



PLAN COMMISSION MEETING

November 1, 2021
4:00 PM

PUBLIC MEETING NOTICE

PLANNING COMMISSION

Mayor Blaser, Chairperson
Ryan Austin, Alderperson
Shane Burkart
Lee Thao
Susan Feith
Eric Daven
Ben Goodreau

AGENDA ITEM RECIPIENTS

Sue Schill, City Attorney
Erika Esser, Secretary
Jennifer Gossick, City Clerk

Notice is hereby given of a meeting of the Wisconsin Rapids Plan Commission held within the Council Chambers at City Hall, 444 West Grand Avenue, Wisconsin Rapids, and via remote audioconferencing on **November 1, 2021, at 4:00 PM. The public can listen to the meeting by calling 1-312-626-6799, Access code: 824 5594 7718.** The meeting will also be streamed LIVE on the City of Wisconsin Rapids Facebook page. This meeting is also available after its conclusion on the City's Facebook page and Community Media's YouTube page, which can be accessed at www.wr-cm.org. If a member of the public wishes to submit comments to the Commission regarding an agenda item, please contact Kyle Kearns via email or phone at kkearns@wirapids.org or 715-421-8225 before the meeting.

AGENDA

1. Approval of the reports from the October 4 & October 19, 2021 Plan Commission meeting
2. **County of Wood** – request to discontinue (vacate) a portion of Avon Street, north of Market Street and South of 5th Street North.
3. **PLAN-21-1028; Love INC of South Wood County** – request for a site plan review to perform site improvements at 710 20th Avenue South (Parcel ID 3403987)
4. **PLAN-21-1082; David Reynolds, representing Charter Communications** – request for a site plan review to construct an accessory building at 2140 8th Street South (Parcel ID 3412138)
5. Adjourn

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at this meeting is not possible due to a disability or other reasons, notification to the city clerk's office at least 24 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the clerk at (715) 421-8200 to request accommodations.

PUBLISH: October 22, October 29, & November 5, 2021

NOTICE OF PUBLIC HEARING ON STREET DISCONTINUANCE

PLEASE TAKE NOTICE that the City of Wisconsin Rapids Common Council will hold a **Public Hearing on Tuesday, November 16, 2021 at 6:00 PM** within the Council Chambers at City Hall, 444 West Grand Avenue, Wisconsin Rapids. Participation at the public hearing can be in-person or via remote audioconferencing. **The public can also participate in the hearing by calling 1-312-626-6799 Access code: 858 4772 8654.** The meeting will also be streamed LIVE on the City of Wisconsin Rapids Facebook page. The following items will be heard and possibly acted on:

- 1) A Resolution to Discontinue a Portion of Avon Street Pursuant to §66.1003, Wis. Stats. The portion of Avon Street which is proposed to be discontinued is as described below and as depicted on the map below:

AVON STREET

MARKET STREET TO 5TH STREET NORTH

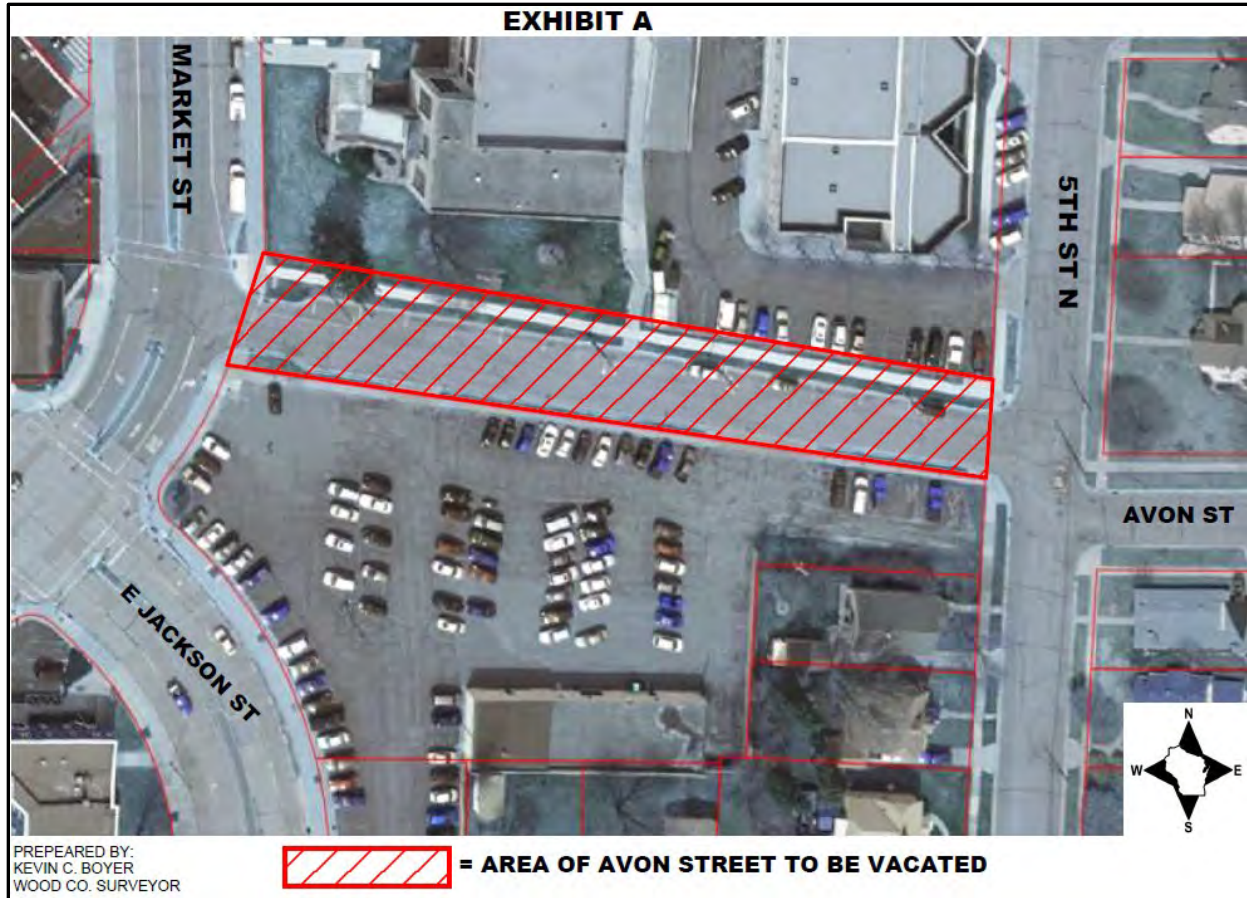
All of the right-of-way of Avon Street extending north from the north right-of-way line of Market Street to the south right-of-way line of 5th Street North, being part of East Side Assessor's Plat Number 36, located in part of Government Lot 1 of Section 17, Township 22 North, Range 6 East, City of Wisconsin Rapids, Wood County, Wisconsin,

