-6799, Access code: 864 7114 2983.** The meeting will also be streamed LIVE on the City of Wisconsin Rapids Facebook page. This meeting is also available after its conclusion on the City's Facebook page and Community Media's YouTube page, which can be accessed at www.wr-cm.org. If a member of the public wishes to submit comments to the Commission regarding an agenda item, please contact Kyle Kearns via email or phone at kkearns@wirapids.org or 715-421-8225 before the meeting.

AGENDA

1. Approval of the reports from the September 13 & 23, 2021 Plan Commission meeting
2. **PLAN-21-0915; Kyle Bennehoff, Lingle Design Group** – request for a site plan review to renovate 1821 8th Street South (Parcel ID 3411790) and perform other site improvements
3. **PLAN-21-0966; Wisconsin Rapids Public School District** – public hearing and action on a request for a conditional use permit amendment to construct an addition on Howe Elementary School at 221 8th Street North (Parcel ID 3407777)
4. **PLAN-21-0967; Wisconsin Rapids Public School District** – public hearing and action on a request for a conditional use permit amendment to construct an addition on Mead Elementary School at 241 17th Avenue South (Parcel ID 3402835)
5. **PLAN-21-0968; Wisconsin Rapids Public School District** – public hearing and action on a request for a conditional use permit amendment to construct an addition on Washington Elementary School at 2911 Washington Street (Parcel ID 3410239)

6. Adjourn

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at this meeting is not possible due to a disability or other reasons, notification to the city clerk's office at least 24 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the clerk at (715) 421-8200 to request accommodations.

PUBLISH: September 17th and September 24th, 2021

NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE that the City of Wisconsin Rapids Planning Commission will hold a **Public Hearing on Monday, October 4, 2021 at 4:00 PM** within the Council Chambers at City Hall, 444 West Grand Avenue, Wisconsin Rapids. Participation at the public hearing can be in-person or via remote audioconferencing. **The public can also participate in the hearing by calling 1-312-626-6799 Access code: 864 7114 2983.** The meeting will also be streamed LIVE on the City of Wisconsin Rapids Facebook page. The following items will be heard and possibly acted on:

1. Public hearing and action on a request from the Wisconsin Rapids Public School District for a conditional use permit amendment to construct an addition on Howe Elementary School at 221 8th Street North (Parcel ID 3407777).
2. Public hearing and action on a request from the Wisconsin Rapids Public School District for a conditional use permit amendment to construct an addition on Mead Elementary School at 241 17th Avenue South (Parcel ID 3402835).
3. Public hearing and action on a request from the Wisconsin Rapids Public School District for a conditional use permit amendment to construct an addition on Washington Elementary School at 2911 Washington Street (Parcel ID 3410239).

Further details regarding the specific requests can be obtained within the Community Development Department at City Hall, or by calling the department at 715-421-8228.

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk's office at least 48 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the Clerk at (715) 421-8200 to request accommodations.

Jennifer Gossick,
Wisconsin Rapids City Clerk

REPORT OF THE PLANNING COMMISSION

Date of Meeting: September 13, 2021

Report #1

The Planning Commission met at 5:30 p.m. on September 13, 2021 in the City Hall Council Chambers and via remote audioconferencing. Members present included Chairperson Shane Blaser, Lee Thao, Susan Feith, Ben Goodreau and Eric Daven. Alderperson Ryan Austin attended remotely. Absent was Shane Burkart. Also at the meeting were Community Development Director Kyle Kearns, Donald Chaput of Chaput Land Surveys, Building Grounds Director Edwin Allison and Principal Ronald Rasmussen of Lincoln High School, Wood County Construction Manager Kurt Berner, and Dale Davis for SWEPS Food Pantry. Kathleen Schultz and other guests attended remotely.

The meeting was called to order at 5:31 p.m.

1. Approval of the report from the August 2, 2021, Plan Commission meeting

Motion by Feith to approve the Plan Commission report from August 2, 2021, second by Goodreau.

Motion carried (6 – 0)

2. PLAN-21-0848; Verso Corporation – request to alter boundary lines of nonconforming lots to lessen the nonconformity at 231 1st Street North (Parcel ID 3402440), 300 Jackson Street (Parcel ID 3402526), 610 4th Avenue North (Parcel ID 3402445), and 950 4th Avenue North (Parcel ID 3402435)

Staff noted the following address corrections: 300 West Jackson Street, 231 1st Avenue North

Commissioner Feith had questions regarding the chain of title to which Staff and Donald Chaput responded.

Motion by Daven to approve the request to alter boundary lines of nonconforming lots to lessen the nonconformity at 231 1st Avenue North (Parcel ID 3402440), 300 West Jackson Street (Parcel ID 3402526), 610 4th Avenue North (Parcel ID 3402445), and 950 4th Avenue North (Parcel ID 3402435), second by Austin, subject to the following conditions:

1. Where land is available, and setbacks can be obtained without interfering with adjacent buildings or infrastructure, applicable setback requirements shall be met for existing buildings.
2. The existing building described in Detail A of the proposed CSM shall be provided an access agreement or easement.

Motion carried (6 – 0)

3. PLAN-21-0851; Verso Corporation – request for a Certified Survey Map approval to create three lots at 950 4th Avenue North (Parcel ID 3402435)

Motion by Blaser to approve the request for a Certified Survey Map approval to create three lots at 950 4th Avenue North (Parcel ID 3402435), second by Thao, subject to the following conditions:

1. Where land is available, and setbacks can be obtained without interfering with adjacent buildings or infrastructure, applicable setback requirements shall be met for existing buildings.

Motion carried (6 – 0)

4. **PLAN-21-0907; Mark Johnson, Forward Real Estate Services, LLC.** – request for a Certified Survey Map approval to create two lots at 2820 8th Street South (Parcel ID 3412972)

Participating remotely was Kathleen Schultz who expressed her concerns about ingress and egress standards for traffic and children walking to school, to which Commissioner Feith and Mr. Kearns responded.

Motion by Austin to accept the request for a Certified Survey Map approval to create two lots at 2820 8th Street South (Parcel ID 3412972), second by Goodreau, subject to the following conditions:

1. City staff shall have the authority to review and approve minor modifications.

Motion carried (6 – 0)

5. **PLAN-21-0852; Mark Johnson, Forward Real Estate Services, LLC.** – request for a site plan review to construct a Caribou Coffee at 2820 8th Street South (Parcel ID 3412972)

Commissioner Daven had questions about signage and Kyle Kearns responded.

Motion by Goodreau to approve the request for a site plan review to construct a Caribou Coffee at 2820 8th Street South (Parcel ID 3412972), second by Thao, subject to the following conditions:

1. A detailed landscaping plan shall be provided meeting all applicable landscape requirements for the development, to be reviewed and approved by the Community Development Department.
2. The refuse enclosure shall match the design and colors of the primary building.
3. Cut-off lighting fixtures or equivalent shall be used for the development, and lighting from the development shall not exceed 0.2 foot-candles at neighboring commercial property lines.
4. Applicable permits through the City shall be obtained.
5. Community development department shall have the authority to approve minor modifications to the plans.

Motion carried (6 – 0)

6. **PLAN-21-0813; Wisconsin Rapids 3810 8th St S WI, LLC** – request for a site plan review to make site improvements, including to the parking lot, for a restaurant at 3810 8th Street South (Parcel ID 3413805)

Motion by Feith to approve the request for a site plan review to make site improvements, including to the parking lot, for a restaurant at 3810 8th Street South (Parcel ID 3413805), second by Daven, subject to the following conditions:

1. A maximum of 50% of the onsite parking shall be permitted to exist within the front of the building.
2. The applicant shall submit an updated site plan for review and approval by the Community Development Department.
3. Light from the business shall not exceed 0.2 foot-candles at a neighboring commercial property line and 0.1 foot-candles at the neighboring residential property line.
4. Applicable permits through the City shall be obtained.
5. Community development staff shall have the authority to approve minor modifications to the plans.

Motion carried (6 – 0)

7. **PLAN-21-0880; Dale Davis – SWEPS Food Pantry** – request for a site plan review to construct an addition onto a building housing the food pantry at 2321 West Grand Avenue (Parcel ID 3401190)

Motion by Austin to approve a request for a site plan review to construct an addition onto a building housing the food pantry at 2321 West Grand Avenue (Parcel ID 3401190) subject to the recommendations outlined in the staff report, second by Blaser, subject to the following conditions:

1. Driveways for the garage addition shall be hard surfaced.
2. A landscaping plan shall be submitted for review and approval by the Community Development Department.
3. The addition shall match the colors of the primary building, so as to better blend into the façade.
4. Cut-off lighting fixtures shall be used for all building elevations.
5. Light from the business shall not exceed 0.2 foot-candles at a neighboring commercial property line.
6. Applicable permits through the City shall be obtained.
7. Community development staff shall have the authority to approve minor modifications to the plans.

Motion carried (6 – 0)

8. **PLAN-21-0882; Mitch Altman, representing Matalco** – request for a site plan review to construct a building at 4800 Commerce Drive (Parcel ID 3409861)

A neighbor to the south of Matalco (Allen) had spoken with Mr. Kearns on the phone about his concerns regarding odors and storm water runoff and expressed that he in general was not in favor of Matalco doing any more construction on the property. Kyle Kearns stated that any building permits would need to be reviewed and approved by the City's Engineering Department. Commissioner Goodreau felt the new building would enhance safety in the facility's processes.

Motion by Goodreau to approve the request for a site plan review to construct a building at 4800 Commerce Drive (Parcel ID 3409861), second by Austin, subject to the following conditions:

1. Cut-off lighting fixtures shall be installed on all façades.
2. Light from the business shall not exceed 0.2 foot-candles at neighboring commercial property lines or 0.1 foot-candles at neighboring residential property lines.
3. The exterior materials of the building shall match the design and color of the principal building.
4. Applicable permits through the City shall be obtained, along with from other jurisdictions, such as the Wisconsin Department of Natural Resources.
5. Community development staff shall have the authority to approve minor modifications to the plans.

Motion carried (6 – 0)

9. **PLAN-21-0838; Wisconsin Rapids Public School District** – public hearing and action on a request for a conditional use permit amendment to construct an addition on the high school at 1801 16th Street South (Parcel ID 3414751)

Public hearing opened at 6:14 p.m.

Speaking in favor: Edwin Allison and Ronald Rasmussen

Speaking against: none

Public hearing closed at 6:18 p.m.

Commissioners asked about bollards, glass and other safety devices to which Edwin Allison responded. Commissioner Daven wanted to know more about the requirements for sidewalks to which Kyle Kearns replied.

Motion by Goodreau to approve the request for a conditional use permit amendment to construct an addition on the high school at 1801 16th Street South (Parcel ID 3414751), second by Daven, subject to the following conditions:

1. An updated landscaping plan shall be submitted, meeting applicable requirements, to be reviewed and approved by the Community Development Department.
2. A lighting plan shall be submitted, meeting applicable standards, to be reviewed and approved by the Community Development Department.
3. Applicable building and stormwater permits, state and local, shall be obtained.
4. Minor modifications to the plan shall be permitted to be reviewed and approved by the Community Development Department.

Motion carried (6 – 0)

- 10. PLAN-21-0816; County of Wood** – public hearing and action on a request for a zoning map amendment to rezone 410 Avon Street (Parcel ID 3407750), zoned B-2 General Commercial and R-2 Mixed Residential district, and 431 Saratoga Street (Parcel ID 3407748), zoned B-2 General Commercial, to I-1 Institutional District.

Lee Thao abstained from the item.

Public hearing opened at 6:31 p.m.

Speaking in favor: None

Speaking against: None

Public hearing closed at 6:32 p.m.

Motion by Blaser, second by Feith to approve the request for a zoning map amendment to rezone 410 Avon Street (Parcel ID 3407750), zoned B-2 General Commercial and R-2 Mixed Residential district, and 431 Saratoga Street (Parcel ID 3407748), zoned B-2 General Commercial, to I-1 Institutional District.

Postponement of the action was recommended by City Staff to ensure adherence to the requirements for consistency with the City's Comprehensive Plan. Blaser and Feith withdrew their motions; no action taken. Further discussions on this agenda item will occur at a future Commission meeting.

11. Adjourn

Motion by Goodreau to adjourn, second by Austin

Motion carried (6 – 0)

Meeting adjourned at 6:34 p.m.

Respectfully Submitted by Erika Esser, Secretary

REPORT OF THE PLANNING COMMISSION

Date of Meeting: September 23, 2021

Report #1

The Planning Commission met at 4:00 p.m. on September 23, 2021 in the City Hall Council Chambers and via remote audioconferencing. Members present included Chairperson Shane Blaser, Alderperson Austin, Lee Thao, Susan Feith, Ben Goodreau and Shane Burkart. Chairperson Eric Daven was absent. City staff at the meeting included Community Development Director Kyle Kearns, Fire Chief Scott Young, Clerk Jennifer Gossick, and City Attorney Sue Schill. Others in attendance include Alderperson Jay Bemke, Alderperson Patrick Delaney, Alderperson Jay Bemke, Alderperson Tom Rayome; remotely were Alderperson Matt Zacher, Laura Eysnogle, Robert Krzyzanowski, and David Keating.

The meeting was called to order at 4:01 p.m.

1. **Extraterritorial CSM – Roger Pelot** - request for Certified Survey Map approval to create 1 lot within the Town of Rudolph. The subject property is located at 5644 Reddin Road (Parcel ID 1700556 & 1700553)

Motion by Chairperson Blaser, second by Goodreau to approve the Extraterritorial CSM – Roger Pelot - request for Certified Survey Map approval to create 1 lot within the Town of Rudolph. The subject property is located at 5644 Reddin Road (Parcel ID 1700556 & 1700553).

Motion Carried (6 – 0)

2. **PLAN-21-0955; Wisconsin Rapids Fire Department** – public hearing and action on a request for a conditional use permit amendment to construct an addition, and perform other site improvements at Fire Station 1, 1511 12th Street South (Parcel ID 3411866).

Public hearing opened at 4:06 PM

Speaking in favor: None

Speaking against: None

Public hearing closed at 4:07 PM

Motion by Feith, second by Tao to approve PLAN-21-0955; Wisconsin Rapids Fire Department – public hearing and action on a request for a conditional use permit amendment to construct an addition, and perform other site improvements at Fire Station 1, 1511 12th Street South (Parcel ID 3411866).

Motion carried (6 – 0)

3. **Adjourn**

Motion by Tao to adjourn, second by Goodreau

Motion carried (6 – 0)

Meeting adjourned at 4:09 p.m.

Administrative Staff Report

Qdoba

Site Plan & Architectural Review

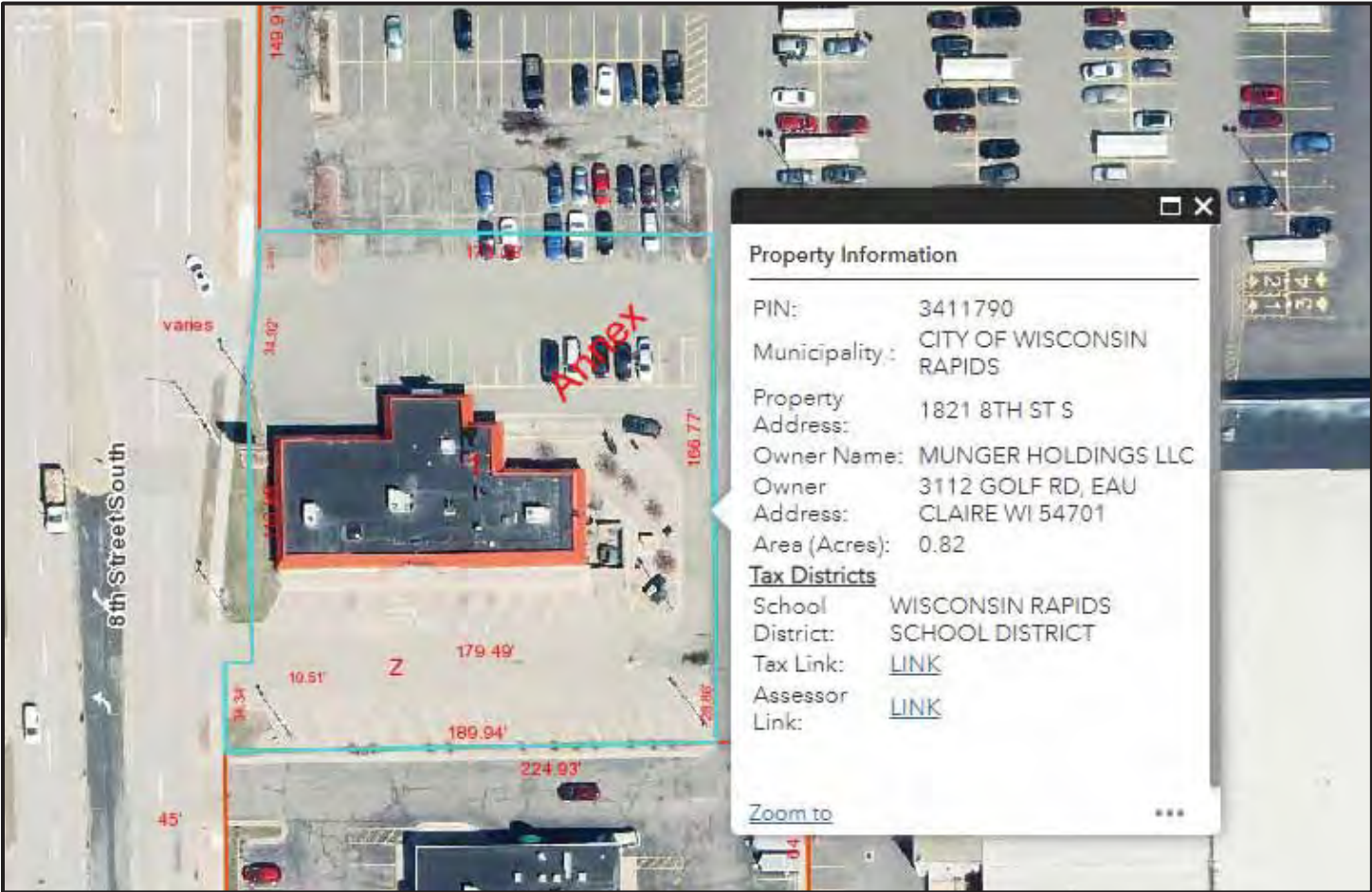
1821 8th Street South

September 30, 2021



<p>Applicant(s):</p> <ul style="list-style-type: none"> Kyle Bennehoff, Lingle Design Group <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3411790 <p>Lot Information:</p> <ul style="list-style-type: none"> Effective Frontage: 198 feet Effective Depth: 190 feet Square Footage: 30,586 Acreage: 0.702 Acres <p>Zone(s):</p> <ul style="list-style-type: none"> "B-2" General Commercial District <p>Council District:</p> <ul style="list-style-type: none"> District 8 <p>Master Plan:</p> <ul style="list-style-type: none"> Commercial <p>Current Use:</p> <ul style="list-style-type: none"> Vacant <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 - Zoning 	<p>Request</p> <p>PLAN-21-0915; Kyle Bennehoff, Lingle Design Group – request for a site plan review to renovate 1821 8th Street South (Parcel ID 3411790) and perform other site improvements.</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Application Site Plan Building Renderings Lighting Plan <p>Findings of Fact</p> <ol style="list-style-type: none"> The proposed project is to renovate an existing building into a Qdoba restaurant, with drive-through, and perform other site improvements. The proposed renovation involves demolishing an exterior canopy as well as, southwest portion of the building, and leaving 1,747 square feet vacant for storage. Ingress/egress to the site will remain the same. The property is zoned "B-2" General Commercial District. A restaurant use is permitted in the B-2 District A building plan – architectural review (AR), plan of operation (PO), site plan (SP), and zoning permit (ZP) are required. <p>Staff Recommendation</p> <p>Approve the request from the applicant for a site plan review to renovate 1821 8th Street South (Parcel ID 3411790) and perform other site improvements, subject to the following condition(s):</p> <ol style="list-style-type: none"> Impervious surface ratio shall not increase on the property beyond the existing ratio. A shared access agreement shall be produced and executed between the northern and eastern properties. Cut-off lighting fixtures or equivalent shall be used for the development, and any medications made to existing lighting from the development shall not exceed 0.2 foot-candles at neighboring commercial property lines. Applicable permits through the City shall be obtained. Community development department shall have the authority to approve minor modifications to the plans.
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Vicinity Map



Background

The applicant, representing site plan and architectural review to renovate the existing building at 1821 8th Street South into a Qdoba Restaurant, and perform other site improvements. It's important to note that the renovation involves demolishing the exterior drive-through canopy, as well as a portion of the southwest corner of the building and maintain approximately 1,747 square feet of the building for storage or a future use. The submitted plans and renderings are attached and have been reviewed further below.



Standards of Review

1) Use

Analysis: A restaurant type use is permitted in the B-2 District. The building is currently vacant and is proposed to be split into a Qdoba restaurant (Approx. 2,623 sq. ft.) and vacant storage space (1,747 sq.ft.).

Findings: Note that a building plan – architectural review (AR), plan of operation (PO), site plan review (SP), and zoning permit (ZP) are required.

2) Dimensional Standards

Analysis: The B-2 district requires 10,000 square feet, and the lot is 30,586 square feet. The building footprint proposed is approximately 4,370 square feet, not including the canopy removal or building demolition proposed. The building coverage ratio is about 14.28% meeting the 60% (max.) requirement and impervious surface is beyond the 80% maximum requirement.

Findings: The building and impervious surface ratio are existing and not proposed to be expanded onsite. The drive-through will remain underneath the removed canopy, and a patio will exist within the area of the demolished section of the building. Staff would recommend the impervious surface ratio not increase on the property.

3) Ingress/Egress

Analysis: Access to the site is proposed via two existing driveways on 8th Street. Circulation on site will remain via the existing drive-through driveway and shared access to adjacent properties.

Findings: Driveways and circulation on site are not proposed to change. The southern driveway will remain an entrance only driveway, with the northern driveway remaining two-way. In order for vehicles to by-pass the drive-through, they must cross onto the adjacent lot. Staff would recommend a shared access agreement exist between the northern and eastern properties.