COMMENCING AT THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF MARKET STREET AND THE NORTH RIGHT-OF-WAY LINE OF AVON STREET ON THE SOUTH LINE OF LOT 101 OF EAST SIDE ASSESSOR'S PLAT NUMBER 36, BEING THE POINT OF BEGINNING;

THENCE S79°53'00"E ALONG THE NORTH RIGHT-OF-WAY LINE OF AVON STREET AND THE SOUTH LINE OF LOT 101 OF EAST SIDE ASSESSOR'S PLAT NUMBER 36 TO A POINT BEING THE SE CORNER OF LOT 101 OF EAST SIDE ASSESSOR'S PLAT NUMBER 36 AND THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF 5TH STREET NORTH AND THE NORTH RIGHT-OF-WAY LINE OF AVON STREET;

THENCE S03°18'00"W TO A POINT BEING THE NORTHEAST CORNER OF LOT 91 OF EAST SIDE ASSESSOR'S PLAT NUMBER 36 AND THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF 5TH STREET NORTH AND THE SOUTH RIGHT-OF-WAY LINE OF AVON STREET;

THENCE N81°23'00"W ALONG THE NORTH LINE OF LOTS 91 AND 100 OF EAST SIDE ASSESSOR'S PLAT NUMBER 36 AND THE SOUTH RIGHT-OF-WAY LINE OF AVON STREET TO THE INTERSECTION OF THE EAST RIGHT-OF-WAY OF MARKET STREET AND THE SOUTH RIGHT-OF-WAY LINE OF AVON STREET; THENCE IN A NORTHEASTERLY DIRECTION TO THE POINT OF BEGINNING.



Further details regarding the specific requests can be obtained within the Community Development Department at City Hall, or by calling the department at 715-421-8228.

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk's office at least 48 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the Clerk at (715) 421-8200 to request accommodations.

Jennifer M. Gossick,

Wisconsin Rapids City Clerk

REPORT OF THE PLANNING COMMISSION

Date of Meeting: October 19, 2021

Report #1

The Planning Commission met at 5:00 p.m. on October 19, 2021 in the City of Wisconsin Rapids Council Chambers, 444 West Grand Avenue, and via remote audioconferencing. Members present included acting Chairperson Shane Blaser, Ryan Austin, Eric Daven, Lee Thao, Susan Feith and Ben Goodreau. Commissioner Burkart was absent. Also at the meeting were Community Development Director Kyle Kearns, Sherriff Shawn Becker, Attorney Peter Kastenholz, Kurt Berner, Jason Grueneberg, Joe Eichsteadt, Tony Bastien, Ted Ashbeck, Quentin Ellis, Reuben VanTassel, John Hokamp, Chief Erman Blevins, City Attorney Sue Schill, Alder Tom Rayome, Alder Jay Bemke, Alder Sheri Evanson, Alder Dean Veneman.

The meeting was called to order at 5:00 p.m.

1. PLAN-21-0522; City of Wisconsin Rapids – request for Certified Survey Map approval for one lot and to dedicate it as right-of-way at the end of Grove Avenue, east of 16th Street South (Parcel ID 3414800), which includes rescinding the previous dedication of right-of-way associated with the property.

Motion by Feith to approve PLAN-21-0522; City of Wisconsin Rapids – request for Certified Survey Map approval for one lot and to dedicate it as right-of-way at the end of Grove Avenue, east of 16th Street South (Parcel ID 3414800), which includes rescinding the previous dedication of right-of-way associated with the property

Second by Goodreau.

Motion carried (6 – 0)

2. PLAN-21-1037; SWEPS Food Pantry - request for a site plan review amendment to perform site improvements at 2321 West Grand Avenue (Parcel ID 3401190)

Motion by Goodreau to approve PLAN-21-1037; SWEPS Food Pantry - request for a site plan review amendment to perform site improvements at 2321 West Grand Avenue (Parcel ID 3401190), subject to the following conditions:

- a) Driveways for the garage addition shall be hard surfaced.
- b) A landscaping plan shall be submitted for review and approval by the Community Development Department.
- c) The addition shall match the colors of the primary building, so as to better blend into the façade.
- d) Cut-off lighting fixtures shall be used for all building elevations.
- e) Light from the business shall not exceed 0.2 foot-candles at a neighboring commercial property line.
- f) Applicable permits through the City shall be obtained.
- g) Community development staff shall have the authority to approve minor modifications to the plans.

Second by Thao.

Motion carried (6 – 0)

3. Conceptual Project Review – County of Wood – Construction of Public Safety Facility (Jail) at 410 Avon Street (Parcel ID 3407750) and 431 Saratoga Street (Parcel ID 3407748)

Wood County officials and representatives gave a presentation on the Wood County Jail project. Discussion occurred amongst the representatives, Commission and Council members.

No action was taken.

4. PLAN-21-1038; County of Wood – public hearing and action on a request from the County of Wood for an amendment to the City’s Comprehensive Plan, specifically map 7-2 Future Land Use Map, to classify 410 Avon Street (Parcel ID 3407750) from a Commercial & Residential classification to an Institutional land use classification, and 431 Saratoga Street (Parcel ID 3407748) from a Commercial classification to an Institutional land use classification

Public hearing opened at 5:42 p.m.

Speaking against: None

Speaking in favor: None

Public hearing closed at 5:43 p.m.

Motion by Austin to approve PLAN-21-1038; County of Wood – public hearing and action on a request from the County of Wood for an amendment to the City’s Comprehensive Plan, specifically map 7-2 Future Land Use Map, to classify 410 Avon Street (Parcel ID 3407750) from a Commercial & Residential classification to an Institutional land use classification, and 431 Saratoga Street (Parcel ID 3407748) from a Commercial classification to an Institutional land use classification

Second by Goodreau.

Motion carried (6 – 0)

5. PLAN-21-0816; County of Wood – public hearing and action on a request from the County of Wood for a zoning map amendment request to rezone 410 Avon Street (Parcel ID 3407750) and 431 Saratoga Street (Parcel ID 3407748) from B-2 General Commercial District and R-2 Mixed Residential District to I-1 Institutional District

Public hearing opened at 5:46 p.m.

Speaking against: None

Speaking in favor: None

Public hearing closed at 5:47 p.m.

Motion by Austin to approve PLAN-21-0816; County of Wood – public hearing and action on a request from the County of Wood for a zoning map amendment request to rezone 410 Avon Street (Parcel ID 3407750) and 431 Saratoga Street (Parcel ID 3407748) from B-2 General Commercial District and R-2 Mixed Residential District to I-1 Institutional District

Second by Goodreau.

Commissioner Daven left the meeting.

Motion carried (5 – 0)

6. Adjourn

Motion to adjourn by Goodreau, second by Austin.

Motion carried (5 – 0)

Meeting adjourned at 5:48 p.m.

REPORT OF THE PLANNING COMMISSION

Date of Meeting: October 4, 2021

Report #1

The Planning Commission met at 4:00 p.m. on October 4, 2021 in the City of Wisconsin Rapids Council Chambers, 444 West Grand Avenue, and via remote audioconferencing. Members present included acting Chairperson Ryan Austin, Eric Daven and Lee Thao; attending via Zoom were Susan Feith, Shane Burkart and Ben Goodreau. Mayor Shane Blaser was excused. Also at the meeting were Community Development Director Kyle Kearns, Wisconsin Rapids Public Schools Superintendent Craig Broeren, and a few other unidentified persons via Zoom.

The meeting was called to order at 4:00 p.m.

1. Approval of the reports from the September 13 & 23, 2021 Plan Commission meetings

Motion by Feith to approve the reports from the September 13 & 23, 2021 Plan Commission meetings, second by Goodreau.

Motion carried (6 – 0)

2. PLAN-21-0915; Kyle Bennehoff, Lingle Design Group – request for a site plan review to renovate 1821 8th Street South (Parcel ID 3411790) and perform other site improvements

Motion by Daven to approve PLAN-21-0915, a request for a site plan review to renovate 1821 8th Street South (Parcel ID 3411790) and perform other site improvements, subject to the following conditions:

- a) Impervious surface ratio shall not increase on the property beyond the existing ratio.
- b) A shared access agreement shall be produced and executed between the northern and eastern properties.
- c) Cut-off lighting fixtures or equivalent shall be used for the development, and any modifications made to existing lighting from the development shall not exceed 0.2 foot-candles at neighboring commercial property lines.
- d) Applicable permits through the City shall be obtained.
- e) Community Development Department shall have the authority to approve minor modifications to the plans.

Second by Thao.

Motion carried (6 – 0)

3. PLAN-21-0966: Wisconsin Rapids Public School District – public hearing and action on a request for a conditional use permit amendment to construct an addition on Howe Elementary School at 221 8th Street North (Parcel ID 3407777)

Public hearing opened at 4:06 p.m.

Speaking against: None

Speaking in favor: Craig Broeren

Public hearing closed at 4:08 p.m.

Chairperson Austin expressed concerns regarding the students' access to the building during the construction.

Motion by Feith to approve PLAN-21-0966, a request for a conditional use permit amendment to construct an addition on Howe Elementary School at 221 8th Street North (Parcel ID 3407777) subject to the following conditions:

- a) A landscaping plan shall be submitted, meeting the applicable requirements, to be reviewed and approved by the Community Development Department.
- b) Any exterior lighting shall be cut-off fixtures or equivalent.
- c) Lighting from the development shall not exceed 0.1 foot-candles at neighboring residential property lines.
- d) Applicable building and stormwater permits, state and local, shall be obtained.
- e) Minor modifications to the plan shall be permitted to be reviewed and approved by the Community Development Department.

Second by Goodreau.

Motion carried (6 – 0)

- 4. PLAN-21-0967; Wisconsin Rapids School District** – public hearing and action on a request for a conditional use permit amendment to construct an addition on Mead Elementary School at 241 17th Avenue South (Parcel ID 3402835)

Public hearing opened at 4:11 p.m.

Speaking against: None

Speaking in favor: None

Public hearing closed at 4:11 p.m.