4) Parking

Analysis: The use requires 1 space for each 3 patron seats or 1 space for each 300 square feet gross floor area devoted to patron service, whichever is greater; plus 1 for each employee on the largest work shift. A total of 60 patron seats exists in the restaurant, which would require 20 parking spaces, plus 1 for each employee on the largest work shift. The site currently has 57 parking stalls (2 ADA stalls).

Findings: The development meets the parking requirements with a total of 57 stalls, as well as the dimensional standards when measured as depicted using the scale on the plan. No changes are proposed to the configuration of the existing parking and drive aisles.

5) Landscaping

Analysis: A total of 60 landscape points shall be provided along the frontage, prorated for every 100 linear feet. The attached canopy above the drive-through is proposed for removal, as well as approximately 700 square feet of the southwest portion of the building. The building foundation will remain nearly the same after the renovation, as the canopy was not included. Existing parking lot landscaping exists to the south of the lot, and building landscaping exists on all sides of the building.

Findings: The change of use to an existing building doesn't require landscaping to be met. Additionally, demolition, which would maintain a similar linear building foundation, would not require additional landscaping. However, the applicant has proposed Japanese barberry around the outdoor patio area.

6) Architectural Review

Analysis: Renderings have been submitted, showing façade finishing materials primarily of glass, brick, stone, and E.I.F.S. Metal paneling and a hardie board siding appear to be incorporated into the façade, along with signage and canopy/awnings. Lastly, a metal fence is proposed to surround the outdoor patio area.



3

NON-DRIVE THRU ELEVATION

Scale: 3/32" = 1'-0"

Findings: From an architectural standpoint, the proposed building renovations are appealing and incorporate a variety of finishing materials. Furthermore, the windows, doors, stone, and other accents will make up over 50% of all front façades. The eastern part of the building, proposed for storage, is fairly plane, but is internal to the site and may be renovated if ever leased as a tenant space. Lastly, the refuse enclosure will remain enclosed and constructed of a similar wood/hardie plank material matching the building. Overall, the building improvements will create an attractive and inviting element on 8th Street South and will fit within the corridor.

7) Lighting & Photometric Plan

Analysis: Regulations for onsite lighting are related to light trespass (foot-candles) beyond the property line and total lighting levels (lumens). Lighting from the business use should not exceed 0.2 foot-candles at a neighboring commercial property line. The applicant has submitted a lighting plan; however, it is unclear what lighting is proposed to change on site. At the time any exterior light is installed or substantially modified a lighting plan must be submitted for review and approval consistent with the requirements in the zoning code.

Findings: Staff would recommend cut-off lighting fixtures or equivalent be used for the development, and that any new lighting fixtures or modifications to existing lighting not exceed 0.2 foot-candles at neighboring commercial property lines.

In summary, the proposed use, building improvements, and development plan are appropriate and will improve the character of the 8th Street corridor. Therefore, staff would recommend approval of the site plan and architectural review, subject to the items mentioned above and summarized on page one of the staff report.



Site Plan & Plan of Operation Application City of Wisconsin Rapids, Wisconsin

Version: January 3, 2019

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The Planning Commission reviews site plans and plans of operation for those land uses specifically requiring such review as listed in the land-use matrix (Appendix A of the zoning code).

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

Application fee: \$175.00 for new; \$125.00 for amendment of prior approval

Note: Site plan/plan of operation review and architectural review can be combined into one application fee.

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Office Use Only

Date Received _____

Received By _____

Fee _____

Case # _____

Aldermanic District _____

Plan Commission Date _____

1. Applicant information

Applicant name Kyle Bennehoff

Street address 158 W Main Street

City, state, zip code Lena, IL 61048

Daytime telephone number 815.369.9155

Email kylebennehoff@lingledesign.com

2. Agent contact information

Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

Agent 1

Name Tim Dineen

Company Venture Construction

Street address 2385 S 179th Street; Suite B

City, state, zip code New Berlin, WI 53146

Daytime telephone number 262.439.8866

Email tim@vgcinc.com

Agent 2

3. Type of application (check all that apply)

☒ Site plan Complete Part A, B and D

☒ Plan of operation Complete Part A, C and D

☒ New project

☐ Amendment of prior approval (if any)

If an amendment, the date of last approval (if any): _____

Part A. About the Property

4. Subject property information

Physical address 1821 8th St S, Wisconsin Rapids, WI 54494 (Former Hardee's)
Parcel number(s) 3411790 226E20-NWNE-B-214

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

- ☒ No
☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

- ☒ No
☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> RR Rural Residential | <input type="checkbox"/> R-8 Manufactured Home Park | <input type="checkbox"/> M-1 General Industrial |
| <input type="checkbox"/> R-1 Single-family Residential | <input type="checkbox"/> B-1 Downtown Commercial | <input type="checkbox"/> M-2 Heavy Industrial |
| <input type="checkbox"/> R-2 Mixed Residential | <input checked="" type="checkbox"/> B-2 General Commercial | <input type="checkbox"/> I-1 Institutional |
| <input type="checkbox"/> R-3 Multi-family Medium Density Residential | <input type="checkbox"/> B-3 Neighborhood Commercial | <input type="checkbox"/> P-1 Park and Recreation |
| <input type="checkbox"/> R-4 Multi-family High Density Residential | <input type="checkbox"/> B-5 Mixed Use Commercial | <input type="checkbox"/> C-1 Conservancy |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> Planned Development (PDD) | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Floodplain |
| <input type="checkbox"/> Downtown Design | <input type="checkbox"/> Shoreland-Wetland | <input type="checkbox"/> Wellhead Protection |

Part B. Site Plan (See the standards and requirements in Division 6 of Article 6.)

6. Building type. Which of the following building types best describes the building?

- | | | |
|--|--|--|
| <input type="checkbox"/> Townhouse | <input checked="" type="checkbox"/> Commercial | <input type="checkbox"/> Industrial |
| <input type="checkbox"/> Multi-family | <input type="checkbox"/> Work/live | <input type="checkbox"/> Parking structure |
| <input type="checkbox"/> Institutional | | |

Please refer to Appendix D for any design requirements that may apply.

7. Encroachments.

Aside from driveways connecting to the street, will any part of the proposed project encroach into a public right-of-way?

- ☒ No
☐ Yes

If yes, please explain.

8. Site parameters (area in square feet or acres)

Subject property	30,586
Building coverage	TBD
Outdoor storage	N/A
Stormwater facilities	N/A
Impervious surfaces	TBD
Landscaping and other undeveloped areas	TBD
Wetlands	N/A
100-year floodplain	N/A

Impervious surfaces include buildings, parking areas and driveways, sidewalks, decks, patios, and other types of 'hard' surfaces.

Attach appropriate documentation if there are any wetlands.

9. Street access

Name	New Access	Change to Existing Access	No Change to Existing Access
8th Street	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

10. Traffic generation

Will the proposed project create 500 trips per day or more?

- ☒ No
☐ Yes Attach a traffic impact report to this application. See s. 11.06.151 of the zoning code for additional details.

Will the proposed project create 300 trips per day or more, but less than 500?

- ☒ No
☐ Yes The city may require a traffic impact report as described in s. 11.06.151 of the zoning code. Please contact the Community Development Department for further guidance.

11. Parking (See the standards and requirements in Article 17 of the zoning code.)

Minimum number of required spaces	See Site Plan	See Appendix B of the zoning code for parking requirements for the proposed land use(s).
Proposed number of spaces	41	If the number of proposed spaces exceeds what is required by more than 15 percent, the Planning Commission may grant a special exception to allow oversized parking areas. (See s. 11.17.03(r) of the zoning code.)
ADA van accessible spaces	0	

Other ADA accessible spaces	<u>2</u>	
Number of electric charging stations (if any)	<u>0</u>	Charging stations are not required, but are recommended.
Bicycle parking spaces	<u>0</u>	Bike parking is not required, but is recommended. (See s. 11.17.06 of the zoning code.)
Number of spaces in front of the building	<u>0</u>	The number of spaces in front of the building may be limited depending on the zoning district. (See Appendix C of the zoning code.)
Number of spaces on the side(s) of the building	<u>41</u>	
Number of spaces to the rear of the building	<u>0</u>	

12. Outdoor lighting (See the standards and requirements in Article 18 of the zoning code.)

	Number of Fixtures	Lumens
Building 1	<u>TBD</u>	<u>TBD</u>
Building 2	<u></u>	<u></u>
Building 3	<u></u>	<u></u>
Parking lot 1	<u>TBD</u>	<u>TBD</u>
Parking lot 2	<u></u>	<u></u>
Parking lot 3	<u></u>	<u></u>
Other	<u></u>	<u></u>
Other	<u></u>	<u></u>
Total	<u></u>	<u></u>

Maximum lighting levels at each property boundary line (in footcandles):

TBD

Attach a photometric plan to this application along with manufacturer's cut sheets for the different kinds of light fixtures.

Height of parking lot lights above grade (if any):

TBD

13. Fencing. Will the proposed project include fencing?

☒ No

☐ Yes (See Article 15 of the zoning code for the standards and requirements that apply.)

If yes, please describe and/or attach a fencing plan.

14. Stormwater. Describe how stormwater generated on the site will be handled.

Existing, lot drains to 8th Street (0.70 acre lot).

Spoke with Joe Eichsteadt on 9/9 about requirements, next steps.

- Land disturbance, Storm Water Permit, etc. are N/A based on scope but will be reviewed when Planning Commission documents are passed through during submittal process.

15. Site plan. Attach a site plan drawn to scale with the following information to the extent it applies to the proposed project. The items with an asterisk are required. Check those elements that are included.

Background Project Information	Buildings and Outdoor Storage/Activity Areas	Transportation Facilities (existing and proposed)
<input checked="" type="checkbox"/> Project name*	<input checked="" type="checkbox"/> Existing and proposed	<input checked="" type="checkbox"/> Streets
<input checked="" type="checkbox"/> Applicant name*	<input checked="" type="checkbox"/> Existing within 50 feet of subject property	<input checked="" type="checkbox"/> Driveways and road access onto public and private roads
<input checked="" type="checkbox"/> Preparation date/revision*	Required Setbacks	<input checked="" type="checkbox"/> Sidewalks and trails
<input checked="" type="checkbox"/> Name of preparer*	<input type="checkbox"/> Yard setbacks (front, side, rear and shore)	<input type="checkbox"/> Fire lanes (i.e., fire apparatus access)
	<input type="checkbox"/> On-site septic systems	<input type="checkbox"/> Clear visibility triangles (location and dimensions)
Survey Information	<input type="checkbox"/> On-site wells and off-site wells within 10 feet of the perimeter of the subject property	On-Site Parking (existing and proposed)
<input checked="" type="checkbox"/> North arrow and graphic scale*	Landscaping Features (existing and proposed)	<input checked="" type="checkbox"/> Access aisles and parking spaces by size
<input checked="" type="checkbox"/> Address of subject property or legal description*	<input type="checkbox"/> Fences, buffers, and berms	<input checked="" type="checkbox"/> Location of accessible parking spaces
<input checked="" type="checkbox"/> Property boundaries *	<input type="checkbox"/> Pervious and impervious surfaces by type	<input type="checkbox"/> Location and specifications/dimensions for accessibility ramps
<input checked="" type="checkbox"/> Acreage of subject property*	<input type="checkbox"/> Site amenities (benches, fountains, etc.)	<input type="checkbox"/> Type and location of on-site parking signs and traffic control signs
Project Development Information	<input type="checkbox"/> Existing trees and other prominent vegetation	<input type="checkbox"/> Surface materials for parking lot (e.g., concrete, bituminous concrete, pavers)
<input type="checkbox"/> Land use summary table by density/intensity and acreage*	<input type="checkbox"/> Trees / shrubs to be planted, including a plant list and specs.	<input type="checkbox"/> Snow storage areas
<input type="checkbox"/> Easements/rights-of-ways (location, width, purpose, ownership)	Trees / shrubs to be retained	<input checked="" type="checkbox"/> Areas designated for queuing of vehicles for drive-through facilities (e.g., car washes, drive-up service windows, etc.)
<input type="checkbox"/> Common areas/conservancy areas (location, purpose, ownership)	Outdoor Lighting (existing and proposed)	<input type="checkbox"/> Pedestrian walks between the parking lot and the building
<input type="checkbox"/> Land to be dedicated to the public (boundaries, area, purpose)	<input checked="" type="checkbox"/> Location	<input type="checkbox"/> Designated areas of a parking area for pedestrian walks
Setting	<input checked="" type="checkbox"/> Fixture specifications	<input type="checkbox"/> Loading lanes and loading docks
<input type="checkbox"/> Property boundaries within 50 feet of the subject property	Stormwater Facilities (existing and proposed)	<input type="checkbox"/> Stormwater drainage
<input type="checkbox"/> Land uses within 50 feet of the subject property	<input type="checkbox"/> Location	<input type="checkbox"/> Distance between parking areas and adjoining properties if less than 20 feet
<input type="checkbox"/> Zoning district boundaries within 50 feet of the subject property	<input type="checkbox"/> Specifications for each facility	<input type="checkbox"/> Areas designated for bicycle parking
<input type="checkbox"/> Municipal boundaries within 50 feet of the subject property		
Site Features (existing and proposed)	Utilities (existing and proposed)	Signs (existing and proposed)
<input type="checkbox"/> Ground contours when slopes exceed 8 percent	<input type="checkbox"/> Location	<input checked="" type="checkbox"/> Location
<input type="checkbox"/> Wetlands	<input type="checkbox"/> Type (sewer, telephone, etc.) (buried or overhead, if applicable)	<input type="checkbox"/> Specifications for each sign including type, height, dimensions, lighting, and other factors considered during the review process
<input type="checkbox"/> Woodlands	<input type="checkbox"/> Size/capacity, if applicable	
<input type="checkbox"/> Wildlife habitat, including critical wildlife habitat		
<input type="checkbox"/> Environmentally sensitive features		
<input type="checkbox"/> Water resources (rivers, ponds, etc.) and ordinary high-water mark for navigable waters		
<input type="checkbox"/> Floodplain boundaries and elevations of the same		

Part C. Plan of Operation

16. Operating conditions

Hours of operation:	10:30 - 10:00 7 days a week	
Estimated number of full-time employees	6	
Estimated number of part-time employees	20	
Maximum number of employees onsite at peak hours	8	
Will the proposed business operation create any noise outside of the building?	No	Refer to s. 11.06.147 of the zoning code.
Will the proposed business operation create any emissions (e.g., fumes, smoke, steam, vapor, dust,) to the atmosphere?	No	Refer to s. 11.06.148 of the zoning code.
Will the proposed business operation create any vibrations outside of the building?	No	Refer to s. 11.06.149 of the zoning code.
Will the proposed business operation involve any explosives or other flammable materials?	No	Refer to s. 11.06.150 of the zoning code.
Will the proposed business operation involve any radioactive materials?	No	
Will the proposed business operation create special needs for wastewater disposal?	No	
Will the proposed business operation require unusually high levels of public water?	No	

17. Licensing. What kind of federal, state, county or city licensees will be required to operate the proposed business?

Standard licensing, Wood County Health.

Part D. Other

18. Attachments List any attachments included with your application.

Site Plan, Elevations, Landscaping, Photometric (Site Lighting)

19. Other information You may provide any other information you feel is relevant to the review of your application.

20. Mandatory meeting with staff

When did you meet with the Community Development Director?

Kyle Kearns, Phone/Email 9/2/21-9/3/21 Month/year

21. Applicant certification

- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Kyle Bennehoff

09/09/2021

Name – print

Name – Signature

Date

Name – print

Name – Signature

Date



SCHEMATIC
2671 SQ. FT.
68 SEATS
38 PATIO

QDOBA

1821 8th St S
Wisconsin Rapids, WI 54494



003

SITE PLAN GENERAL NOTES

- A. REFER TO BASE SHELL CIVIL DRAWINGS, BY OTHERS, FOR SITE LOCATION, LOT LINES, LOT SETBACKS, SIDEWALKS, CURBS, UTILITIES, PARKING REQUIREMENTS AND SIGNAGE.
- B. REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN.
- C. 36" MINIMUM ADA PATH OF TRAVEL REQUIRED TO REMAIN CLEAR AND UNOBSTRUCTED.

SITE PLAN KEY NOTES

- | | |
|--|--|
| PROPERTY LINE | REFER TO ENGINEER DRAWINGS AND VERIFY LOCATION IN FIELD. |
| ELECTRIC METER | |
| EXISTING PLYWOOD SIGN, REPLACE SIGN PANELS | |
| PORTION OF EXISTING BUILDING TO BE REMOVED | |
| EXISTING SIDE LIGHT TO REMAIN | |
| EXISTING STREET LIGHT TO REMAIN | |
| EXISTING SIGNAGE | |
| EXISTING TRASH ENCLOSURE | |
| EXISTING CURB RAMP | |
| EXISTING GRASS AREA TO REMAIN | |
| EXISTING INNER ROOF LANGUAGE AREA | |
| EXISTING SIDEWALK TO REMAIN | |
| EXISTING ACCESSIBLE PARKING STALL AND ACCESS AISLE | |
| EXISTING SIDE THRU PRE-WASH STATION | |
| EXISTING SIDE THRU WASH AND SPRAYER | |
| EXISTING SIGNAGE | |
| NEW PUMP SPONS - REFER TO DETAIL 207/2010 | |
| NEW SIGN (DIRECTIONAL SIGNAGE AS SHOWN (TP)) | |

PLANT LIST			COMMON NAME	
SYMBOL	ABRV	BOTANICAL NAME		
	HL	GLEDTISIA THUACANTHOS	STREET KEEPER	HONEY LOCUST
	CA	KAUAI AROMODENDRON	ADIRONDACK	CHAMPAGNE
	BT	BERBERIS THUNBERGII	JAPANESE	BANBERRY

PARKING COUNT:
EXISTING PARKING COUNT
57 EXISTING PARKING STALLS (2 ADA STALL)

LEGEND

-

--- -- DASHED LINE INDICATES EXISTING SITE WORK TO BE
REMOVED

NOTE: INSTALL 60" MIN. ABOVE PARKING LOT SURFACE, WITH PROVIDED MOUNTING KIT, IN A LOCATION THAT HAS AN UNOBSTRUCTED VIEW. STANDARD IS CORB DRILLED STEEL PIPE. VERIFY BASED ON SITE AND LL REQUIREMENTS.



Page 21 of 25

04 ARCHITECTURAL SITE PLAN 51







SD1.0

ARCHITECTURAL SITE PLAN

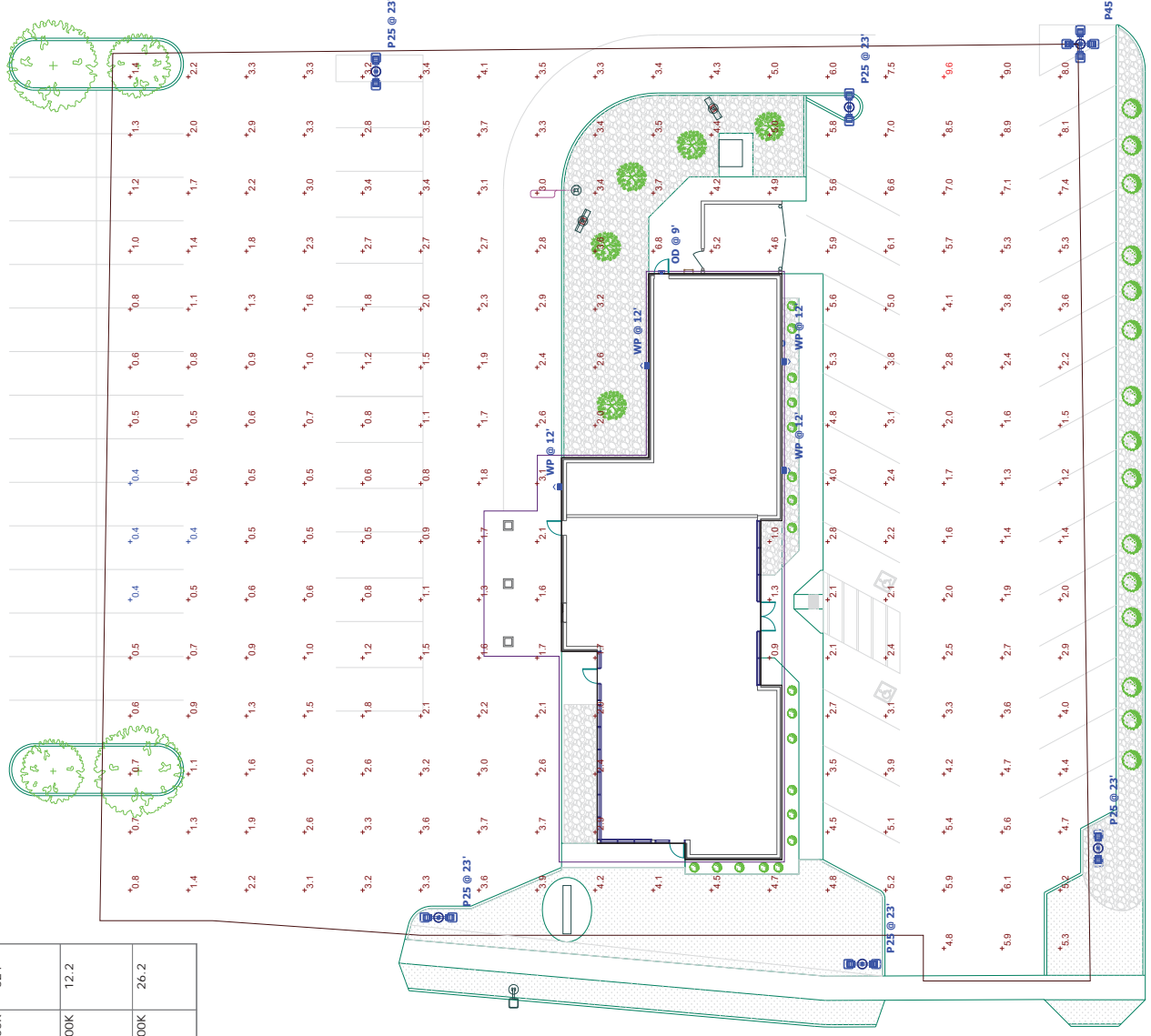
TO-GO PARKING SIGN

20)