Motion by Goodreau to approve PLAN-21-0967, a request for a conditional use permit amendment to construct an addition on Mead Elementary School at 241 17th Avenue South (Parcel ID 3402835), subject to the following conditions:

- a) An updated site plan shall be provided if parking is expanded, meeting applicable zoning requirements, to be reviewed and approved by the Community Development Department.
- b) A landscaping plan shall be submitted, meeting applicable requirements, to reviewed and approved by the Community Development Department.
- c) Any exterior lighting shall be cut-off fixtures or equivalent.
- d) Lighting from the development shall not exceed 0.1 foot-candles at neighboring residential property lines.
- e) Applicable building and stormwater permits, state and local, shall be obtained.
- f) Minor modifications to the plan shall be permitted to be reviewed and approved by the Community Development Department.

Second by Daven.

Motion carried (6 – 0)

- 5. PLAN-21-0968; Wisconsin Rapids Public School District;** – public hearing and action on a request for a conditional use permit amendment to construct an addition on Washington Elementary School at 2911 Washington Street (Parcel ID 3410239)

Public hearing opened at 4:13 p.m.

Speaking against: None

Speaking in favor: None

Public hearing closed at 4:15 p.m.

Motion by Goodreau to approve PLAN-21-0968, a request for a conditional use permit amendment to construct an addition on Washington Elementary School at 2911 Washington Street (Parcel ID 3410239), subject to the following conditions:

- 1) A landscaping plan shall be submitted, meeting applicable requirements, to reviewed and approved by the Community Development Department.
- 2) Any exterior lighting shall be cut-off fixtures or equivalent.
- 3) Lighting from the development shall not exceed 0.1 foot-candles at neighboring residential property lines.
- 4) Applicable building and stormwater permits, state and local, shall be obtained
- 5) Minor modifications to the plan shall be permitted to be reviewed and approved by the Community Development Department.

Second by Thao.

Motion carried (6 – 0)

6. Adjourn

Motion to adjourn by Austin, Second by Thao.

Motion carried (6 – 0)

Meeting adjourned at 4:15 p.m.

Respectfully submitted by Erika Esser, Secretary

To: Plan Commission
From: Kyle Kearns
Date: 10/28/2021
Subject: **County of Wood** – request to discontinue (vacate) a portion of Avon Street, north of Market Street and South of 5th Street North.

Wood County is requesting to vacate a portion of Avon Street, below, to construct a new Public Safety Facility (jail). Furthermore, the parcels north and south of Avon Street would be combined to create one parcel for the development. It is important to note that the County will cover the costs associated with any utility relocation within the road and will provide utility easements for any City Utility remaining in the current Avon Street right-of-way. The Public Works department is supportive of the request and the Public Works Committee acted on October 5th to approve the street vacation/discontinuance.

From a planning standpoint, the City's [Comprehensive Plan](#) has a Transportation chapter which looks at road classifications, traffic, safety and other criteria generally. It is an overarching planning document that provides goals and objectives relating to each chapter. Additionally, the [downtown waterfront plan](#) (2009) was a more area specific plan with a focus on redevelopment of the downtown and waterfront. This plan included specific transportation recommendations regarding pedestrian and vehicle movements, as well as downtown streetscape improvements. For example, roundabouts are recommended, as well as a vacation of 2nd Street into the Triangle property development. Specifically, in relation to Avon Street, the following is recommended:

S6 >>> MID-BLOCK CROSSING: Provide “table-top” mid-block crossings to provide safe pedestrian circulation and traffic calming. Mid-block crossings should be located to connect with other pedestrian circulation patterns to public parking, recreation systems, public buildings and spaces, parks, etc. Grand Ave between Third and Garfield and 4th Streets should have a midblock crossing as shown. Figure G

The recommendations in the plan are a planning tool that can be used to guide short- and long-term improvements to the downtown area. The goal of the plan was to focus on maintaining and enhancing pedestrian connectivity, walkability, diversity visual appeal and other elements that will assist in creating a thriving downtown. While the vacation of Avon Street is not in the plan, it still would meet goals of the plan, including those regarding connectivity, safety, and efficiency. It is also important to note that the plan doesn't include long term goals or growth strategy for all public and private properties, which is constantly changing, but is a crucial component to a thriving downtown. One example is the redevelopment of the mall (YMCA B&G Club). Lastly, other factors are taken into consideration for Street Vacations, most importantly may be street classification and level of service, as well as street infrastructure. With that being said, staff would recommend approving the Avon Street vacation/discontinuance.