_____ **Scale: MTC**

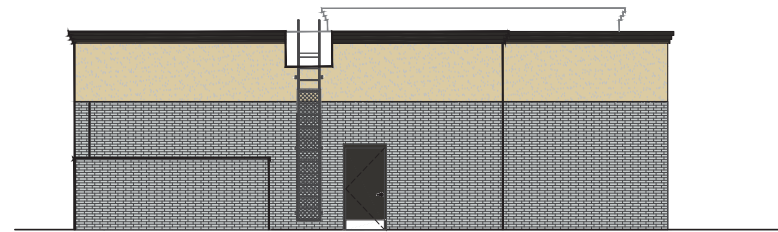
Schedule				
Symbol	Label	Quantity	Catalog Number	Description
	P25	5	PRV-C40-D-UNV-T5-BZ	Double Head D180 Cooper Lighting Solutions Lumark Prevall Series LED Area Unit w/Type T5 Distribution (20ft. Pole Height w/3ft. Concrete Base)
	P45	1	PRV-C40-D-UNV-T5-BZ	Quad Head Q90 Cooper Lighting Solutions Lumark Prevall Series LED Area Unit w/Type T5 Distribution (20ft. Pole Height w/3ft. Concrete Base)
	OD	1	XTOR1B-W	Cooper Lighting Solutions Lumark Crosstour Series 12w Wall Mounted Outdoor LED Wall Sconce Unit (9ft. Fixture Mounting Height)
	WIP	4	DSXW1-LED-10C-700-40K-13M-HVOLT	Lithonia Lighting DSXW1 Series Wall Mounted LED Wall Pack Unit w/Type T3M Distribution (12ft. Fixture Mounting Height)
Symbol	Label	Quantity	Catalog Number	Description
				
				

Statistics				
Description	Symbol	Avg	Max	Min
Site Light Levels	+	2.9 fc	9.6 fc	0.4 fc
			240:1	7.3:1

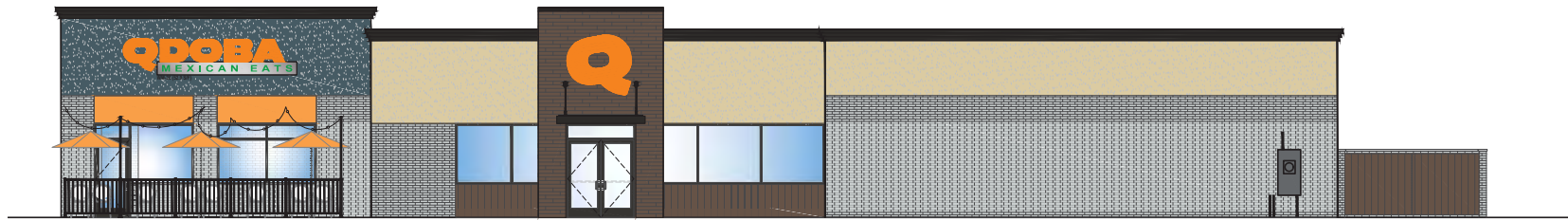




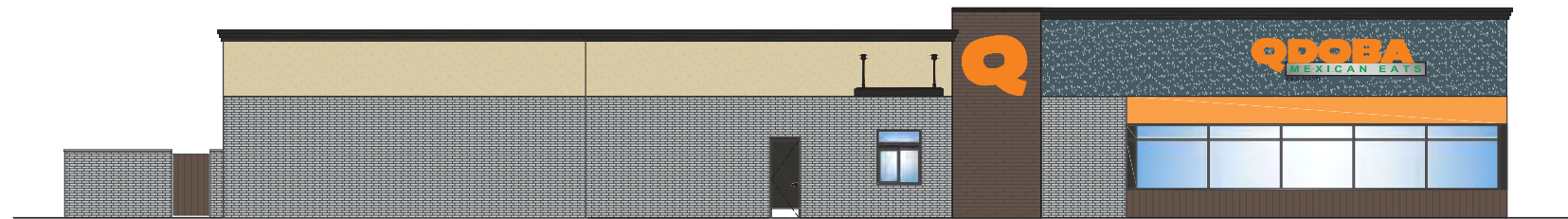
1 FRONT ELEVATION
Scale: 3/32" = 1'-0"



2 REAR ELEVATION
Scale: 3/32" = 1'-0"



3 NON-DRIVE THRU ELEVATION
Scale: 3/32" = 1'-0"



4 DRIVE THRU ELEVATION
Scale: 3/32" = 1'-0"

EXTERIOR
ELEVATIONS



1821 8th St S
Wisconsin Rapids, WI 54494

STORE#

PROJECT#

21-686

SCALE

3/32" = 1'-0"

DRAWN BY:

RG

CHECKED BY:

KB

001

Administrative Staff Report

Conditional Use: Addition

Plan Commission Review

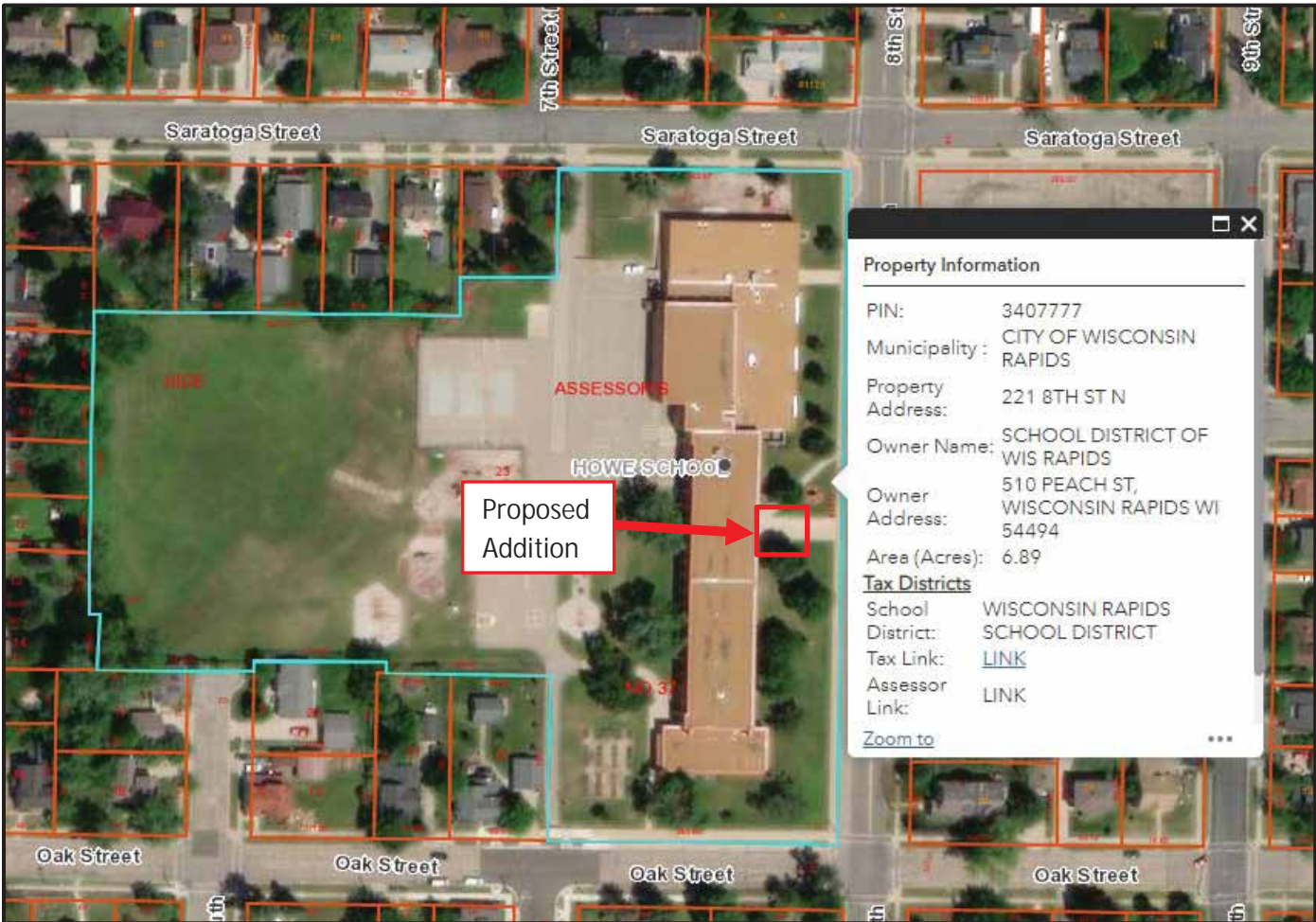
221 8th Street North

September 29, 2021



<p>Applicant(s):</p> <ul style="list-style-type: none"> Wisconsin Rapids Public School District <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns, Director of Community Development <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3407777 <p>Lot Information:</p> <ul style="list-style-type: none"> Acreage: 6.892 <p>Zone(s):</p> <ul style="list-style-type: none"> "I-1" Institutional District <p>Council District:</p> <ul style="list-style-type: none"> District 5 <p>Master Plan:</p> <ul style="list-style-type: none"> Institutional <p>Current Use:</p> <ul style="list-style-type: none"> Institutional <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 - Zoning 	<p>Request</p> <p>PLAN-21-0966; Wisconsin Rapids Public School District – public hearing and action on a request for a conditional use permit amendment to construct an addition on Howe Elementary School at 221 8th Street North (Parcel ID 3407777).</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Application Plans Renderings <p>Findings of Fact</p> <ol style="list-style-type: none"> The property is 6.892 acres in size and is utilized for the local area elementary school. The request is to add an addition onto the eastern entrance of the school. The property is zoned "I-1" Institutional District Schools are a conditional use within the Institutional district; any changes to the site requires an amendment. <p>Staff Recommendation</p> <p>Approve the request from the applicant for a conditional use permit amendment to construct an addition on Howe Elementary School at 221 8th Street North (Parcel ID 3407777), subject to the following conditions:</p> <ol style="list-style-type: none"> A landscaping plan shall be submitted, meeting applicable requirements, to be reviewed and approved by the Community Development Department. Any exterior lighting shall be cut-off fixtures or equivalent. Lighting from the development shall not exceed 0.1 foot-candles at neighboring residential property lines Applicable building and stormwater permits, state and local, shall be obtained. Minor modifications to the plan shall be permitted to be reviewed and approved by the Community Development Department.
--	---

Vicinity Map



Background

The Wisconsin Rapids Area Public School District is requesting an addition in order to create a secure entry to Howe Elementary School. Offices are also included in the addition. The elementary school is a considered a conditional use within the Institutional zoning district and would require review an approval for the addition.

The conditional use permit standards of review are analyzed below, and more information can be found within the attached application and plans.



Conditional Use Permit Standards of Review

11.05.55 Basis of decision

Generally. When reviewing conditional uses other than nonconforming conditional uses, the review authority shall consider the following factors:

- 1) the size of the parcel on which the proposed use will occur;

Analysis: The property is currently being utilized for an elementary school, which includes outdoor recreational activities. Furthermore, the proposed improvements assist in securing the facility and are within a developed area on site, currently serving as the main entrance.

Findings: The school property is large at nearly 7 acres, much of which is devoted to recreational uses. The addition onto the east side of the building, should not be detrimental to the use.

2) the presence of and compatibility with other uses on the subject property, if any;

Analysis: The school use and any accessory recreational uses already exist on the property.

Findings: The proposed improvements should not increase, change, or impact traffic, pedestrian access, or other uses. Furthermore, they should, compliment the school use and should not be detrimental to such use.

3) the location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses);

Analysis: See the above analysis and findings. The proposed improvements will occur on east side of the building, in an area where hard surface currently exists. This area currently serves as one of the building's primary entrances. A church, parking lot and residential properties exist directly to the east of the property, along 8th Street North.

Findings: While the addition will expand the building closer to the adjacent street, it will somewhat match the building line to the north and will not encroach into the setback. Additionally, the improvements will significantly improve the building aesthetics, helping to break of the monotonous façade, and create a more secure entrance for students.

4) effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;

Analysis: See analysis and findings above regarding the addition location and facility security. City sidewalk will remain to allow pedestrians to transect north and south through the site or utilize the main entrance. Vehicle parking, including for buses and drop-off will remain similar to its existing configuration.

Findings: Traffic should not negatively be impacted by the addition nor pedestrian access and accommodations.

5) the suitability of the subject property for the proposed use;

Analysis: See the above standards regarding lot size and other site specifics. The applicant has described the use further within the application.

Findings: The addition will improve the security of the entire facility as well as the aesthetics of the building.

6) effects of the proposed use on the natural environment;

Analysis: The addition is proposed within an improved impervious area, but some greenspace will be lost.

Findings: Some landscaping exists within the development area which will be lost, but other landscaping will be installed after the development. Staff would recommend all stormwater requirements, state and local, be met.

7) effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances;

Analysis: See the above analysis'. Again, the use already exists on the property, but would be expanded.

Findings: The use is on a property where it already occurs, and the improvements should not increase the intensity of the use. Furthermore, the property lies on a main arterial street where which serves as an unloading location, which will remain.

- 8) **effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts; and**

Analysis: The surrounding area is fully developed.

Findings: The building addition should not impede the normal development and improvement of the surrounding area.

- 9) **any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.**

Analysis: Notices regarding the request were sent to neighbors within a 300-foot boundary of the property.

Findings: Concerned citizens can attend the meeting and provide input at the public hearing. Some citizens have contacted our office inquiring further information about the project.

Site Plan & Architectural Standards of Review

1) Use

Analysis: A school is a conditional use within the I-1 Institutional District.

Findings: See the Conditional Use Permit standards above. Note that a building plan – architectural review (AR), plan of operation (PO), site plan review (SP), and zoning permit (ZP) are required for nonresidential accessory structures.

2) Dimensional Standards

Analysis: The I-1 district requires 30,000 square feet, and the lot is nearly 7 acres. Building setbacks for the addition appear to meet the minimums (25-foot street and 10-foot side and rear). The building coverage ratio and impervious surface ratio are unknown, but it appears they are evidently met given the size of the site.

Findings: The applicable dimensional standards appear to be met.

3) Ingress/Egress

Analysis: No changes to ingress/egress are proposed.

Findings: Driveway standards are met, as the addition does not change ingress/egress to the site.

4) Parking

Analysis: The proposed development does not include an expansion to the parking area on the site. The following parking is required for the use:

Parking Requirements: 0.5 space for each (k-8) classroom; plus 1 space for each employee on the largest work shift.

Findings: As the addition will not affect enrollment or staffing, no additional parking shall be required based on the standards above.

5) Landscaping

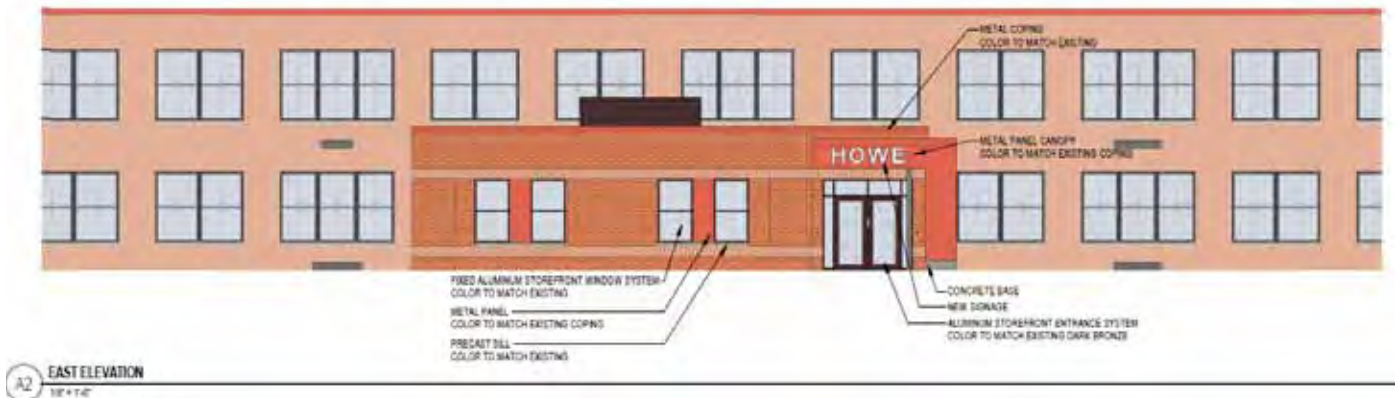
Analysis: The addition may slightly increase the building foundation planting requirements below:

11.16.43 Building foundation landscape requirements (a) Minimum amount required. A minimum of 40 landscape points shall be provided on a prorated basis for every 100 feet of building foundation perimeter. For example, a building with a perimeter of 180 feet must provide a minimum of 72 landscape points $((180/100)*40)=72$

Findings: A landscaping plan has not been submitted. A total of 151 feet of building foundation exists, which would require a total of 60.4 landscape points. Staff would recommend the applicant submit a landscaping plan which identifies foundation plantings, meeting the landscape requirement.

6) Architectural Review

Analysis: The proposed addition has similar materials, primarily brick, found on the principal building. Additionally, windows are proposed on all facades, along with a covered canopy over the entrance.



Findings: The design and architecture of the addition will match the existing building well. The overall appearance differs slightly from the rest of the building, in that it is a single story, but the addition will provide a distinctness to the long eastern façade to identify the entrance. Again, the addition will blend with the colors of the existing building and fit within the character of the facility.

7) Lighting & Photometric Plan

Analysis: A lighting and photometric plan have not been submitted.

Findings: No exterior lighting is shown on the façade. The entrance canopy may be internally lit, but light should not intrude onto the neighboring properties. Therefore, a lighting plan may not be necessary, however, staff would recommend for any exterior lighting, cut-off lighting fixtures or equivalent be used. Additionally lighting from the development shall not exceed 0.1 foot-candles at neighboring residential property lines.

In summary, the proposed use should not be detrimental to the neighborhood and seems appropriate for the area and property, as it is not a substantial change to the existing use. Furthermore, the intensity of the use is not increasing, but the safety of students and visitors will be greatly improved as will the aesthetics of the school. Again, while the physical size of the building is increasing, ingress/egress and parking remain unaffected. Upon review, staff would recommend approving the conditional use permit amendment to construct an addition at the Howe Elementary School as proposed, subject to the conditions outlined on page 1.



Conditional Use Application
City of Wisconsin Rapids, Wisconsin
Version: January 3, 2019

Page 29 of 85

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The City's zoning regulations identify land uses that may be allowed in each of the zoning districts either by right or as a conditional use. By definition, a conditional use is a land use that may or may not be appropriate on a given parcel depending on a wide range of factors that relate to the proposed use and the particular circumstances relating to the parcel and surrounding properties. Conditional uses are therefore considered on a case-by-case basis. As part of the review process, the Planning Commission and Common Council conduct a joint public hearing to solicit input from the general public and other interested parties. When reviewing conditional use applications, the Planning Commission serves in an advisory capacity to the Common Council, which makes the final decision. The recommendation of the Planning Commission and the decision of the Village Board are based on the evidence and testimony received as part of the application and through the public hearing process.

If you submit an application, do not contact any member on the Planning Commission or the Common Council until after a final decision has been made.

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

Application fee: \$250.00 for principal and accessory uses; \$100.00 for temporary uses and \$50.00 for administrative renewals

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Aldersperson notification Before you submit your application, you will need to send a letter to the Aldersperson of the district of where the request is taking place, explaining the request. Please attach the notification letter with your application materials.

Office Use Only

Date Received _____

Received By _____

Fee _____

Case # _____

Aldermanic District _____

Plan Commission Date _____

1. Applicant information

Applicant name Kyle Bennehoff

Street address 158 W Main Street

City, state, zip code Lena, IL 61048

Daytime telephone number 815.369.9155

Email kylebennehoff@lingledesign.com

2. **Agent contact information** Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

Agent 1

Name Tim Dineen

Company Venture Construction

Street address 2385 S 179th Street; Suite B

City, state, zip code New Berlin, WI 53146

Daytime telephone number 262.439.8866

Email tim@vgcinc.com

Agent 2

3. Type of application (select one)

☐ New conditional use

☐ Yes ☐ No Are there any other current conditional use approvals for the property?

If yes, provide the year of issuance and a short description.

☒ An amendment of a previously approved conditional use

4. Subject property information

Physical address 1821 8th St S, Wisconsin Rapids, WI 54494 (Former Hardee's)

Parcel number(s) 3411790 226E20-NWNE-B-214

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

☒ No

☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

☒ No

☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> RR Rural Residential | <input type="checkbox"/> R-8 Manufactured Home Park | <input type="checkbox"/> M-1 General Industrial |
| <input type="checkbox"/> R-1 Single-family Residential | <input type="checkbox"/> B-1 Downtown Commercial | <input type="checkbox"/> M-2 Heavy Industrial |
| <input type="checkbox"/> R-2 Mixed Residential | <input checked="" type="checkbox"/> B-2 General Commercial | <input type="checkbox"/> I-1 Institutional |
| <input type="checkbox"/> R-3 Multi-family Medium Density Residential | <input type="checkbox"/> B-3 Neighborhood Commercial | <input type="checkbox"/> P-1 Park and Recreation |
| <input type="checkbox"/> R-4 Multi-family High Density Residential | <input type="checkbox"/> B-5 Mixed Use Commercial | <input type="checkbox"/> C-1 Conservancy |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> Planned Development (PDD) | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Floodplain |
| <input type="checkbox"/> Downtown Design | <input type="checkbox"/> Shoreland-Wetland | <input type="checkbox"/> Wellhead Protection |

6. Current use Describe the current use of the subject property.

Howe Elementary School is currently operating on the property.

7. Proposed use Describe the proposed conditional use or the proposed amendment.

No change. Howe Elementary School will continue to operate on the property.

8. Evaluation criteria The factors listed below will be used in evaluating this application. Your responses are important.

1. The size of the parcel on which the proposed use will occur.

6.89 Acres

2. The presence of and compatibility with other uses on the subject property if any.

No other uses are currently located on the property.

3. The location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses).

The proposed project is a secure entry addition onto the front of the Elementary School Building.

4. Effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site.

No change to current operations. Will improve the safety of the building with a newly configured secure entry.

5. The suitability of the subject property for the proposed use.

The site currently operates successfully as an Elementary School and there is no change in use being requested.

6. Effects of the proposed use on the natural environment.

The proposed addition has minimal impact to the natural environment. The project area is majority impervious currently.

7. Effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances.

No change.

8. Effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts.

No change.

9. Any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.

None.

9. Supplemental materials Attach the following to this application form.

1. A project map with the information listed in Appendix F of the zoning code.
2. Proposed construction plans (if applicable)
3. The letter you sent to the Alderperson for the district in which the project is located.

10. Attachments List any attachments included with your application.

Building Elevations of the new addition
Site Plans

11. Other information You may provide any other information you feel is relevant to the review of your application.

12. Mandatory meeting with staff

When did you meet with the Community Development Director?

Kyle Kearns, Phone/Email 9/2/21-9/3/21

Month/year

13. Applicant certification

- I understand that I, or any of my agents, may not discuss this application with any member of the Planning Commission or the Common Council until after a final decision is rendered.
- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Craig G. Bruen
Name – print

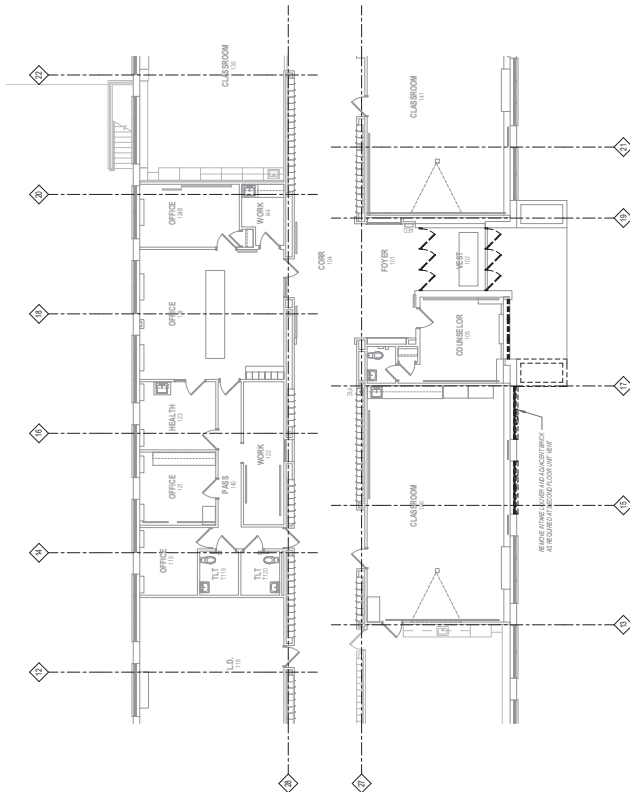
[Signature]
Name – Signature

9/15/21
Date

Name – print

Name – Signature

Date



DEMO LUTION PLAN - SYMBOLS LEGEND

=====	EXISTING WALLS TO REMAIN	-----	EXISTING NEW TO REMAIN
*****	EXISTING WALLS TO BE REMOVED	○	DEMOLITION PLANK PHOTO
=====	EXISTING DOOR TO REMAIN	---	CONSTRUCTION LIMITS
=====	EXISTING DOOR TO BE REMOVED	---	MATLINE

DEMOLITION PLAN - GENERAL NOTES

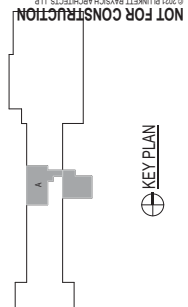
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DEMOLITION PLAN NOTES

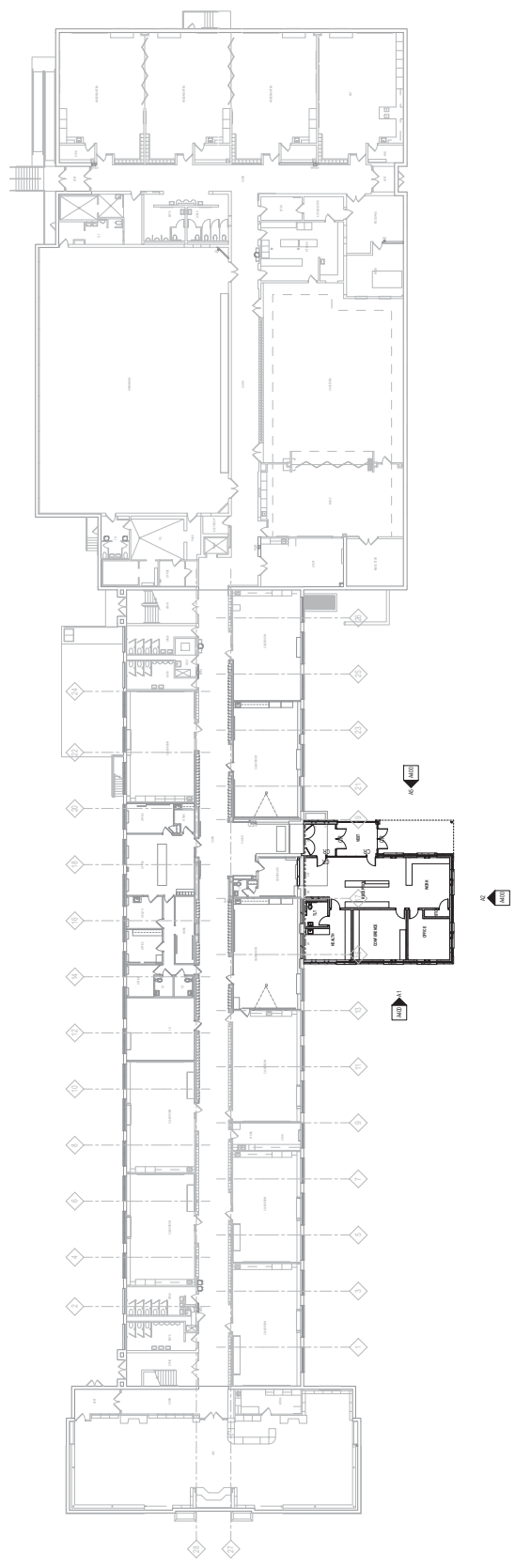
⊕ KEY PLAN

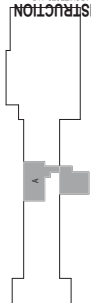
FIRST FLOOR DEMOLITION PLAN - AREA A

A101A



FIRST FLOOR OVERALL PLAN
1/8" = 1'-0"





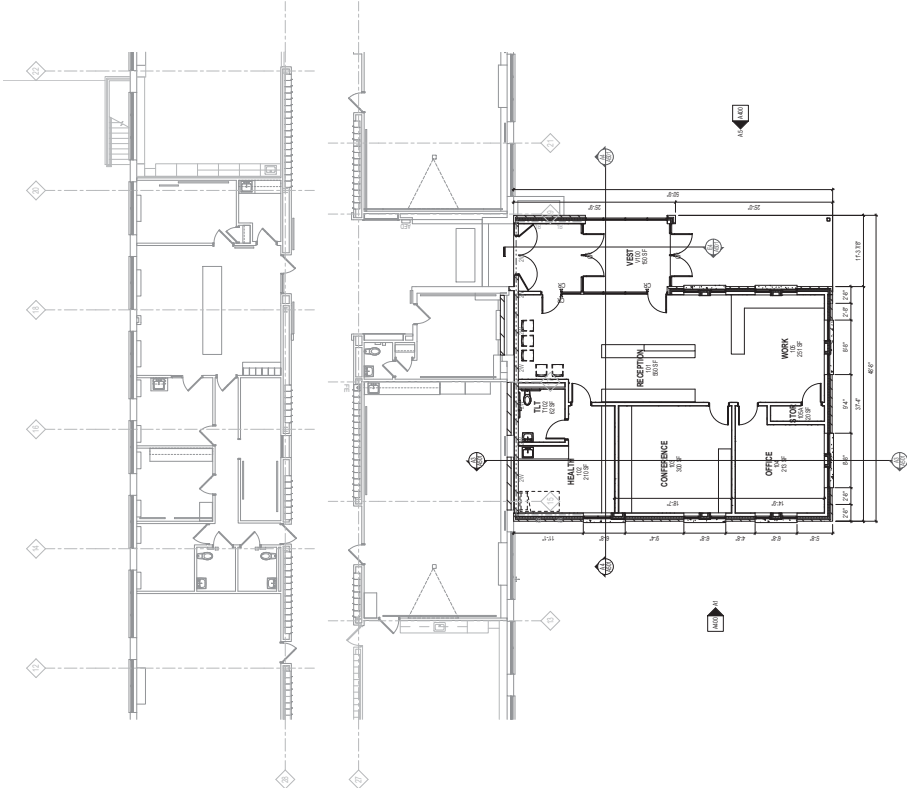
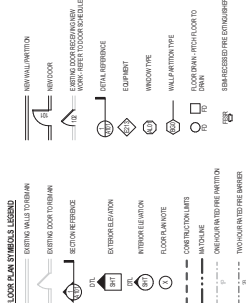
FLOOR PLAN NOTES	
MARK	DESCRIPTION

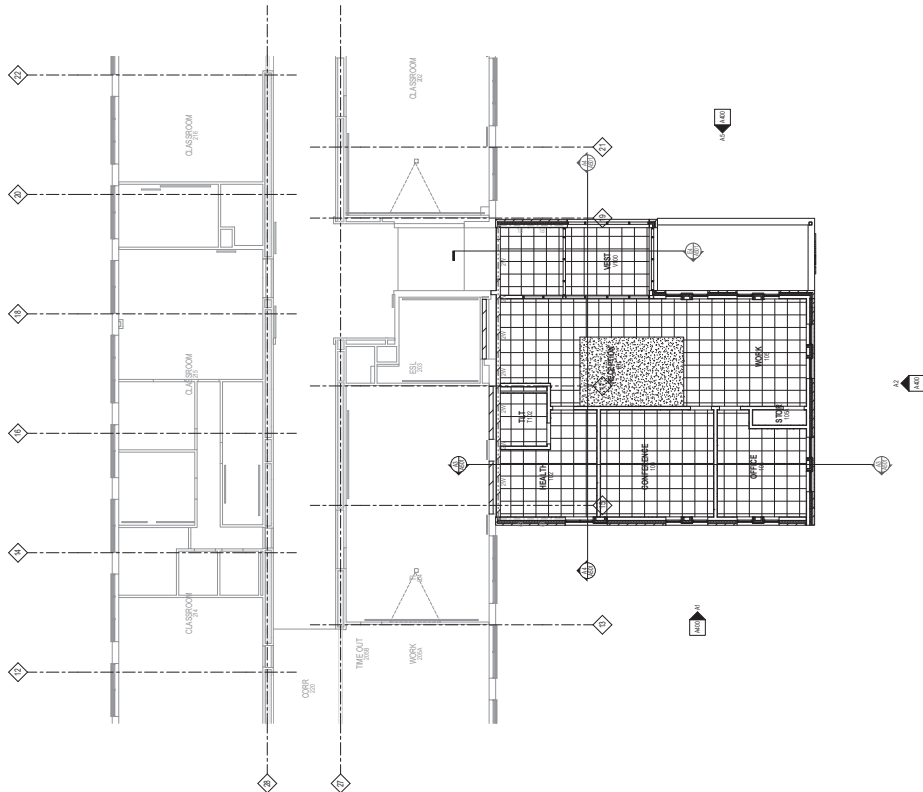
[illegible]

MASONRY PARTITIONS GENERAL NOTES

GYPSUM BOARD PARTITIONS GENERAL NOTES

FLOOR PLAN GENERAL NOTES





REFLECTED CEILING PLAN NOTES	
MARK	DESCRIPTION

CEILING ASSEMBLIES	
MARK	CONSTRUCTION DESCRIPTION
C1A	602 (A) WITH CEILING PANELS IN EXPOSED GRID SYSTEM SUPPLIED FROM STRUCTURE ABOVE
C2	602 (A) WITH CEILING PANELS IN EXPOSED GRID SYSTEM SUPPLIED FROM STRUCTURE ABOVE

REMOVE AND REPAIR OR REPLACE CEILING MATERIALS, INCLUDING BUT NOT LIMITED TO: GYPSUM BOARD, POP, ACoustIC TILE, ETC. THIS WORK MAY BE REQUIRED ON, ABOVE, OR BELOW FLOOR OF CONSTRUCTION. REMOVE EXISTING CEILING MATERIALS AND REPLACE WITH NEW MATERIALS TO MATCH EXISTING MATERIALS. CEILING SHALL BE REPAIRED TO ORIGINAL CONDITION.

5. CEILING HEIGHTS SHALL BE 9'-0" UNLESS NOTED OTHERWISE ON THE REFLECTED CEILING PLANS.

5. REMOVE EXISTING CEILING SYSTEM WHERE NEW WALLS PERMEATE EXISTING CEILING SYSTEMS TO REMAIN.

LOCAL TEAM, SPRINKLER HEADS, SMOKE DETECTORS, AUDIO SPEAKERS, HEAT SENSORS IN THE CENTER OF

REFLECTED CEILING PLAN GENERAL NOTES

DETAIL REFERENCE

--- TWO HOUR RATED FIRE BARRIER

GRIP/BULB HEAD OR
 BULB HEAD

MATCHLINE

ONE WAY TO SECTION DASH DOT ONE

2'-0" x 2'-0" SUSPENDED EXPOSED GRID ACOUSTIC CEILING TILE

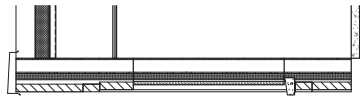
2'-0" x 4'-0" SUSPENDED EXPOSED
GRID ACOUSTIC CEILING TILE

CEILING HEIGHT

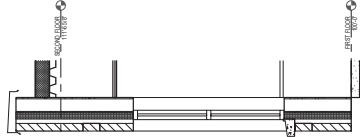
8'-0"

Journal of Management Inquiry 22(1) 3-16

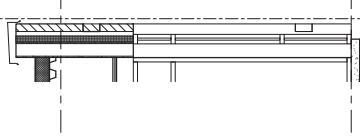
11 WALL SECTION AT METAL PANEL



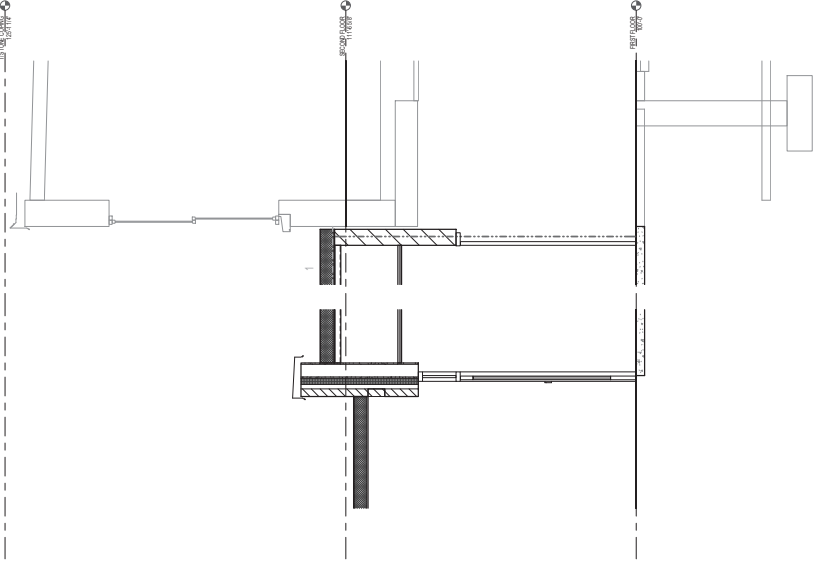
12 WALL SECTION AT TYPICAL STOREFRONT



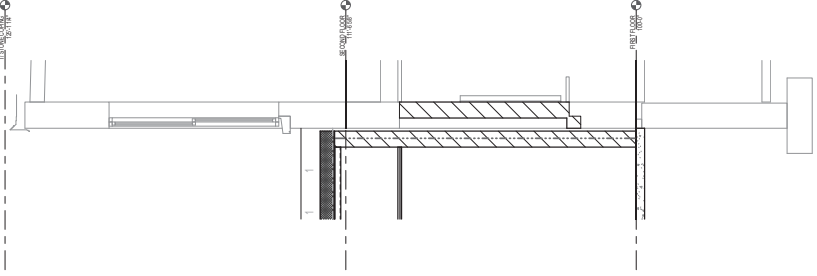
13 WALL SECTION AT STOREFRONT AT GROUND



14 WALL SECTION AT ENTRY TYPICAL



15 WALL SECTION AT PERIMETER



EXTERIOR BASED PARTITIONS GENERAL NOTE

- A. ALL EXTERIOR BASED PARTITIONS SHALL BE FINISHED UNLESS OTHERWISE SPECIFIED.
- B. REFER TO PRELIMINARY SPECIFICATIONS FOR LOCATION AND TYPE OF PARTITION WALLS.
- C. REFER TO PRELIMINARY SPECIFICATIONS FOR LOCATION AND TYPE OF PARTITION WALLS.
- D. PROVIDE THE BASED PARTITION BASED AT ALL PERIMETER PARTITIONS.
- E. SEAL ALL WALL PARTITIONS AT PERIMETER AND INTERIOR ALL PERIMETER PARTITIONS.
- F. EXTERIOR ALL PARTITIONS SHALL BE FINISHED UNLESS OTHERWISE SPECIFIED.
- G. EXTERIOR ALL PARTITIONS SHALL BE FINISHED UNLESS OTHERWISE SPECIFIED.
- H. EXTERIOR ALL PARTITIONS SHALL BE FINISHED UNLESS OTHERWISE SPECIFIED.
- I. EXTERIOR ALL PARTITIONS SHALL BE FINISHED UNLESS OTHERWISE SPECIFIED.
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- R. EXTERIOR ALL PARTITIONS SHALL BE FINISHED UNLESS OTHERWISE SPECIFIED.
- S. EXTERIOR ALL PARTITIONS SHALL BE FINISHED UNLESS OTHERWISE SPECIFIED.
- T. EXTERIOR ALL PARTITIONS SHALL BE FINISHED UNLESS OTHERWISE SPECIFIED.
- U. EXTERIOR ALL PARTITIONS SHALL BE FINISHED UNLESS OTHERWISE SPECIFIED.
- V. EXTERIOR ALL PARTITIONS SHALL BE FINISHED UNLESS OTHERWISE SPECIFIED.
- W. EXTERIOR ALL PARTITIONS SHALL BE FINISHED UNLESS OTHERWISE SPECIFIED.
- X. EXTERIOR ALL PARTITIONS SHALL BE FINISHED UNLESS OTHERWISE SPECIFIED.
- Y. EXTERIOR ALL PARTITIONS SHALL BE FINISHED UNLESS OTHERWISE SPECIFIED.
- Z. EXTERIOR ALL PARTITIONS SHALL BE FINISHED UNLESS OTHERWISE SPECIFIED.

BASED PARTITIONS GENERAL NOTE

- A. BASED PARTITIONS SHALL BE FINISHED UNLESS OTHERWISE SPECIFIED.
- B. BASED PARTITIONS SHALL BE FINISHED UNLESS OTHERWISE SPECIFIED.
- C. BASED PARTITIONS SHALL BE FINISHED UNLESS OTHERWISE SPECIFIED.
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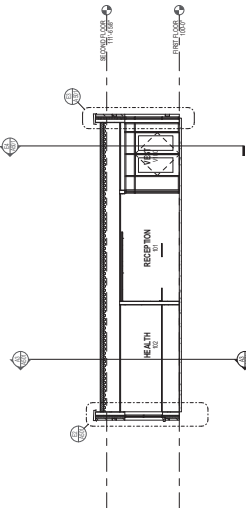
CONSTRUCTION TYPES

NAME	DESCRIPTION
1	CONCRETE
2	BRICK
3	CLAY TILE
4	GLASS
5	STEEL
6	WOOD
7	PLASTER
8	STUCCO
9	CEMENT
10	GRAVEL
11	ASPHALT
12	PAVEMENT
13	ROOFING
14	MECHANICAL
15	ELECTRICAL
16	PLUMBING
17	HEATING
18	Cooling
19	Lighting
20	Acoustical
21	Fire Protection
22	Security
23	Accessibility
24	Signage
25	Landscaping
26	Site Work
27	Foundation
28	Structural
29	Exterior
30	Interior
31	Furniture
32	Fixtures
33	Equipment
34	Storage
35	Display
36	Seating
37	Restroom
38	Kitchen
39	Breakroom
40	Office
41	Classroom
42	Laboratory
43	Art Room
44	Music Room
45	Dance Studio
46	Gymnasium
47	Swimming Pool
48	Sports Field
49	Tennis Court
50	Baseball Field
51	Soccer Field
52	Hockey Rink
53	Skating Rink
54	Ice Skating Rink
55	Figure Skating Rink
56	Roller Skating Rink
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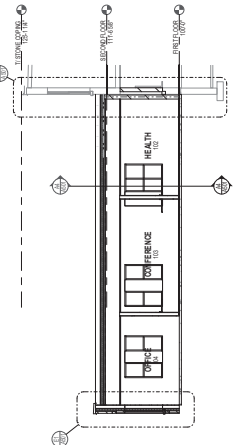
CONSTRUCTION ASSEMBLIES