Vicinity Map

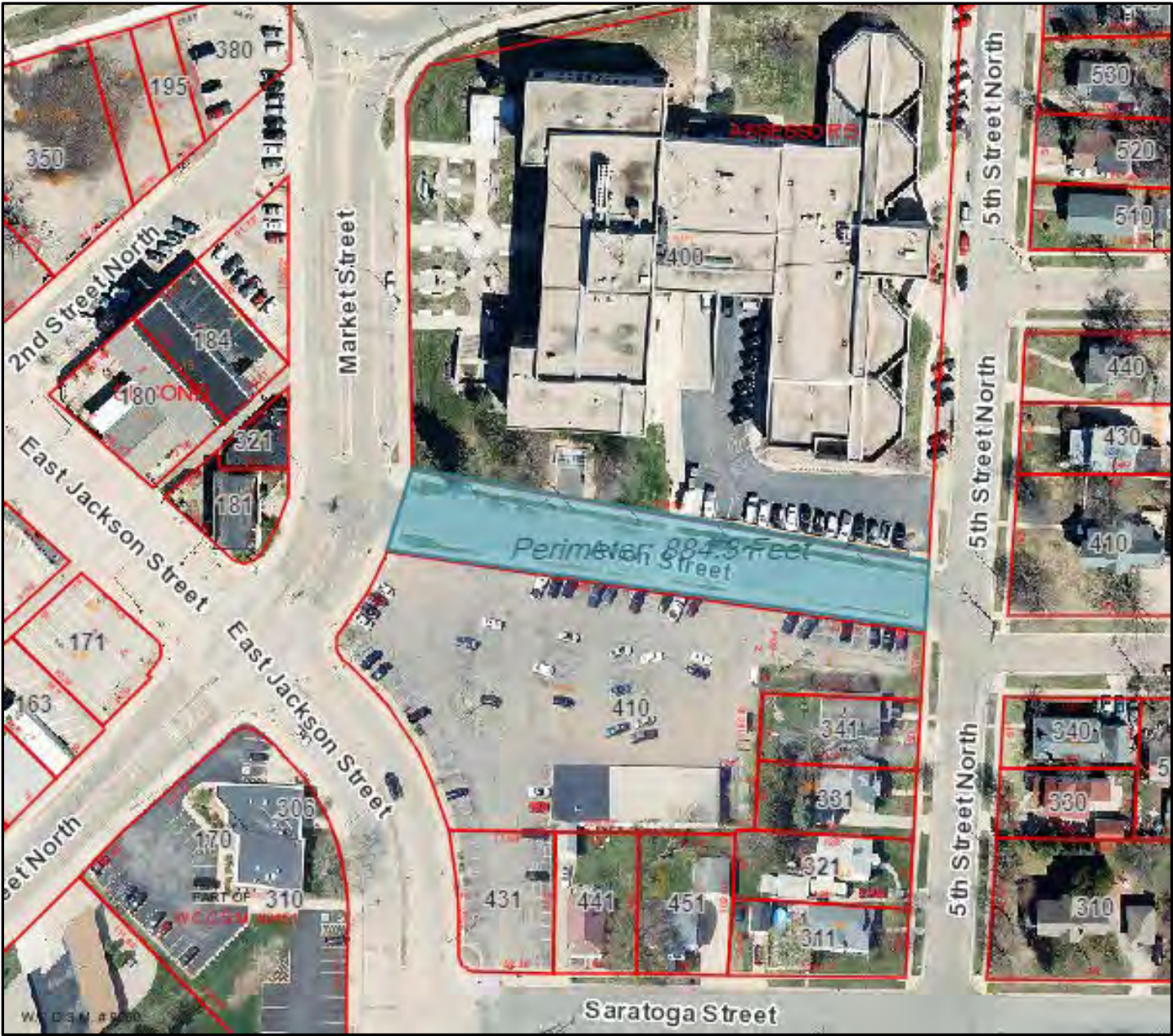


EXHIBIT A



PREPARED BY:
KEVIN C. BOYER
WOOD CO. SURVEYOR



= AREA OF AVON STREET TO BE VACATED

EXHIBIT B

AN AREA OF AVON STREET TO BE VACATED AS LAID OUT ON EAST SIDE ASSESSOR'S PLAT NUMBER 36, LOCATED IN PART OF GOVERNMENT LOT 1 OF SECTION 17, TOWNSHIP 22 NORTH, RANGE 6 EAST, CITY OF WISCONSIN RAPIDS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF MARKET STREET AND THE NORTH RIGHT-OF-WAY LINE OF AVON STREET ON THE SOUTH LINE OF LOT 101 OF EAST SIDE ASSESSOR'S PLAT NUMBER 36, BEING THE POINT OF BEGINNING;

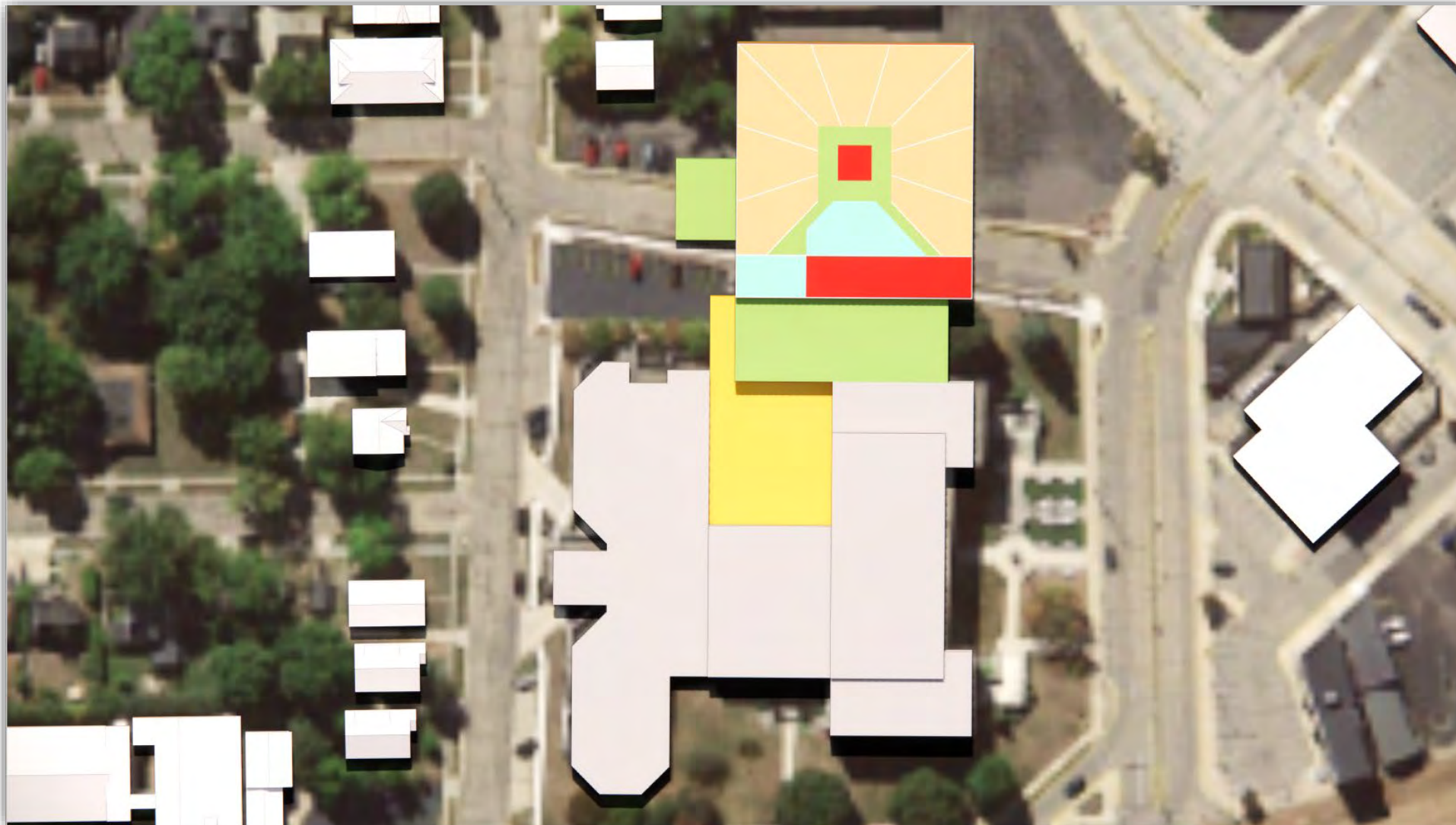
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THENCE IN A NORTHEASTERLY DIRECTION TO THE POINT OF BEGINNING.