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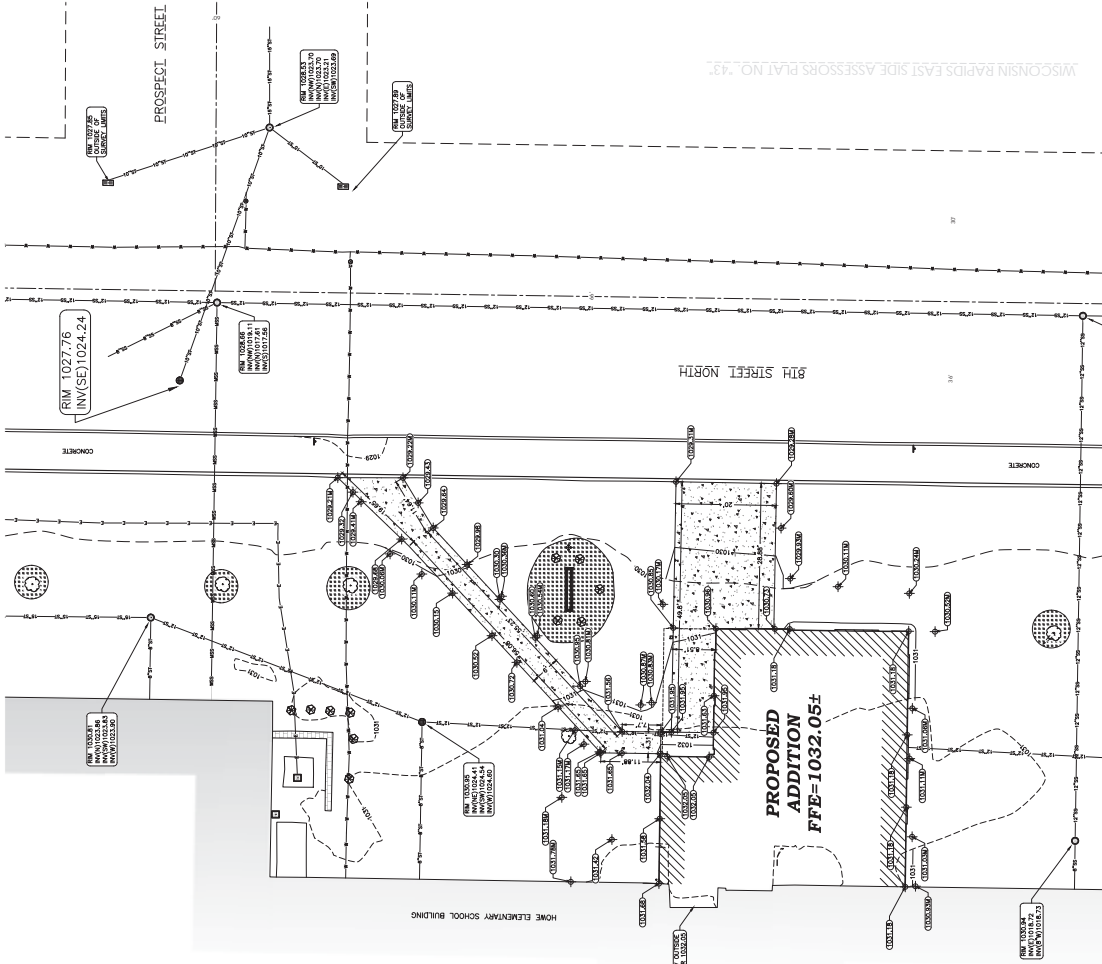
14 BUILDING SECTION - NORTH/SOUTH



15 BUILDING SECTION - EAST/WEST



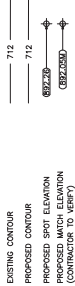
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96	Ice Hockey Rink
97	Figure Hockey Rink
98	Roller Hockey Rink
99	Ice Hockey Rink
100	Figure Hockey Rink



GENERAL NOTES:

1. CONVEY ALL EXISTING UTILITIES TO THE STREET OF RECORD FOR CONSTRUCTION.
2. THE PROPOSED SITE PLAN FINISH FLOOR ELEVATION OF 1032.051 EQUALS THE PROPOSED BUILDING ARCHITECTURAL FINISH FLOOR ELEVATION OF 1032.051.
3. VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION. AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BIDDING PROCESS.
4. COORDINATE ALL EARTHWORK ACTIVITIES WITH THE RESPECTIVE TRACES RESPONSIBLE FOR THE CONDUITS AND SIGNALS CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNALS).
5. BIDDERS SHALL NOT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
6. BIDDERS SHALL NOT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
7. BIDDERS SHALL NOT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
8. BIDDERS SHALL NOT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
9. BIDDERS SHALL NOT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
10. ALL CONCRETE SAMPLITS SHALL BE AT AN EXISTING JOINT.

GRADING LEGEND:



PAVEMENT HATCH PATTERNS:



BENCHMARK:

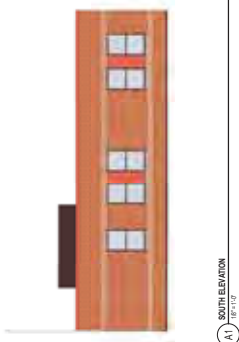
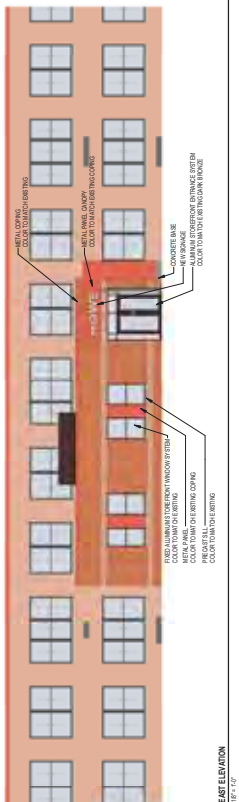
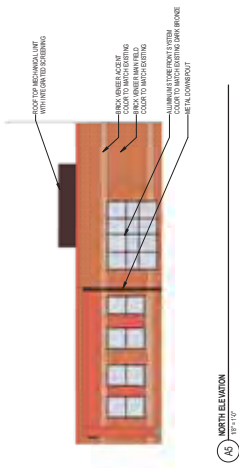
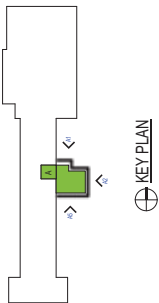
BENCHMARKS ARE REFERENCED TO NAD 83 DATUM.

REMARKS: THE BENCHMARKS ARE LOCATED AT THE EXISTING ELEVATION OF 1032.051. THE BENCHMARK IS LOCATED AT THE EXISTING ELEVATION OF 1032.051.

UTILITY DISCLAIMER:

THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE EXISTING UTILITIES AND HAS FOUND NO EVIDENCE OF ANY UTILITIES. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE EXISTING UTILITIES AND HAS FOUND NO EVIDENCE OF ANY UTILITIES. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE EXISTING UTILITIES AND HAS FOUND NO EVIDENCE OF ANY UTILITIES.

NOT FOR CONSTRUCTION
© 2021 PLUNKETT RAYBACH ARCHITECTS, LLP



AERIAL VIEW



SOUTHEAST PERSPECTIVE



NORTHEAST PERSPECTIVE



EAST PERSPECTIVE



Administrative Staff Report

Conditional Use: Addition

Plan Commission Review

241 17th Avenue South

September 29, 2021



<p>Applicant(s):</p> <ul style="list-style-type: none"> Wisconsin Rapids Public School District <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns, Director of Community Development <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3402835 <p>Lot Information:</p> <ul style="list-style-type: none"> Acreage: 5.9 <p>Zone(s):</p> <ul style="list-style-type: none"> "I-1" Institutional District <p>Council District:</p> <ul style="list-style-type: none"> District 1 <p>Master Plan:</p> <ul style="list-style-type: none"> Institutional <p>Current Use:</p> <ul style="list-style-type: none"> Institutional <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 - Zoning 	<p>Request</p> <p>PLAN-21-0967; Wisconsin Rapids Public School District – public hearing and action on a request for a conditional use permit amendment to construct an addition on Mead Elementary School at 241 17th Avenue South (Parcel ID 3402835).</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Application Plans Renderings <p>Findings of Fact</p> <ol style="list-style-type: none"> The property is 5.9 acres in size and is utilized for the local area elementary school. The request is to add an addition onto the western side of the school to expand the cafeteria The property is zoned "I-1" Institutional District Schools are a conditional use within the Institutional district; any changes to the site requires an amendment. <p>Staff Recommendation</p> <p>Approve the request from the applicant for a conditional use permit amendment to construct an addition on Mead Elementary School at 241 17th Avenue South (Parcel ID 3402835), subject to the following conditions:</p> <ol style="list-style-type: none"> An updated site plan shall be provided if parking is expanded, meeting applicable zoning requirements, to be reviewed and approved by the Community Development Department. A landscaping plan shall be submitted, meeting applicable requirements, to be reviewed and approved by the Community Development Department. Any exterior lighting shall be cut-off fixtures or equivalent. Lighting from the development shall not exceed 0.1 foot-candles at neighboring residential property lines Applicable building and stormwater permits, state and local, shall be obtained. Minor modifications to the plan shall be permitted to be reviewed and approved by the Community Development Department.
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Vicinity Map



Background

The Wisconsin Rapids Area Public School District is requesting an addition in order to expand the cafeteria at Mead Elementary School. The elementary school is a considered a conditional use within the Institutional zoning district and would require review an approval for the addition.



The conditional use permit standards of review are analyzed below, and more information can be found within the attached application and plans.

Conditional Use Permit Standards of Review

11.05.55 Basis of decision

Generally. When reviewing conditional uses other than nonconforming conditional uses, the review authority shall consider the following factors:

1) the size of the parcel on which the proposed use will occur;

Analysis: The property is currently being utilized for an elementary school, which includes outdoor recreational activities. The addition is proposed on the northwest side of the building near the cafeteria. The proposed improvements assist in provide a better level of service for lunch.

Findings: The school property is large at nearly 6 acres, much of which is devoted to outdoor recreational uses. The addition onto the west side of the building, should not be detrimental to the use.

2) the presence of and compatibility with other uses on the subject property, if any;

Analysis: The school use and any accessory recreational uses already exist on the property.

Findings: The proposed improvements should not increase, change, or impact traffic, pedestrian access, or other uses. Furthermore, they should, compliment the school use and should not be detrimental to such use.

3) the location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses);

Analysis: See the above analysis and findings. The proposed improvements will occur on the west side of the building, in an area that currently is vacant greenspace. A parking lot exists to the north, with residential properties existing directly west, along 8th Avenue South.

Findings: While the addition will expand the building closer to the adjacent street, it will somewhat match the building line to the south and will not encroach into the setback. Additionally, the improvements will significantly improve the building aesthetics, helping to break of the monotonous western façade, and create a better cafeteria for the school.

4) effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;

Analysis: See analysis and findings above regarding the addition location and facility security. City sidewalk will remain to allow pedestrians to transect north and south through the site. Vehicle parking, including for buses and drop-off will remain similar to its existing configuration.

Findings: Traffic should not negatively be impacted by the addition nor pedestrian access and accommodations.

5) the suitability of the subject property for the proposed use;

Analysis: See the above standards regarding lot size and other site specifics. The applicant has described the use further within the submittals.

Findings: The addition will improve the level of service for lunch in the facility as well as the aesthetics of the building.

6) effects of the proposed use on the natural environment;

Analysis: The addition is proposed within a vacant greenspace area.

Findings: Some landscaping exists within the development area which will be lost, but other landscaping will be required after the development. Staff would recommend all stormwater requirements, state and local, be met.

- 7) **effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances;**

Analysis: See the above analysis'. Again, the use already exists on the property, but would be expanded.

Findings: The use is on a property where it already occurs, and the improvements should not increase the intensity of the use. Furthermore, the property lies on a main arterial street where which serves as an unloading location, which will remain.

- 8) **effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts; and**

Analysis: The surrounding area is fully developed.

Findings: The building addition should not impede the normal development and improvement of the surrounding area.

- 9) **any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.**

Analysis: Notices regarding the request were sent to neighbors within a 300-foot boundary of the property.

Findings: Concerned citizens can attend the meeting and provide input at the public hearing. Some citizens have contacted our office inquiring further information about the project.

Site Plan & Architectural Standards of Review

- 1) **Use**

Analysis: A school is a conditional use within the I-1 Institutional District.

Findings: See the Conditional Use Permit standards above. Note that a building plan – architectural review (AR), plan of operation (PO), site plan review (SP), and zoning permit (ZP) are required for nonresidential accessory structures.

- 2) **Dimensional Standards**

Analysis: The I-1 district requires 30,000 square feet, and the lot is nearly 6 acres. Building setbacks for the addition appear to meet the minimums (25-foot street and 10-foot side and rear). The building coverage ratio and impervious surface ratio are unknown, but it appears they are evidently met given the size of the site.

Findings: The applicable dimensional standards appear to be met.

- 3) **Ingress/Egress**

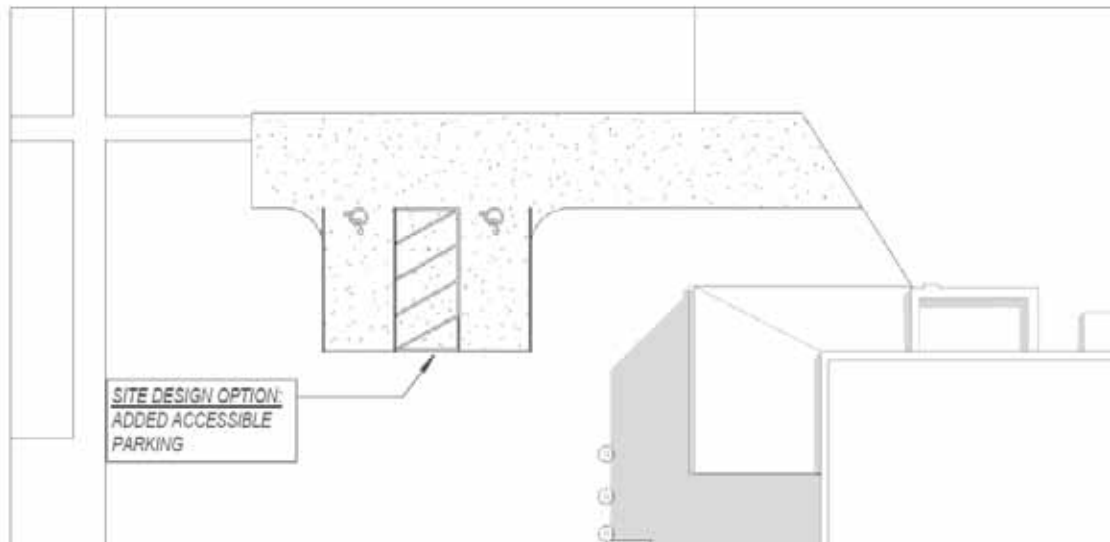
Analysis: No changes to ingress/egress are proposed.

Findings: Driveway standards are met, as the addition does not change ingress/egress to the site.

- 4) **Parking**

Analysis: The proposed development identifies two new handicap stalls on the north side of the parking area. The following parking is required for the use:

Parking Requirements: 0.5 space for each (k-8) classroom; plus 1 space for each employee on the largest work shift.



Findings: As the addition will not affect enrollment or staffing, no additional parking shall be required based on the standards above, however two handicap stalls are proposed. If the parking stalls are pursued, an updated site plan shall be submitted showing the parking and drive aisle dimensional requirements.

5) Landscaping

Analysis: The addition may slightly increase the building foundation planting requirements below:

*11.16.43 Building foundation landscape requirements (a) Minimum amount required. A minimum of 40 landscape points shall be provided on a prorated basis for every 100 feet of building foundation perimeter. For example, a building with a perimeter of 180 feet must provide a minimum of 72 landscape points $((180/100)*40)=72$*

Findings: A landscaping plan has not been submitted. The total building foundation length for the addition is unknown. Staff would recommend the applicant submit a landscaping plan which identifies building foundation length and required plantings, to be reviewed and approved by the Community Development Department.

6) Architectural Review

Analysis: The proposed addition has similar materials, brick and glass, found on the principal building. Additionally, an aluminum storefront window feature is proposed on the west, allowing light into the cafeteria.



Findings: The design and architecture of the addition will match the existing building well. The overall appearance differs slightly from the rest of the building, in that it is a single story, but the addition will provide a

distinctness to the long western façade and improve the cafeteria experience for students. Again, the addition will blend with the colors of the existing building and fit within the character of the facility.

7) Lighting & Photometric Plan

Analysis: A lighting and photometric plan have not been submitted.

Findings: No exterior lighting is shown on the façade. A lighting plan may not be necessary for the improvement as the cafeteria addition is primarily used during daytime hours. However, staff would recommend any exterior lighting be cut-off lighting fixtures or equivalent and any light from the development shall not exceed 0.1 foot-candles at neighboring residential property lines.

In summary, the proposed use should not be detrimental to the neighborhood and seems appropriate for the area and property, as it is not a substantial change to the existing use. Furthermore, the intensity of the use is not increasing, rather the level of service for students is expanding relating to the cafeteria operations. The building aesthetics of the school are also greatly improved along the western façade with the proposed addition. Again, while the physical size of the building is increasing, ingress/egress and parking remain unaffected. Upon review, staff would recommend approving the conditional use permit amendment to construct an addition at Mead Elementary School as proposed, subject to the conditions outlined on page 1.



Conditional Use Application

City of Wisconsin Rapids, Wisconsin

Version: January 3, 2019

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The City's zoning regulations identify land uses that may be allowed in each of the zoning districts either by right or as a conditional use. By definition, a conditional use is a land use that may or may not be appropriate on a given parcel depending on a wide range of factors that relate to the proposed use and the particular circumstances relating to the parcel and surrounding properties. Conditional uses are therefore considered on a case-by-case basis. As part of the review process, the Planning Commission and Common Council conduct a joint public hearing to solicit input from the general public and other interested parties. When reviewing conditional use applications, the Planning Commission serves in an advisory capacity to the Common Council, which makes the final decision. The recommendation of the Planning Commission and the decision of the Village Board are based on the evidence and testimony received as part of the application and through the public hearing process.

If you submit an application, do not contact any member on the Planning Commission or the Common Council until after a final decision has been made.

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

Application fee: \$250.00 for principal and accessory uses; \$100.00 for temporary uses and \$50.00 for administrative renewals

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Aldersperson notification Before you submit your application, you will need to send a letter to the Aldersperson of the district of where the request is taking place, explaining the request. Please attach the notification letter with your application materials.

Office Use Only

Date Received _____
Received By _____
Fee _____
Case # _____
Aldermanic District _____
Plan Commission Date _____

1. Applicant information

Applicant name Kyle Bennehoff
Street address 158 W Main Street
City, state, zip code Lena, IL 61048
Daytime telephone number 815.369.9155
Email kylebennehoff@lingledesign.com

2. Agent contact information

Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Agent 1	Agent 2
Name	<u>Tim Dineen</u>	_____
Company	<u>Venture Construction</u>	_____
Street address	<u>2385 S 179th Street; Suite B</u>	_____
City, state, zip code	<u>New Berlin, WI 53146</u>	_____
Daytime telephone number	<u>262.439.8866</u>	_____
Email	<u>tim@vgcinc.com</u>	_____

3. Type of application (select one)

- ☐ New conditional use
- ☐ Yes ☐ No Are there any other current conditional use approvals for the property?
If yes, provide the year of issuance and a short description.

- ☒ An amendment of a previously approved conditional use

4. Subject property information

Physical address 1821 8th St S, Wisconsin Rapids, WI 54494 (Former Hardee's)

Parcel number(s) 3411790 226E20-NWNE-B-214

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

- ☒ No
☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

- ☒ No
☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> RR Rural Residential | <input type="checkbox"/> R-8 Manufactured Home Park | <input type="checkbox"/> M-1 General Industrial |
| <input type="checkbox"/> R-1 Single-family Residential | <input type="checkbox"/> B-1 Downtown Commercial | <input type="checkbox"/> M-2 Heavy Industrial |
| <input type="checkbox"/> R-2 Mixed Residential | <input checked="" type="checkbox"/> B-2 General Commercial | <input type="checkbox"/> I-1 Institutional |
| <input type="checkbox"/> R-3 Multi-family Medium Density Residential | <input type="checkbox"/> B-3 Neighborhood Commercial | <input type="checkbox"/> P-1 Park and Recreation |
| <input type="checkbox"/> R-4 Multi-family High Density Residential | <input type="checkbox"/> B-5 Mixed Use Commercial | <input type="checkbox"/> C-1 Conservancy |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> Planned Development (PDD) | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Floodplain |
| <input type="checkbox"/> Downtown Design | <input type="checkbox"/> Shoreland-Wetland | <input type="checkbox"/> Wellhead Protection |

6. Current use Describe the current use of the subject property.

Howe Elementary School is currently operating on the property.

7. Proposed use Describe the proposed conditional use or the proposed amendment.

No change. Howe Elementary School will continue to operate on the property.

8. Evaluation criteria The factors listed below will be used in evaluating this application. Your responses are important.

1. The size of the parcel on which the proposed use will occur.

6.89 Acres

2. The presence of and compatibility with other uses on the subject property if any.

No other uses are currently located on the property.

3. The location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses).

The proposed project is a secure entry addition onto the front of the Elementary School Building.

4. Effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site.

No change to current operations. Will improve the safety of the building with a newly configured secure entry.

5. The suitability of the subject property for the proposed use.

The site currently operates successfully as an Elementary School and there is no change in use being requested.

6. Effects of the proposed use on the natural environment.

The proposed addition has minimal impact to the natural environment. The project area is majority impervious currently.

7. Effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances.

No change.

8. Effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts.

No change.

9. Any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.

None.

9. Supplemental materials Attach the following to this application form.

- 1. A project map with the information listed in Appendix F of the zoning code.
- 2. Proposed construction plans (if applicable)
- 3. The letter you sent to the Alderperson for the district in which the project is located.

10. Attachments List any attachments included with your application.

Building Elevations of the new addition
Site Plans

11. Other information You may provide any other information you feel is relevant to the review of your application.

12. Mandatory meeting with staff

When did you meet with the Community Development Director?

Kyle Kearns, Phone/Email 9/2/21-9/3/21

Month/year

13. Applicant certification

- I understand that I, or any of my agents, may not discuss this application with any member of the Planning Commission or the Common Council until after a final decision is rendered.
- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Craig G. Broder
Name – print

[Signature]
Name – Signature

7/15/21
Date

Name – print

Name – Signature

Date

ord

209 south water street	milwaukee, wisconsin	53204
2310 crossroads drive	madison, wisconsin	53718
1900 main street	sarasota, florida	34236

intelligent designs. inspired results.

GENERAL

A075 ARCHITECTURAL SITE PLAN
A101A FIRST FLOOR DEMOLITION PLAN - AREA A
A201 OVERALL FIRST FLOOR PLAN
A201A FIRST FLOOR PLAN - AREA A
A220A ROOF PLAN - AREA A
A301A FIRST FLOOR REFLECTED CEILING PLAN - AREA A
A400 EXTERIOR ELEVATIONS, BUILDING SECTIONS AND WALL SECTIONS

PROJECT DATE:	07-29-21
PRA PROJECT NUMBER:	200013-09
DRAWING SET:	50% SCHEMATIC DESIGN SET

2018 WISCONSIN COMMERCIAL BUILDING CODE (SPS 38.1366)
2015 INTERNATIONAL EXISTING BUILDING CODE
2015 INTERNATIONAL EXISTING BUILDING CODE
EDUCATION OCCUPANCY GROUP E

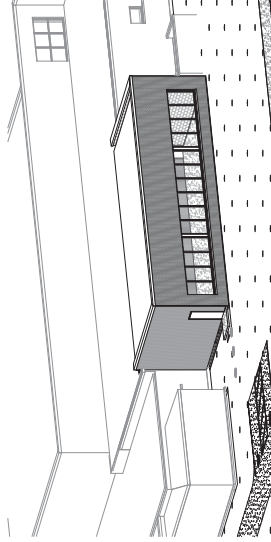
ZONING: QTY OF WISCONSIN RAPIDS ORDINANCES: INSTITUTIONAL 1-1

ADDITION & ALTERATION
TYPE OF CONSTRUCTION, UNPROTECTED, TYPE IIB - NON-SPRINKLERED

OVERALL FOOTPRINT		
EXISTING		53,715 SF
FIRST FLOOR		53,715 SF
SECOND FLOOR		19,030 SF
EXISTING TOTAL		72,745 SF
ADDITIONS		
FIRST FLOOR		1,728 SF
ADDITION TOTAL		1,728 SF
BUILDING TOTAL		74,473 SF
ALTERATIONS		
LEVEL 1 ALTERATION	4.8%	3,519 SF
ALTERATION TOTAL		3,519 SF

CONSTRUCTION MANAGER
MIRON CONSTRUCTION CO., INC.

ELECTRICAL
MSA PROFESSIONAL SERVICES, INC.



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PRA PROJECT # 200013-09



— EXITING ITEM TO REMAIN
 EXITING ITEM TO BE REMOVED
 ○ DEMOLITION PLANT & YOTE
 --- CONSTRUCTION LIMITS
 - - - MATOULINE
 ■ BEARING WALLS FIELD VERP

IONS OF EXISTING CONSTRUCTION MAY HAVE BEEN
IMED.

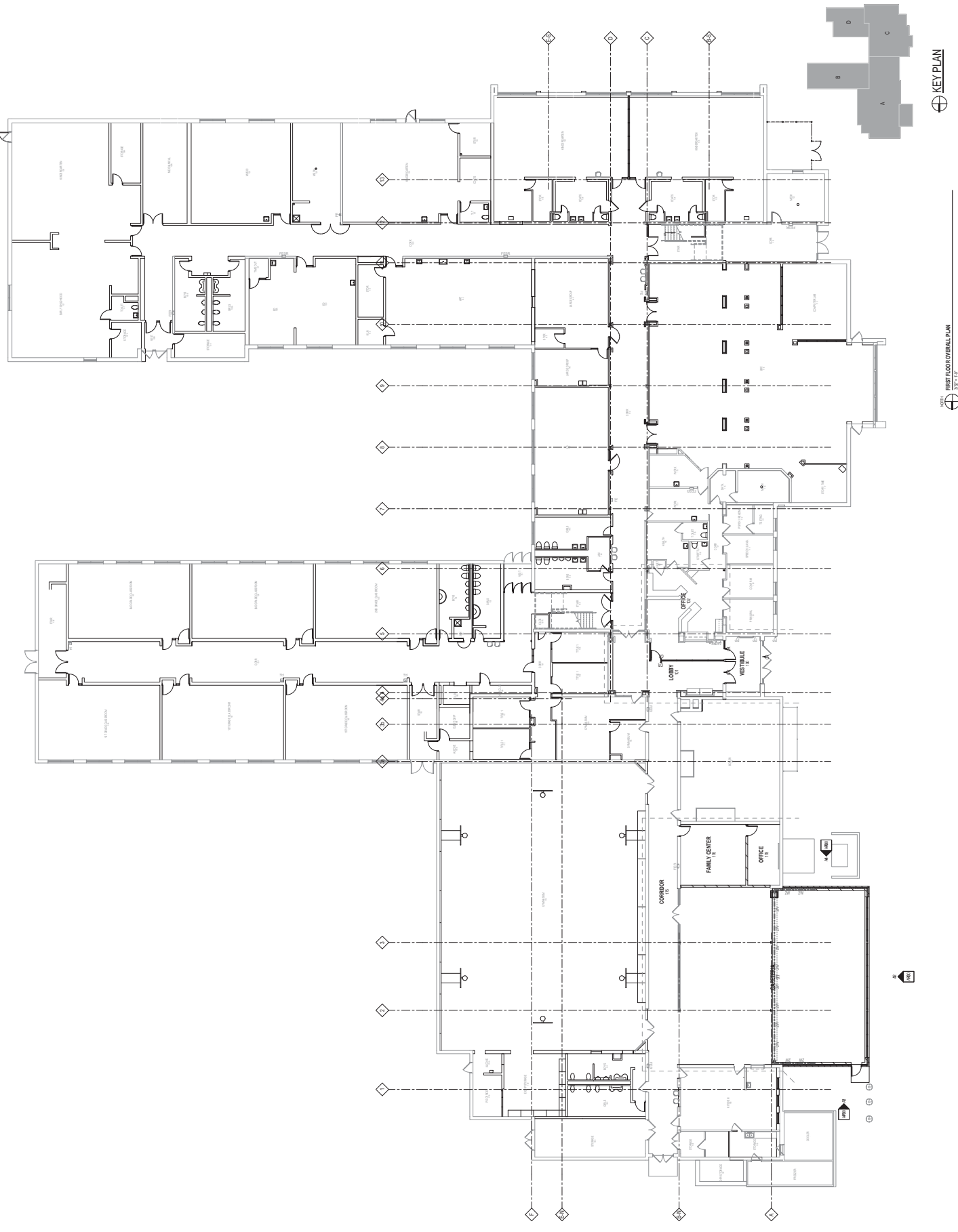
GYPSUM BOARD PLASTER CEILINGS WHERE NEW
FINISH SCHEDULE

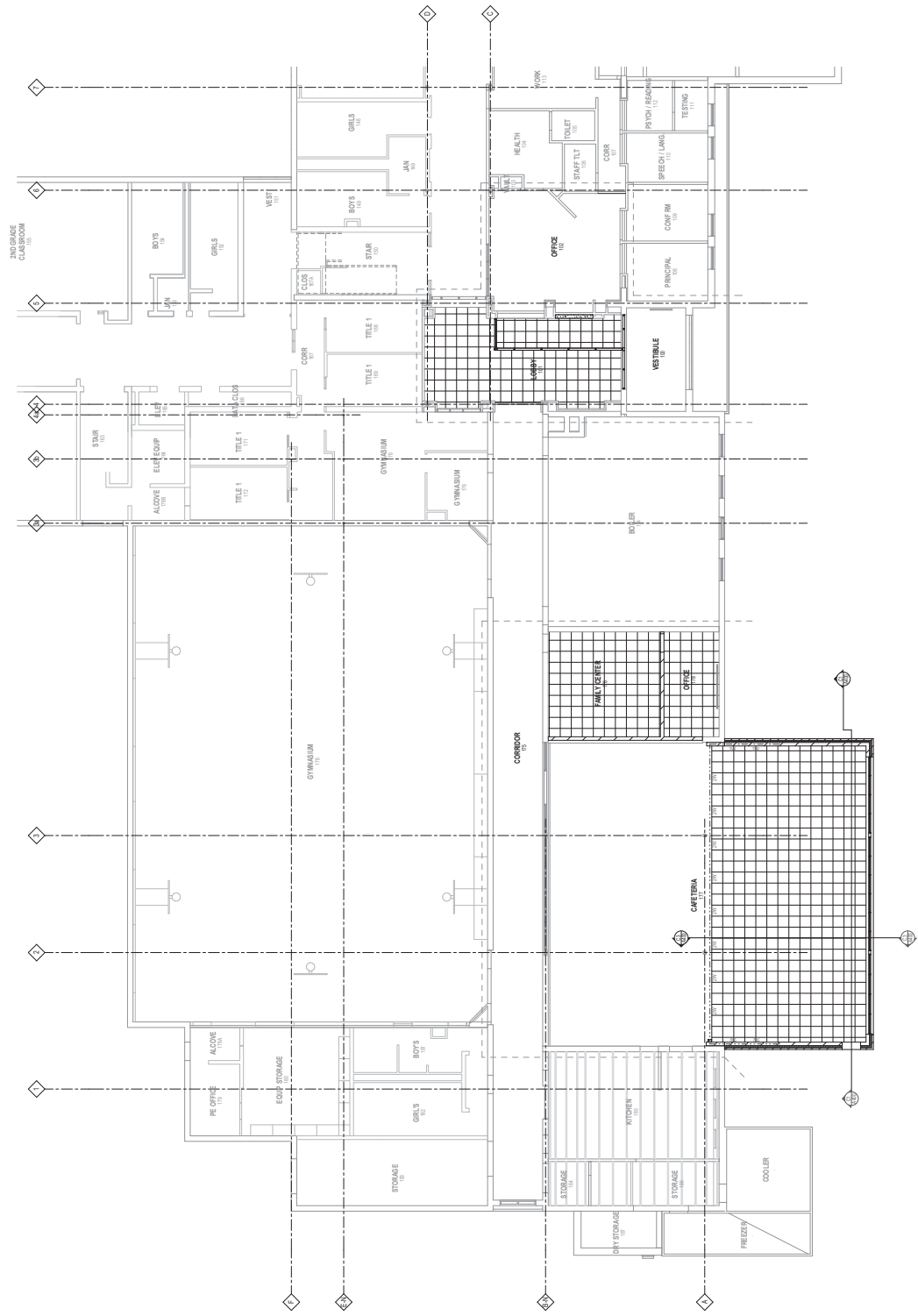
E. REMOVE ALL COLUMN TIE BARS, INCLUDING CORPUS BAR AND FLANGE BAR, FROM EXISTING STRUCTURAL COLUMNS.
 F. REMOVE ALL EXTERIOR WALL INCLUDING TIE BARS IN AREAS TO BE RELOCATED (REFER TO ROOMING PLAN SCHEDULE) INCLUDING BUT NOT LIMITED TO, CROWN TIE, EQUIPMENT, COUPLERS, TOLL UP/ATTACHERS, WALL HOOK STRIPS, HANDRAILS, CLOSE FOLDS, CHAIRS AND TACKS/COATS IN HALLS, WALLS AND CEILING TIE IN USE.
 G. REPORT TO PLUMBING, HVAC AND ELECTRICAL PLUMBERS ADDITIONAL DEVIATION/REVISIONS AND NOTES. COORDINATE WORK WITH PLUMBING, HVAC AND ELECTRICAL REQUIREMENTS.

1. COORDINATE DEMOLITION OF LOAD BEARING WALLS WITH STRUCTURAL PLANS.

DEMOLITION PLAN NOTES	
MARK	DESCRIPTION

DEMOLITION PLAN NOTES	
DATE	DESCRIPTION





REFLECTED CEILING PLAN NOTES	
MARK	DESCRIPTION

CEILING ASSEMBLIES		CONSTRUCTION DESCRIPTION
MARK		
1	CEILING	25 LAYING OUTLINE PANELS IS PROPOSED GRID SYSTEM BEING USED FROM STRUCTURE ABOVE
2	CEILING	1/2" MINIMUM SUFFICIENT EXTERIOR INSULATION SYSTEM IS BEING USED ON TOP OF SHAPING (EDT - PLYWOOD SHEATHING INFLUENCE OF COMPOUNDING THIS ONE) FOR FRAMING SYSTEM (EDT FOR THICKNESS)
3	CEILING	INTERIOR SUFFICIENT 5/8" COMPOUND BOARD SUFFICIENT ONE SYSTEM METAL SUPPORTS @ 16" OC W/ 1/2" OC

REFLECTED CEILING PLAN GENERAL NOTES

[illegible]

REFLECTED CEILING PLAN SYMBOLS LEGEND

2'0" X 4'0" BURNISHED ENDOSOL
 AND ACQUICOL CEILING TILE

2'0" X 2'0" BURNISHED ENDOSOL
 AND ACQUICOL CEILING TILE

GYP BOARD AND CEILING
 BURNISH

DIGITAL REFERENCE

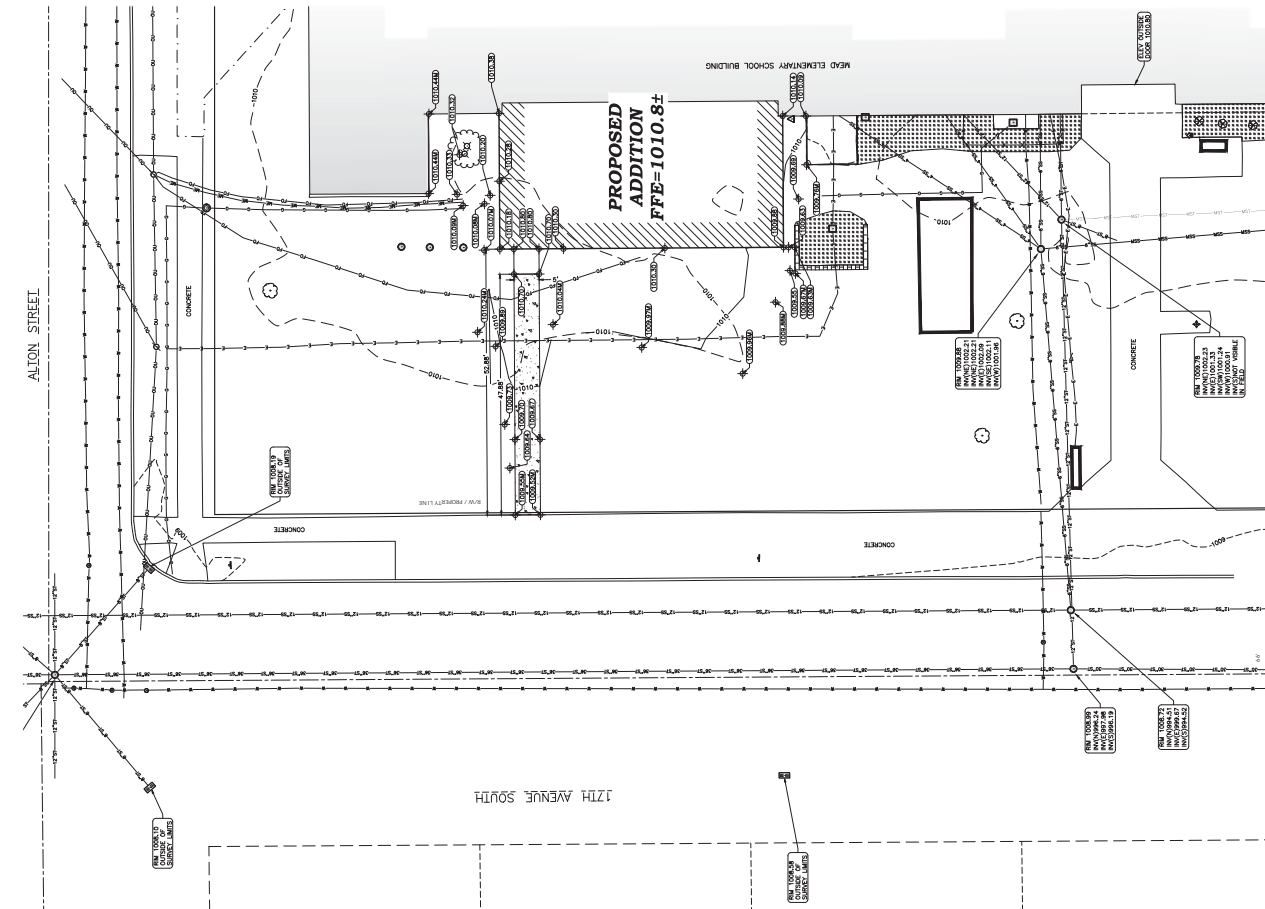
CEILING HOOT
 REFLECTED CEILING PLANK NOTE

CONSTRUCTION LIMITS

MATCHLINE

ONE HOUR RATED FIRE PARTITION

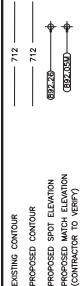
TWO HOUR RATED FIRE BARRIER



GENERAL NOTES:

- 1. CONTACT DODGE'S BEFORE STARTING ANY WORK PRIOR TO THE START OF DEMOLITION/CONSTRUCTION. THE DODGE'S WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
- 2. FINISH FLOOR ELEVATION OF 1000'0" SHALL BE MAINTAINED THROUGHOUT THE ENTIRE PROJECT.
- 3. VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

GRADING LEGEND:



PAVEMENT HATCH PATTERNS:



CONCRETE PAVEMENT

BENCHMARK:

ELEVATIONS ARE REFERENCED TO MGD AS DATUM. BENCHMARK IS LOCATED AT THE INTERSECTION OF 17TH AVENUE SOUTH AND ALTON STREET. ELEVATION = 1008.71.

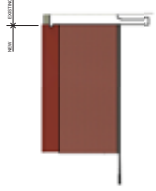
UTILITY DISCLAIMER:

THE LOCATION, SIZE, AND TYPE OF UNDERGROUND UTILITIES AND STRUCTURES ARE BASED ON THE INFORMATION PROVIDED BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

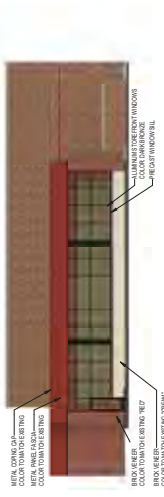


AXON - SOUTHEAST

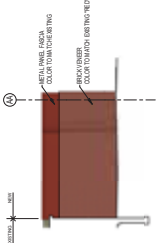
10' 0" 1:12
A1 SOUTH ELEVATION



10' 0" 1:12
A4 WEST ELEVATION



10' 0" 1:12
A3 NORTH ELEVATION



Administrative Staff Report

Conditional Use: Addition
Plan Commission Review
2911 Washington Street
September 29, 2021



<p>Applicant(s):</p> <ul style="list-style-type: none"> Wisconsin Rapids Public School District <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns, Director of Community Development <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3410239 <p>Lot Information:</p> <ul style="list-style-type: none"> Acreage: 30.93 <p>Zone(s):</p> <ul style="list-style-type: none"> "I-1" Institutional District <p>Council District:</p> <ul style="list-style-type: none"> District 4 <p>Master Plan:</p> <ul style="list-style-type: none"> Institutional <p>Current Use:</p> <ul style="list-style-type: none"> Institutional <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 - Zoning 	<p>Request</p> <p>PLAN-21-0968; Wisconsin Rapids Public School District – public hearing and action on a request for a conditional use permit amendment to construct an addition on Washington Elementary School at 2911 Washington Street (Parcel ID 3410239).</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Application Plans Renderings <p>Findings of Fact</p> <ol style="list-style-type: none"> The property is 30.93 acres in size and is utilized for the local area elementary school. The request is to add an addition onto the southern side of the school to expand the administrative and office area near the main entrance. The property is zoned "I-1" Institutional District Schools are a conditional use within the Institutional district; any changes to the site requires an amendment. <p>Staff Recommendation</p> <p>Approve the request from the applicant for a conditional use permit amendment to construct an addition on Washington Elementary School at 2911 Washington Street (Parcel ID 3410239), subject to the following conditions:</p> <ol style="list-style-type: none"> A landscaping plan shall be submitted, meeting applicable requirements, to be reviewed and approved by the Community Development Department. Any exterior lighting shall be cut-off fixtures or equivalent. Lighting from the development shall not exceed 0.1 foot-candles at neighboring residential property lines Applicable building and stormwater permits, state and local, shall be obtained. Minor modifications to the plan shall be permitted to be reviewed and approved by the Community Development Department.
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Vicinity Map



Background

The Wisconsin Rapids Area Public School District is requesting an addition in order to expand administration and offices, adjacent to the main entrance at Washington Elementary. The elementary school is a considered a conditional use within the Institutional zoning district and would require review an approval for the addition.

The conditional use permit standards of review are analyzed below, and more information can be found within the attached application and plans.



Conditional Use Permit Standards of Review

11.05.55 Basis of decision

Generally. When reviewing conditional uses other than nonconforming conditional uses, the review authority shall consider the following factors:

1) the size of the parcel on which the proposed use will occur;

Analysis: The property is currently being utilized for an elementary school, which includes outdoor recreational activities. The addition is proposed on the south side of the building near the main entrance vestibule. The proposed improvements assist in provided a more secure entry point to the school and expand the administrative and office area.

Findings: The school property is large at over 30 acres, much of which is devoted to outdoor recreational uses. The addition onto the south side of the building, should not be detrimental to the use, as it is almost an infill of space between the building.

2) the presence of and compatibility with other uses on the subject property, if any;

Analysis: The school use and any accessory recreational uses already exist on the property.

Findings: The proposed improvements should not increase, change, or impact traffic, pedestrian access, or other uses. Furthermore, they should, compliment the school use and should not be detrimental to such use.

3) the location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses);

Analysis: See the above analysis and findings. The proposed improvements will occur on the south side of the building, in an area that currently is improved surface. Multi-family uses exist to the west, across 28th Street North, and single-family uses to the south, along Washington Street. It is important to note that the southern building façade is setback hundreds of feet from the right-of-way.

Findings: While the addition will expand the building, it should not negatively affect the adjacent property as it will remain setback several hundred feet and somewhat acts as infill between existing portions of the building. Additionally, the improvements will significantly improve the building aesthetics, and create more security for the school.

4) effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;

Analysis: See analysis and findings above regarding the addition location and facility security. City sidewalk and internal sidewalks will remain to allow pedestrians to transect through the site. Vehicle parking, including for buses and drop-off will remain similar to its existing configuration.

Findings: Traffic should not negatively be impacted by the addition nor pedestrian access and accommodations.

5) the suitability of the subject property for the proposed use;

Analysis: See the above standards regarding lot size and other site specifics. The applicant has described the use further within the submittals.

Findings: The addition will improve the level of service for the school administration and security, as well as the aesthetics of the building.