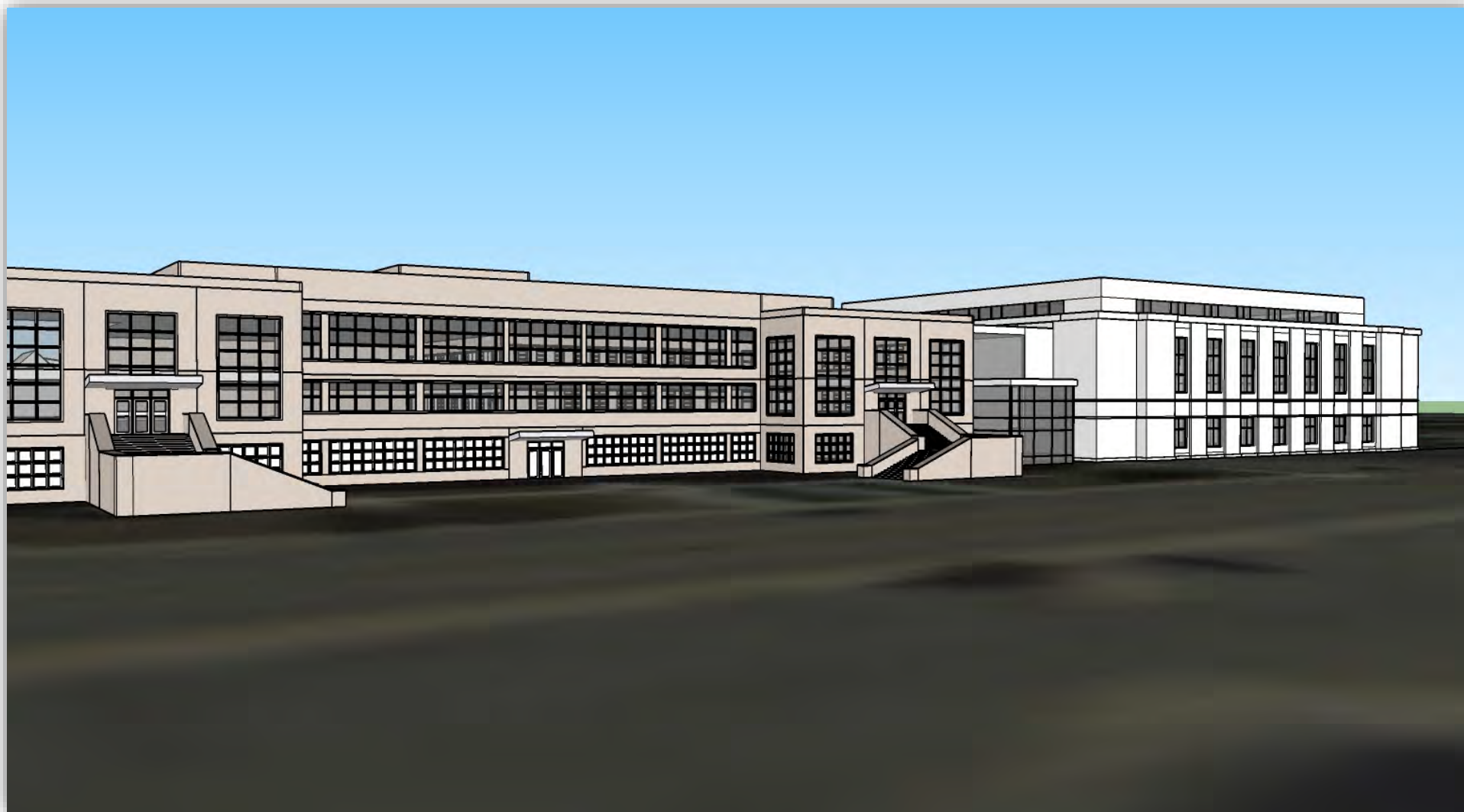
Proposed New Design



Proposed Site Plan



Preliminary Renderings

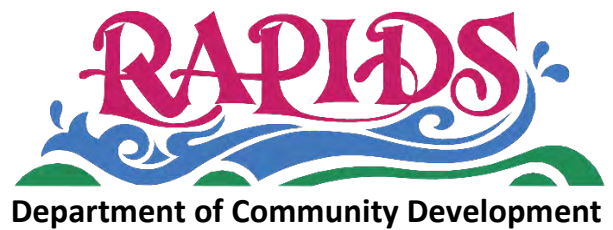


Preliminary Renderings



Preliminary Renderings





Administrative Staff Report

Love INC of South Wood County

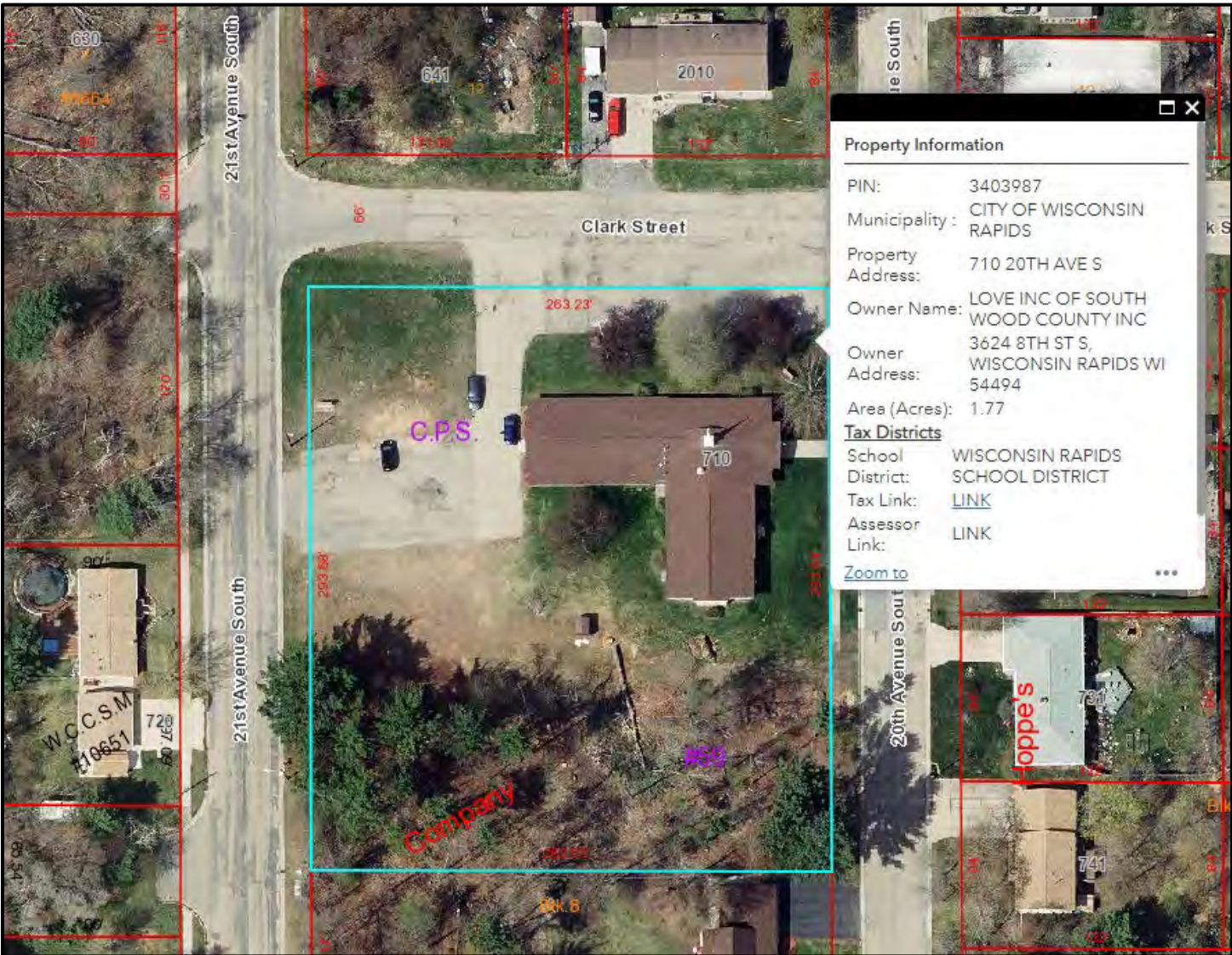
Site Plan Review

710 20th Street South

October 28, 2021

<p>Applicant(s):</p> <ul style="list-style-type: none"> Love INC of South Wood County <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3403987 <p>Lot Information:</p> <ul style="list-style-type: none"> Effective Frontage: 556 feet Effective Depth: 293 feet Square Footage: 77,100 Acreage: 1.77 Acres <p>Zone(s):</p> <ul style="list-style-type: none"> "R-2" Mixed Residential District <p>Council District:</p> <ul style="list-style-type: none"> District 2 - Veneman <p>Master Plan:</p> <ul style="list-style-type: none"> Residential <p>Current Use:</p> <ul style="list-style-type: none"> Institutional/Office <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 - Zoning 	<p>Request</p> <p>PLAN-21-1028; Love INC of South Wood County – request for a site plan review to perform site improvements at 710 20th Avenue South (Parcel ID 3403987)</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Application Site Plan <p>Findings of Fact</p> <ol style="list-style-type: none"> The request is to make site improvements to the parking and driveways on the property. The property is zoned "R-2" Mixed Residential District. The institutional/office type use is considered nonconforming in the district. Any significant changes to the site require site plan review by Plan Commission, but do not constitute an expansion of the use. A building plan – architectural review (AR), plan of operation (PO), site