6) effects of the proposed use on the natural environment;

Analysis: The addition is proposed within an improved space, currently hard surfaced and used for outdoor seating.

Findings: Additional building foundation landscaping will be required, to be placed around the addition. Staff would recommend all stormwater requirements, state and local, be met as well.

- 7) effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances;

Analysis: See the above analysis'. Again, the use already exists on the property, but would be expanded.

Findings: The use is on a property where it already occurs, and the improvements should not increase the intensity of the use. Furthermore, the building is significantly setback from adjacent roadways, which should assist in lessening any impact to surrounding uses.

- 8) effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts; and

Analysis: The surrounding area is fully developed.

Findings: The building addition should not impede the normal development and improvement of the surrounding area.

- 9) any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.

Analysis: Notices regarding the request were sent to neighbors within a 300-foot boundary of the property.

Findings: Concerned citizens can attend the meeting and provide input at the public hearing. Some citizens have contacted our office inquiring further information about the project.

Site Plan & Architectural Standards of Review

1) Use

Analysis: A school is a conditional use within the I-1 Institutional District.

Findings: See the Conditional Use Permit standards above. Note that a building plan – architectural review (AR), plan of operation (PO), site plan review (SP), and zoning permit (ZP) are required for nonresidential accessory structures.

2) Dimensional Standards

Analysis: The I-1 district requires 30,000 square feet, and the lot is nearly 31 acres. Building setbacks for the addition appear to meet the minimums (25-foot street and 10-foot side and rear). The building coverage ratio and impervious surface ratio are unknown, but it appears they are evidently met given the size of the site.

Findings: The applicable dimensional standards appear to be met.

3) Ingress/Egress

Analysis: No changes to ingress/egress are proposed.

Findings: Driveway standards are met, as the addition does not change ingress/egress to the site.

4) Parking

Analysis: The proposed development doesn't include any changes to the parking on site. The following parking is required for the use:

Parking Requirements: 0.5 space for each (k-8) classroom; plus 1 space for each employee on the largest work shift.

Findings: As the addition will not affect enrollment or staffing, no additional parking shall be required based on the standards above.

5) Landscaping

Analysis: The addition may slightly increase the building foundation planting requirements below:

*11.16.43 Building foundation landscape requirements (a) Minimum amount required. A minimum of 40 landscape points shall be provided on a prorated basis for every 100 feet of building foundation perimeter. For example, a building with a perimeter of 180 feet must provide a minimum of 72 landscape points $((180/100)*40)=72$*

Findings: A landscaping plan has not been submitted. The total building foundation length for the addition is 61 feet, meaning 25 landscape points would be required. Staff would recommend the applicant submit a landscaping plan which identifies required plantings, to be reviewed and approved by the Community Development Department.

6) Architectural Review

Analysis: The proposed addition has similar materials, brick and glass, found on the principal building. Additionally, a metal panel soffit and fascia band is proposed, matching the existing building.



Findings: The design and architecture of the addition will match the existing building well. The overall appearance will blend seamlessly into the façade, given the infill type design. It should appear as if the addition was originally constructed with the building. Again, the addition will blend with the colors of the existing building and fit within the character of the facility.

7) Lighting & Photometric Plan

Analysis: A lighting and photometric plan have not been submitted.

Findings: No exterior lighting is shown on the façade. A lighting plan may not be necessary for the improvement as the addition faces south, several hundred feet from the right-of-way. However, staff would still recommend any exterior lighting be cut-off lighting fixtures or equivalent and any light from the development shall not exceed 0.1 foot-candles at neighboring residential property lines.

In summary, the proposed use should not be detrimental to the neighborhood and seems appropriate for the area and property, as it is not a substantial change to the existing use. Furthermore, the intensity of the use is not increasing, rather the security to the facility is improving as well as the administrative capabilities. Again, while the physical size of the building is increasing, ingress/egress and parking remain unaffected. Upon review, staff would recommend approving the conditional use permit amendment to construct an addition at Washington Elementary School as proposed, subject to the conditions outlined on page 1.



Conditional Use Application

City of Wisconsin Rapids, Wisconsin

Version: January 3, 2019

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The City's zoning regulations identify land uses that may be allowed in each of the zoning districts either by right or as a conditional use. By definition, a conditional use is a land use that may or may not be appropriate on a given parcel depending on a wide range of factors that relate to the proposed use and the particular circumstances relating to the parcel and surrounding properties. Conditional uses are therefore considered on a case-by-case basis. As part of the review process, the Planning Commission and Common Council conduct a joint public hearing to solicit input from the general public and other interested parties. When reviewing conditional use applications, the Planning Commission serves in an advisory capacity to the Common Council, which makes the final decision. The recommendation of the Planning Commission and the decision of the Village Board are based on the evidence and testimony received as part of the application and through the public hearing process.

If you submit an application, do not contact any member on the Planning Commission or the Common Council until after a final decision has been made.

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

Application fee: \$250.00 for principal and accessory uses; \$100.00 for temporary uses and \$50.00 for administrative renewals

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Aldersperson notification Before you submit your application, you will need to send a letter to the Aldersperson of the district of where the request is taking place, explaining the request. Please attach the notification letter with your application materials.

Office Use Only

Date Received _____
Received By _____
Fee _____
Case # _____
Aldermanic District _____
Plan Commission Date _____

1. Applicant information

Applicant name Kyle Bennehoff
Street address 158 W Main Street
City, state, zip code Lena, IL 61048
Daytime telephone number 815.369.9155
Email kylebennehoff@lingledesign.com

2. Agent contact information

Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

	Agent 1	Agent 2
Name	<u>Tim Dineen</u>	_____
Company	<u>Venture Construction</u>	_____
Street address	<u>2385 S 179th Street; Suite B</u>	_____
City, state, zip code	<u>New Berlin, WI 53146</u>	_____
Daytime telephone number	<u>262.439.8866</u>	_____
Email	<u>tim@vgcinc.com</u>	_____

3. Type of application (select one)

- ☐ New conditional use
- ☐ Yes ☐ No Are there any other current conditional use approvals for the property?
- If yes, provide the year of issuance and a short description.

- ☒ An amendment of a previously approved conditional use

4. Subject property information

Physical address 1821 8th St S, Wisconsin Rapids, WI 54494 (Former Hardee's)

Parcel number(s) 3411790 226E20-NWNE-B-214

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

- ☒ No
- ☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

- ☒ No
- ☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> RR Rural Residential | <input type="checkbox"/> R-8 Manufactured Home Park | <input type="checkbox"/> M-1 General Industrial |
| <input type="checkbox"/> R-1 Single-family Residential | <input type="checkbox"/> B-1 Downtown Commercial | <input type="checkbox"/> M-2 Heavy Industrial |
| <input type="checkbox"/> R-2 Mixed Residential | <input checked="" type="checkbox"/> B-2 General Commercial | <input type="checkbox"/> I-1 Institutional |
| <input type="checkbox"/> R-3 Multi-family Medium Density Residential | <input type="checkbox"/> B-3 Neighborhood Commercial | <input type="checkbox"/> P-1 Park and Recreation |
| <input type="checkbox"/> R-4 Multi-family High Density Residential | <input type="checkbox"/> B-5 Mixed Use Commercial | <input type="checkbox"/> C-1 Conservancy |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> Planned Development (PDD) | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Floodplain |
| <input type="checkbox"/> Downtown Design | <input type="checkbox"/> Shoreland-Wetland | <input type="checkbox"/> Wellhead Protection |

6. Current use Describe the current use of the subject property.

Howe Elementary School is currently operating on the property.

7. Proposed use Describe the proposed conditional use or the proposed amendment.

No change. Howe Elementary School will continue to operate on the property.

8. Evaluation criteria The factors listed below will be used in evaluating this application. Your responses are important.

1. The size of the parcel on which the proposed use will occur.

6.89 Acres

2. The presence of and compatibility with other uses on the subject property if any.

No other uses are currently located on the property.

3. The location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses).

The proposed project is a secure entry addition onto the front of the Elementary School Building.

4. Effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site.

No change to current operations. Will improve the safety of the building with a newly configured secure entry.

5. The suitability of the subject property for the proposed use.

The site currently operates successfully as an Elementary School and there is no change in use being requested.

6. Effects of the proposed use on the natural environment.

The proposed addition has minimal impact to the natural environment. The project area is majority impervious currently.

7. Effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances.

No change.

8. Effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts.

No change.

9. Any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.

None.

9. Supplemental materials Attach the following to this application form.

- 1. A project map with the information listed in Appendix F of the zoning code.
- 2. Proposed construction plans (if applicable)
- 3. The letter you sent to the Alderperson for the district in which the project is located.

10. Attachments List any attachments included with your application.

Building Elevations of the new addition
Site Plans

11. Other information You may provide any other information you feel is relevant to the review of your application.

12. Mandatory meeting with staff

When did you meet with the Community Development Director?

Kyle Kearns, Phone/Email 9/2/21-9/3/21

Month/year

13. Applicant certification

- I understand that I, or any of my agents, may not discuss this application with any member of the Planning Commission or the Common Council until after a final decision is rendered.
- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Craig G. Broder
Name – print

[Signature]
Name – Signature

7/15/21
Date

Name – print

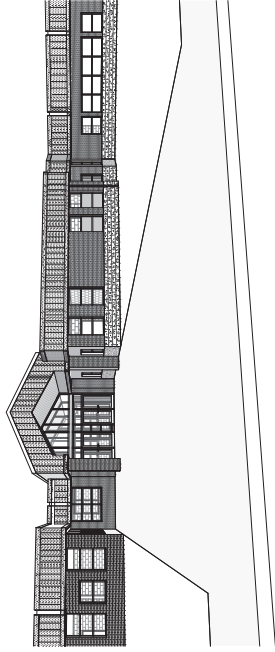
Name – Signature

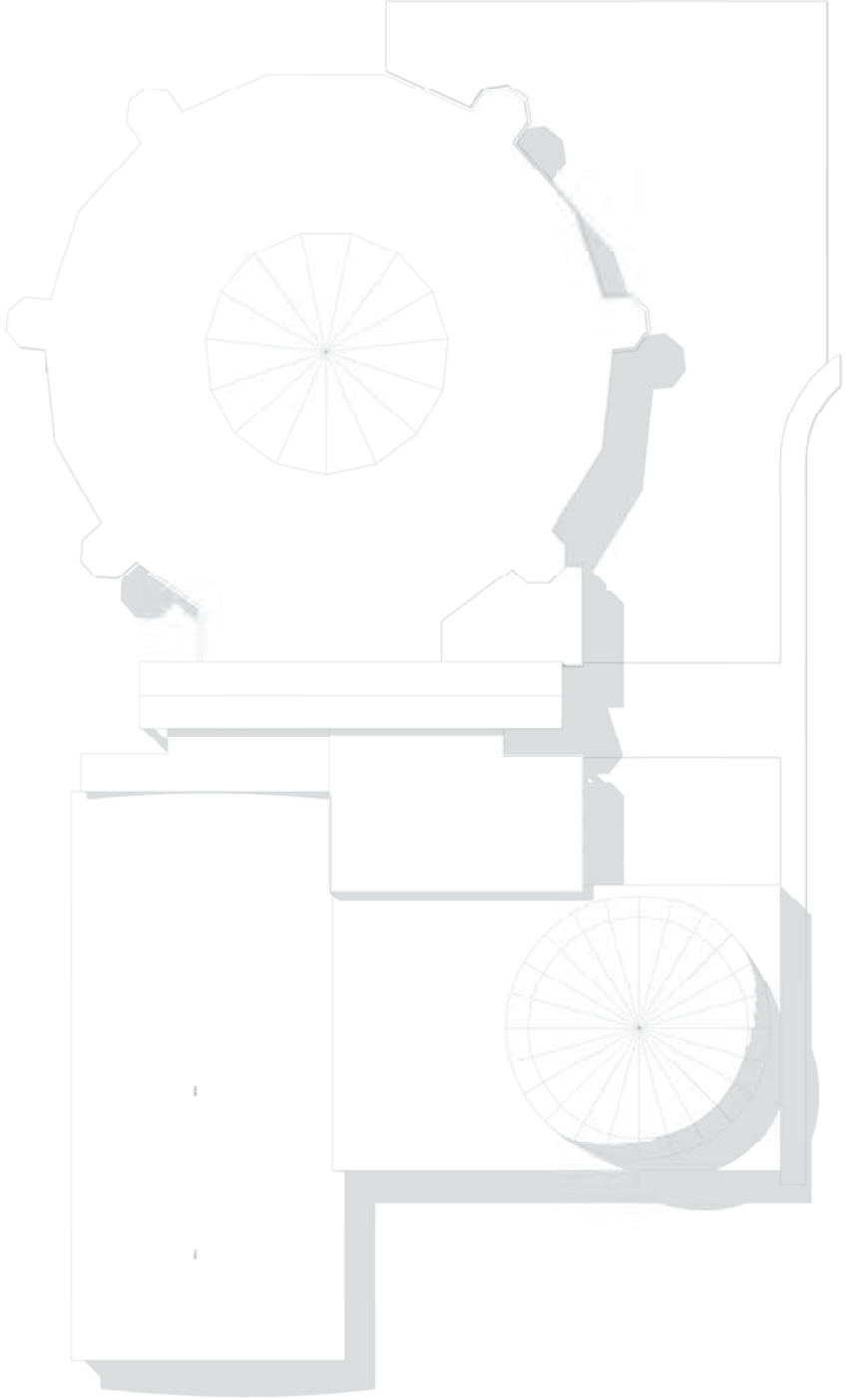
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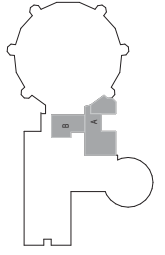
intelligent designs. inspired results.



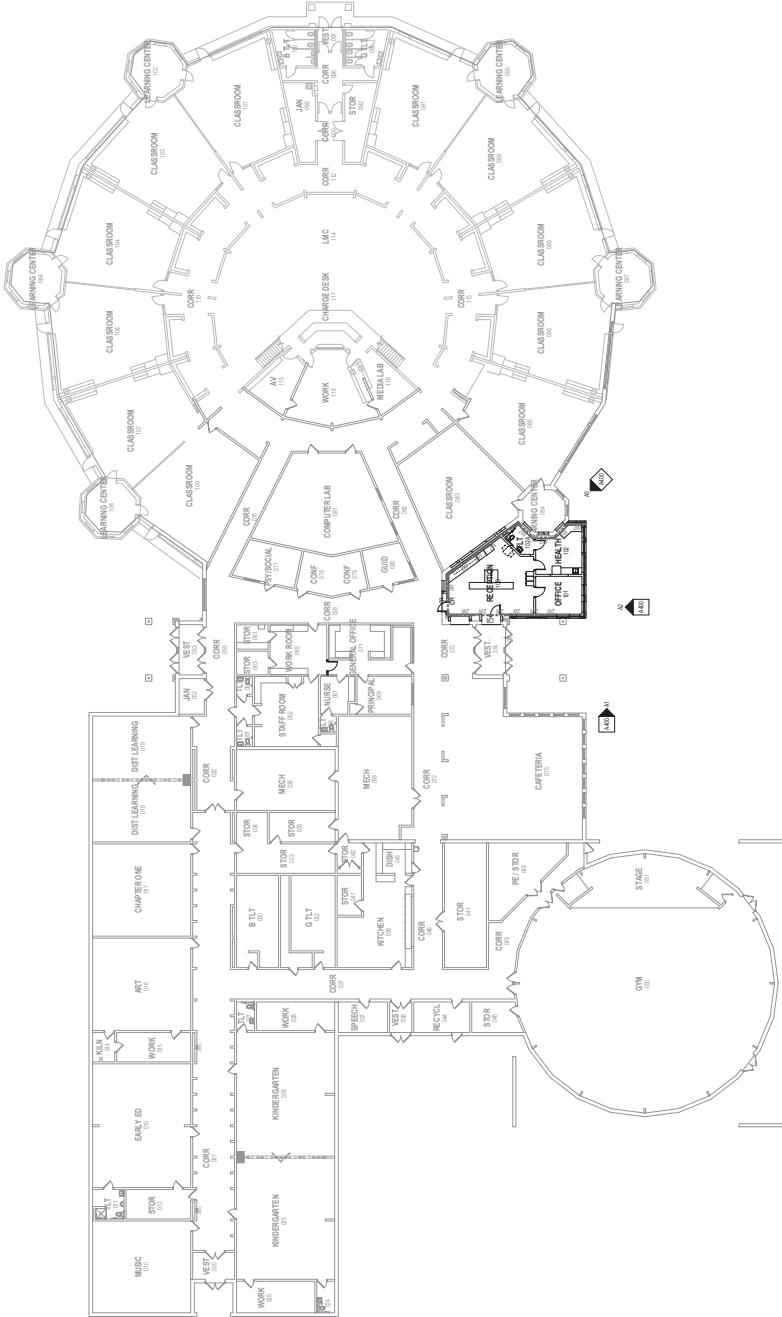


KEY PLAN

OVERALL FIRST FLOOR PLAN
1/8" = 1'-0"



NOT FOR CONSTRUCTION
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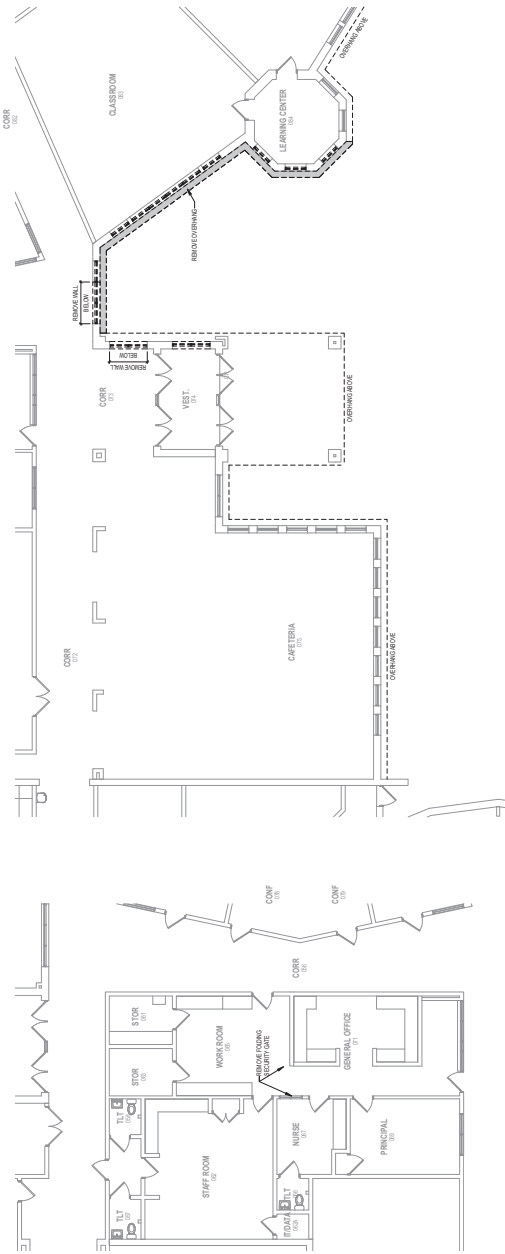


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	EXISTING WALLS TO BE REMOVED		OBLIGATION KEYNOTE
			CONSTRUCTION LIMITS
			MATCHLINE
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	EXISTING DOOR TO BE REMOVED		

DEMOLITION PLAN - GENERAL NOTES

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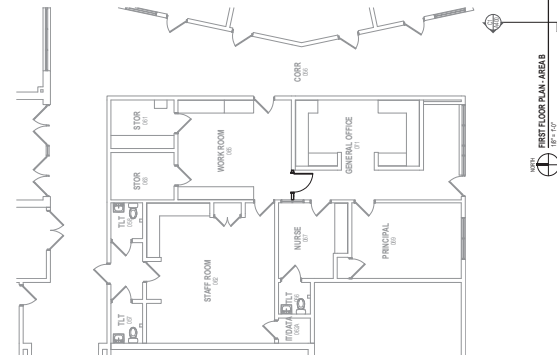
DEMOLITION PLAN NOTES	
MARK	DESCRIPTION



NORTH

FIRST FLOOR DEMOLITION PLAN - AREA B

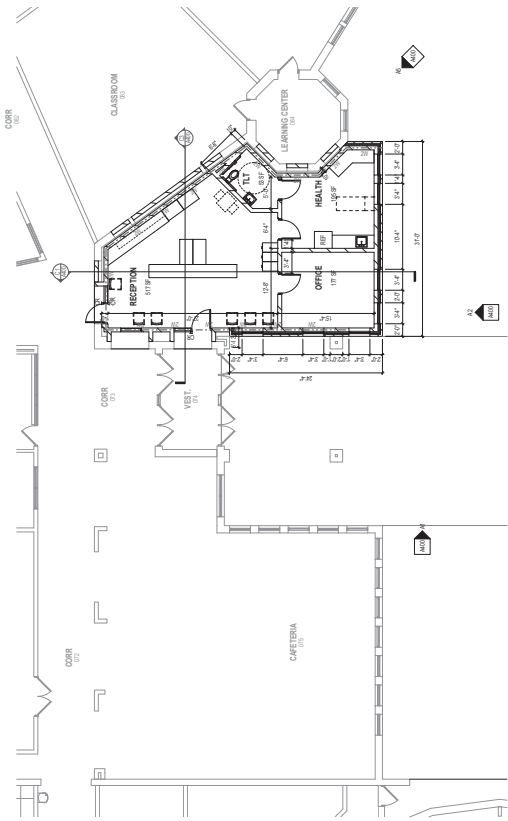
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NORTH

FIRST FLOOR PLAN - AREA B

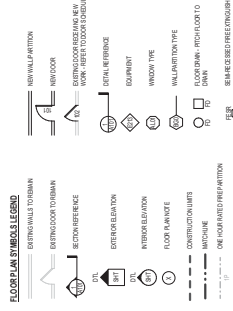
1/8" = 1'-0"



NORTH

FIRST FLOOR PLAN - AREA A

1/8" = 1'-0"



FLOOR PLAN GENERAL NOTES

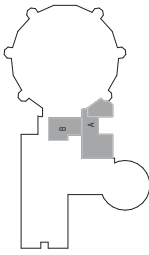
- FLOOR PLAN GENERAL NOTES**
- A. DIMENSIONS OF FLOOR AREAS ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).
 - B. VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. PORTIONS OF EXISTING CONSTRUCTION MAY HAVE BEEN REMOVED BY OWNER.
 - C. MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY HIS WORK. COORDINATE WITH OWNER AND OBTAIN PERMITS IN SERVICE REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING CONSTRUCTION OF ANY ASSOCIATED EQUIPMENT.
 - D. CONTRACTOR TO VERIFY FLOOR TO FLOOR HEIGHTS.

GYPSUM BOARD PARTITIONS GENERAL NOTES

- A. ALL OF THE ABOVE PARTITIONS SHALL BE EVIDENCE OF TENANTS (NOTED ON FLOOR PLAN).
- B. OBTAINING PERMITS (UNLESS) ON FLOOR PLAN ARE BASED ON A FLOOR FINISHED PARTITION TO FACE OF FINISHED PARTITION (UNLESS).
- C. REFER TO THE BUILDING CODES FOR LOCATION AND TYPES OF PARTITION MATERIAL REQUIRED.
- D. PROVIDE FINISHED PARTITION BOND AS ALL PARTS TO PARTITIONS.
- E. SEAL ALL JOINTS AND PARTITIONS AT PERMITTER'S DISCRETION ALL PARTS TO PARTITIONS.
- F. FILL IN ALL JOINTS AND PARTITIONS ALL JOINTS TO AVERAGE OF 1/8" (SEE SECTION 4. PARTITION CONSTRUCTION AND FINISHES) AND 1/8" JOINTS TO TOP OF PARTITION AND UNDESIRABLE OF PARTITION, STRUCTURAL STEEL MEMBER MUST BE JOINED TO TOP.
- G. TOP OF PARTITION AND PARTITION SHALL FINISH-EDGES REFER TO FLOOR LINES AND PARTITION CONSTRUCTION AND FINISHES.
- H. TOP OF PARTITION AND PARTITION SHALL FINISH-EDGES REFER TO FLOOR LINES AND PARTITION CONSTRUCTION AND FINISHES.

MASONRY PARTITIONS GENERAL NOTES

4. MAJORITY PARTITIONS INDICATED IN THE FOLLOWING INTO PATTERN: 
5. ALL WORKING PARTITIONS SHALL BE OF CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO LLOOR PLAN FOR PARTITION THICKNESS.
6. PROVIDE UNLINED CONCRETE BLOCK AT ALL PREPARED PARTITIONS.
7. SEAL ALL WALL PENETRATIONS PER PERMITS AND PREPARE ALL RATED PARTITIONS.
8. EXISTING CONCRETE PARTITIONS SHALL BECAUSE TO REMAIN. IN CASE OF A PARTITION BEING REMOVED, ALL EXISTING PARTITIONS SHALL BE REMOVED AND NEW PARTITIONS SHALL BE CONSTRUCTED. CHANGES FOR VERTICAL AND/OR HORIZONTAL REQUIREMENTS AS NOTED VERTICALLY. REFER TO STRUCTURAL CHANGES FOR VERTICAL AND/OR HORIZONTAL REQUIREMENTS.



KEY PLAN

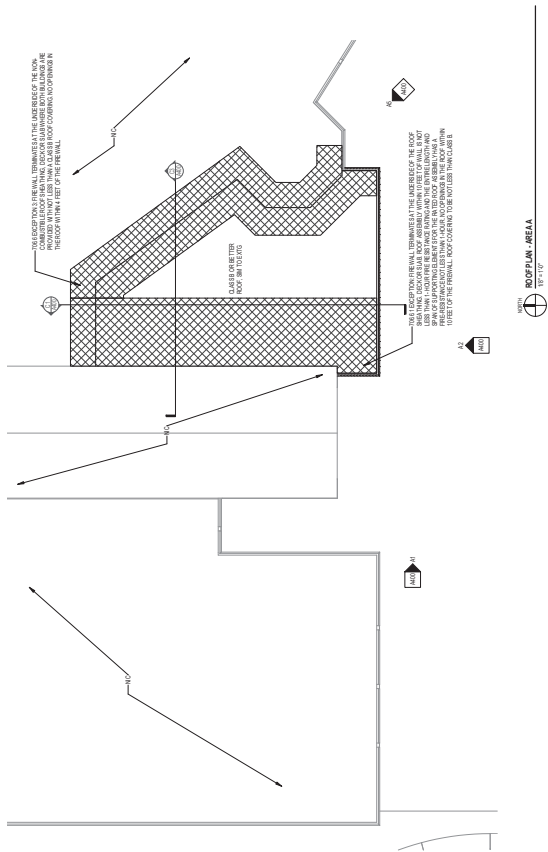
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INTERIOR PARTITION TYPES				
MARK	ASSEMBLY DESCRIPTION	FIRE RATING	UL	INSULATION
800	5" GYPSUM STUD @ 16" OC 2"X6 LVL @ 48" COM. LONG @ EACH FACE		1-H	5-17 SOUND
810	2" GYPSUM STUD @ 16" OC 2"X6 LVL @ 48" COM. LONG @ EACH FACE		1-H	5-17 SOUND
820	2" GYPSUM STUD @ 16" OC 2"X6 LVL @ 48" COM. LONG @ EACH FACE		1-H	5-17 SOUND
830	2" GYPSUM STUD @ 16" OC 2"X6 LVL @ 48" COM. LONG @ EACH FACE		1-H	5-17 SOUND
840	2" GYPSUM STUD @ 16" OC 2"X6 LVL @ 48" COM. LONG @ EACH FACE		1-H	5-17 SOUND
850	2" GYPSUM STUD @ 16" OC 2"X6 LVL @ 48" COM. LONG @ EACH FACE		1-H	5-17 SOUND
860	2" GYPSUM STUD @ 16" OC 2"X6 LVL @ 48" COM. LONG @ EACH FACE		1-H	5-17 SOUND
870	2" GYPSUM STUD @ 16" OC 2"X6 LVL @ 48" COM. LONG @ EACH FACE		1-H	5-17 SOUND
880	2" GYPSUM STUD @ 16" OC 2"X6 LVL @ 48" COM. LONG @ EACH FACE		1-H	5-17 SOUND
890	2" GYPSUM STUD @ 16" OC 2"X6 LVL @ 48" COM. LONG @ EACH FACE		1-H	5-17 SOUND
900	2" GYPSUM STUD @ 16" OC 2"X6 LVL @ 48" COM. LONG @ EACH FACE		1-H	5-17 SOUND
910	2" GYPSUM STUD @ 16" OC 2"X6 LVL @ 48" COM. LONG @ EACH FACE		1-H	5-17 SOUND
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990	2" GYPSUM STUD @ 16" OC 2"X6 LVL @ 48" COM. LONG @ EACH FACE		1-H	5-17 SOUND











FLOOR PLAN NOTES	
MARK	DESCRIPTION



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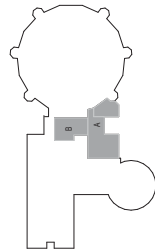


KEY TO AN SYMBOLS LEGEND

	DIRECTION OF TRUCK DRAIN SLOPE TO DRAIN
	DIRECTION OF INSULATION THINER SLOPE TO DRAIN
	DETAILED REFERENCE
	TAPERED INSULATION VALLEY OR RIDGE
	ROOF DRAIN OVER/UNDER DRAIN
	TAPERED INSULATION THICKNESS
	LOCATION OF CONCRETE PANEL FLEXIBLE BOUNDARY
	ROOF DRAIN NOTE
	CONSTRUCTION LIMITS
	MATCH LINE

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MARK		DESCRIPTION
ROOF PLAN NOTES		



REFLECTED CEILING PLAN NOTES	
MARK	DESCRIPTION

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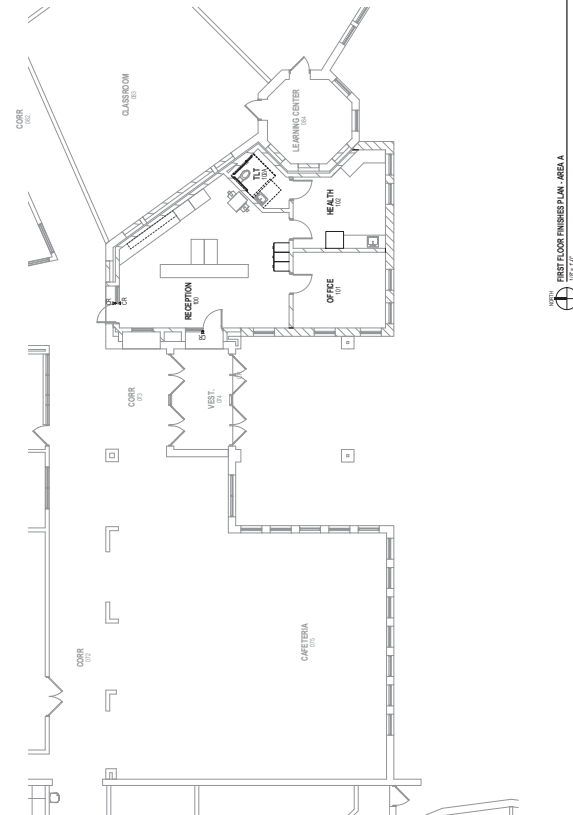
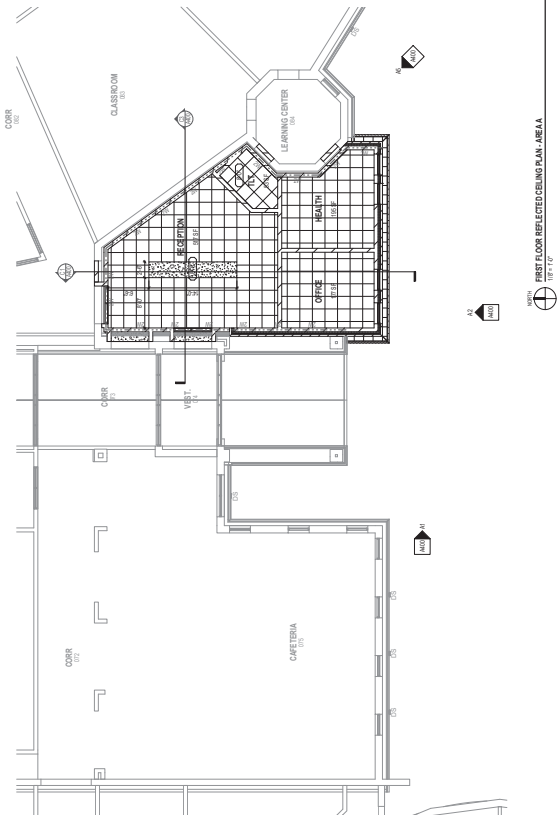

 DETAIL REFERENCE

ASSEMBLY	ONE HOUR RATED FIRE PARTITION	TWO HOUR RATED FIRE BARRIER
1	1	2

REFLECTED CEILING PLAN SYMBOLS LEGEND

	2'0" x 4'0" SUSPENDED EXPOSED GRID ACOUSTIC CEILING TILE		2'0" x 2'0" SUSPENDED EXPOSED GRID ACOUSTIC CEILING TILE
	CEILING HEIGHT		REFLECTED CEILING PLAN NOTE
	CONSTRUCTION LIMITS		

FLOOR FINISH PLAN NOTES	
MARK	DESCRIPTION



FLOOR PATTERN PLAN - SYMBOLS LEGEND

FLOOR PATTERN PLAN - GENERAL NOTES

REFLECTED CEILING PLAN GENERAL NOTES

C. REMOVING EXISTING CEILING SYSTEM WHERE NEW WALLS

THE MAP-CONTROL MOUNTED EQUIPMENT IS SHOWN FOR REFERENCE.

MAXX	CONST

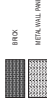
C15	INTERIOR SCOFFIT; 54" OF PAINTEDWOOD SCOFFIT ON OC
-----	--

MARK	REFLECTED CUB

EXTENSOR ELEVATION'S SYMBOLS LEGEND

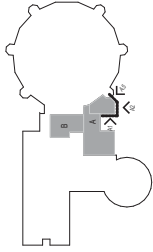


EXTERIOR FINISH PATTERNS

EXTERIOR ELEVATIONS GENERAL NOTES

- A. PAINT ALL EXPOSED STEEL UNTILS TO MATCH ADJACENT WAREHOUSE COLOR.
B. TRIM ALL EXTERIOR LIGHTING FIXTURES, OUTLETS, HOSES BEES AND ALL OTHERS TO MEET FINISH ONE WITH 15M
PER MINIMUM TIME (15M).
C. REFER TO SHEET A-601 FOR WINDOW FRAME INSTALLATIONS
D. SEALANT COLORS TO MATCH ADJACENT FINISHED SURFACES.
E. FLOOR CEMENT COLOR TO BE REDWOOD STAIN.

EXTERIOR ELEVATION NOTES



KEY PLAN

EXTERIOR WALL TYPES

[illegible]

<p> 1. NAME 2. ADDRESS 3. CITY 4. STATE 5. ZIP 6. PHONE 7. FAX 8. E-MAIL 9. WEBSITE 10. DATE 11. SIGNATURE 12. PRINTED NAME 13. DATE 14. SIGNATURE 15. PRINTED NAME 16. DATE 17. SIGNATURE 18. PRINTED NAME 19. DATE 20. SIGNATURE 21. PRINTED NAME 22. DATE 23. SIGNATURE 24. PRINTED NAME 25. DATE 26. SIGNATURE 27. PRINTED NAME 28. DATE 29. SIGNATURE 30. PRINTED NAME 31. DATE 32. SIGNATURE 33. PRINTED NAME 34. DATE 35. SIGNATURE 36. PRINTED NAME 37. DATE 38. SIGNATURE 39. PRINTED NAME 40. DATE 41. SIGNATURE 42. PRINTED NAME 43. DATE 44. SIGNATURE 45. PRINTED NAME 46. DATE 47. SIGNATURE 48. PRINTED NAME 49. DATE 50. SIGNATURE 51. PRINTED NAME 52. DATE 53. SIGNATURE 54. PRINTED NAME 55. DATE 56. SIGNATURE 57. PRINTED NAME 58. DATE 59. SIGNATURE 60. PRINTED NAME 61. DATE 62. SIGNATURE 63. PRINTED NAME 64. DATE 65. SIGNATURE 66. PRINTED NAME 67. DATE 68. SIGNATURE 69. PRINTED NAME 70. DATE 71. SIGNATURE 72. PRINTED NAME 73. DATE 74. SIGNATURE 75. PRINTED NAME 76. DATE 77. SIGNATURE 78. PRINTED NAME 79. DATE 80. SIGNATURE 81. PRINTED NAME 82. DATE 83. SIGNATURE 84. PRINTED NAME 85. DATE 86. SIGNATURE 87. PRINTED NAME 88. DATE 89. SIGNATURE 90. PRINTED NAME 91. DATE 92. SIGNATURE 93. PRINTED NAME 94. DATE 95. SIGNATURE 96. PRINTED NAME 97. DATE 98. SIGNATURE 99. PRINTED NAME 100. DATE 101. SIGNATURE 102. PRINTED NAME 103. DATE 104. SIGNATURE 105. PRINTED NAME 106. DATE 107. SIGNATURE 108. PRINTED NAME 109. DATE 110. SIGNATURE 111. PRINTED NAME 112. DATE 113. SIGNATURE 114. PRINTED NAME 115. DATE 116. SIGNATURE 117. PRINTED NAME 118. DATE 119. SIGNATURE 120. PRINTED NAME 121. DATE 122. SIGNATURE 123. PRINTED NAME 124. DATE 125. SIGNATURE 126. PRINTED NAME 127. DATE 128. SIGNATURE 129. PRINTED NAME 130. DATE 131. SIGNATURE 132. PRINTED NAME 133. DATE 134. SIGNATURE 135. PRINTED NAME 136. DATE 137. SIGNATURE 138. PRINTED NAME 139. DATE 140. SIGNATURE 141. PRINTED NAME 142. DATE 143. SIGNATURE 144. PRINTED NAME 145. DATE 146. SIGNATURE 147. PRINTED NAME 148. DATE 149. SIGNATURE 150. PRINTED NAME 151. DATE 152. SIGNATURE 153. PRINTED NAME 154. DATE 155. SIGNATURE 156. PRINTED NAME 157. DATE 158. SIGNATURE 159. PRINTED NAME 160. DATE 161. SIGNATURE 162. PRINTED NAME 163. DATE 164. SIGNATURE 165. PRINTED NAME 166. DATE 167. SIGNATURE 168. PRINTED NAME 169. DATE 170. SIGNATURE 171. PRINTED NAME 172. DATE 173. SIGNATURE 174. PRINTED NAME 175. DATE 176. SIGNATURE 177. PRINTED NAME 178. DATE 179. SIGNATURE 180. PRINTED NAME 181. DATE 182. SIGNATURE 183. PRINTED NAME 184. DATE 185. SIGNATURE 186. PRINTED NAME 187. DATE 188. SIGNATURE 189. PRINTED NAME 190. DATE 191. SIGNATURE 192. PRINTED NAME 193. DATE 194. SIGNATURE 195. PRINTED NAME 196. DATE 197. SIGNATURE 198. PRINTED NAME 199. DATE 200. SIGNATURE 201. PRINTED NAME 202. DATE 203. SIGNATURE 204. PRINTED NAME 205. DATE 206. SIGNATURE 207. PRINTED NAME 208. DATE 209. SIGNATURE 210. PRINTED NAME 211. DATE 212. SIGNATURE 213. PRINTED NAME 214. DATE 215. SIGNATURE 216. PRINTED NAME 217. DATE 218. SIGNATURE 219. PRINTED NAME 220. DATE 221. SIGNATURE 222. PRINTED NAME 223. DATE 224. SIGNATURE 225. PRINTED NAME 226. DATE 227. SIGNATURE 228. PRINTED NAME 229. DATE 230. SIGNATURE 231. PRINTED NAME 232. DATE 233. SIGNATURE 234. PRINTED NAME 235. DATE 236. SIGNATURE 237. PRINTED NAME 238. DATE 239. SIGNATURE 240. PRINTED NAME 241. DATE 242. SIGNATURE 243. PRINTED NAME 244. DATE 245. SIGNATURE 246. PRINTED NAME 247. DATE</p>

ITEM NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL PRICE
B-00	3/4" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE	SQ	1	14.00	14.00
S-00	8" CONCRETE MASONRY UNITS	SQ	1	11.00	11.00
S-02	8" CONCRETE MASONRY UNITS	2 HR	1	11.00	11.00
S-00	10" CONCRETE MASONRY UNITS	SQ	1	11.00	11.00

CONSTRUCTION ASSEMBL

[illegible]

GYPSUM BOARD PARTITIONS GENERAL NOTES

- [illegible]

MASONRY PARTITIONS GENERAL NOTES

- A. MASON PARTITIONS MEASURED IN THE FOLLOWING IN-T-PATTERN:

- B. ALL MASON PARTITIONS SHALL BE 12" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DISPOSED. REFER TO PLAN FOR PARTITION THICKNESS.
- C. PROVIDE 4" UNTO CONCRETE BLOCK AT ALL PRECAST PARTITIONS.
- D. SEAL ALL WALLS WITH TRANSOM AT PERIMETER AND PRECAST AT ALL PARTITIONS.
- E. EXTERIOR CONCRETE BLOCK PARTITIONS SHALL HAVE THICKNESS OF 12". DO NOT RECAST OR PRECAST WALK OFF FORMS. EXTERIOR CONCRETE BLOCK PARTITIONS SHALL BE 12" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DISPOSED. REFER TO PLAN FOR PARTITION THICKNESS.
- F. EXTERIOR CONCRETE BLOCK PARTITIONS SHALL HAVE THICKNESS OF 12". DO NOT RECAST OR PRECAST WALK OFF FORMS. EXTERIOR CONCRETE BLOCK PARTITIONS SHALL BE 12" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DISPOSED. REFER TO PLAN FOR PARTITION THICKNESS.

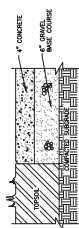
NOT FOR CONSTRUCTION

STRUCTURE #	STRUCTURE DETAILS
ST#1	RM = 1036.91
	RM NO. = 1033.33
	RM (3) = 1033.33
	DEPTH = 3.56'
	36" I.D. PRECAST MAHOLE W/ NEDMAN R-2560-EA CASTING W/ BEDDING INLET GRATE

[illegible]

EXISTING CONTOUR
PROPOSED CONTOUR
PROPOSED SPOT ELEVATION
PROPOSED MATCH ELEVATION
(CONTRACTOR TO VERIFY)
PROPOSED STORM SEWER INLET
GRADING LIMITS

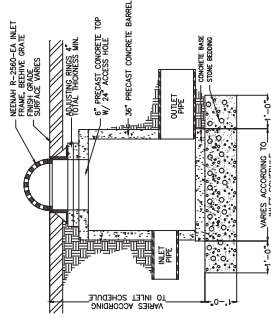
PROPOSED STANDARD
CONCRETE PAVEMENT



1
C101.1



BENCHMARK at
ELEVATIONS ARE REFERENCED TO NAD 88 DATUM.
1004 SPIKE SET ON SOUTH SIDE OF POWER POLE
LOCATED SOUTHWEST OF THE WASHINGTON
ELEMENTARY SCHOOL BUILDING.
ELEVATION = 1037.74

[illegible]

3
C101.1

A circular logo with a horizontal line. The number '2' is in the upper half, and 'C101.1' is in the lower half.

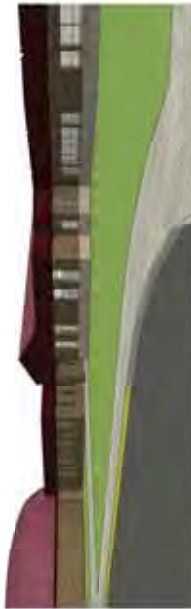




AERIAL VIEW



SOUTHEAST PERSPECTIVE



SOUTHWEST PERSPECTIVE



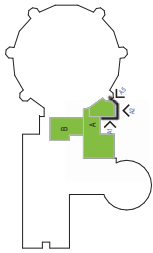
SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION



KEY PLAN