plan (SP), and zoning permit (ZP) are required. <p>Staff Recommendation</p> <p>Approve the request from the applicant for a request for a site plan review to perform site improvements at 710 20th Avenue South (Parcel ID 3403987), subject to the following condition(s):</p> <ol style="list-style-type: none"> An updated site plan showing all required dimensions, shall be submitted, to be reviewed and approved by the Community Development Department. Proper signage shall be installed identifying vehicle directions. A landscaping plan shall be submitted, to be reviewed and approved by the Community Development Department. light from the parking area shall not exceed 0.2 foot-candles at a neighboring commercial property line and 0.1 foot-candles at the neighboring residential property line. Applicable permits through the City shall be obtained. Community development staff shall have the authority to approve minor modifications to the plans.
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Vicinity Map



Background

Love Inc. is requesting to significantly change there parking to better accommodate employees and visitors. Currently parking occurs via two connected parking areas, one on 21st Avenue South and the other directly from Clark Street. Several parking nonconformities currently exist, including violations within the public right-of-way. The request would include correcting these issues and conforming to the parking standards. It is important to note that while the institutional office type use is prohibited in the R-2 district, the reconstruction of parking is not considered and expansion of the use. However, the zoning ordinance would still require a site plan review occur for the request. Below are the applicable standards of review.

Standards of Review

1) Use

Analysis: The institutional office type use would be prohibited is prohibited in the R-2 Zoning District. The use, defined as a Charitable Organization, previously received a conditional use permit under the old zoning code. The use is now not defined in the new code and is considered prohibited, making it a legal nonconforming use.

Findings: The use can continue to operate but cannot expand. A parking lot reconstruction is not considered an expansion of the use and therefore shall be permitted. Note that a building plan – architectural review (AR), plan of operation (PO), site plan review (SP), and zoning permit (ZP) are required.

2) Dimensional Standards

Analysis: The R-2 district requires 7,500 square feet for single family and 10,000 for two-family. The lot is 1.77 acres. The building footprint is not proposed to be expanded. The building coverage ratio is 9% meeting the 30% (max.) requirement and proposed impervious surface is approximately 27.9% (no maximum required).

Findings: Overall, the impervious surface ratio on site will remain relatively the same, as the parking lot is not significantly being expanded. Instead, the proposed improvements shift the parking from the right-of-way onto the site and involve adding a boulevard adjacent to the street, adhering to the 5-foot set back requirement. Additionally, a proper driveway will exist on Clark Street and handicap stalls will be installed.

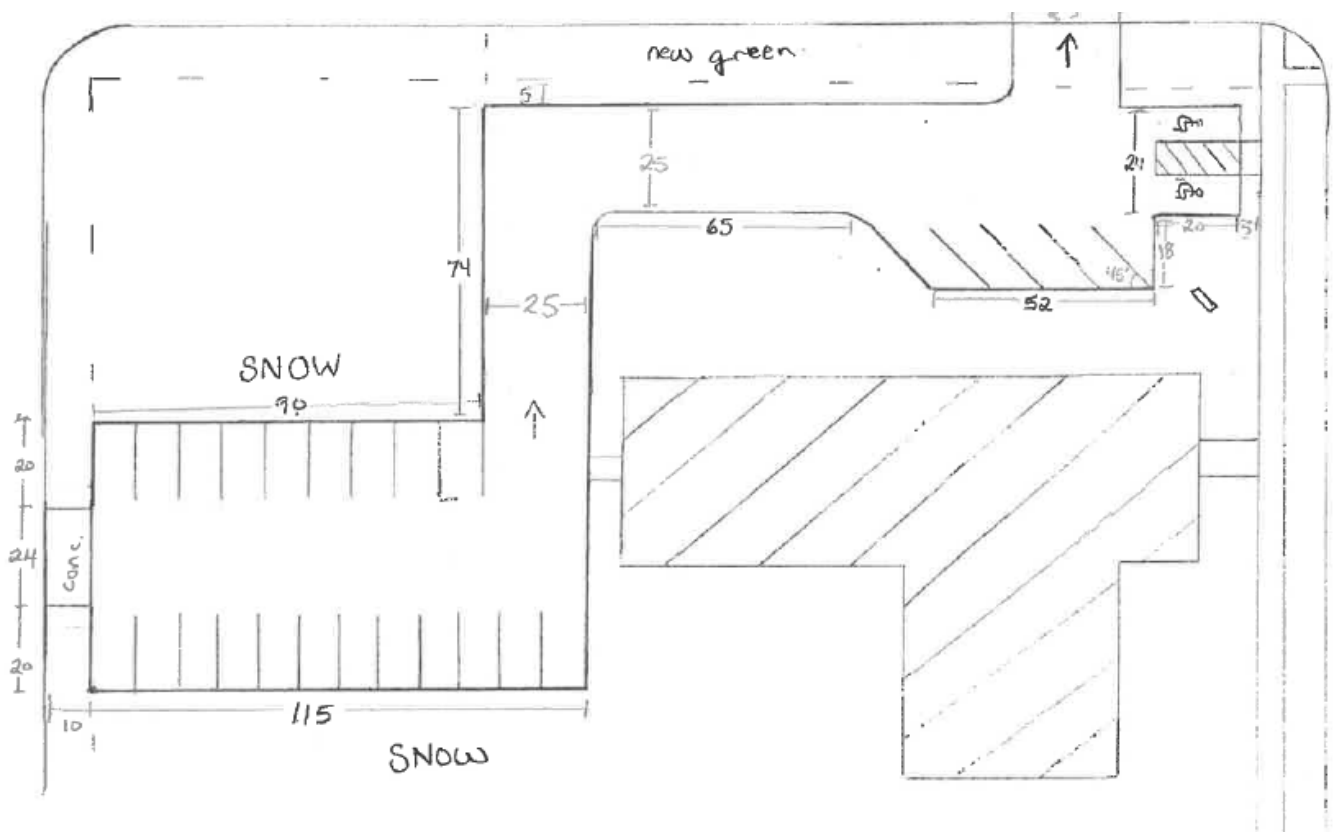
3) Ingress/Egress

Analysis: Two driveways currently exist to serve the site, one from 21st Avenue South and the other along Clark Street. The Clark Street access, however, currently allows vehicles to exit the right-of-way via a continuous driveway all the way to the intersection of 20th Avenue South.

Findings: Driveway standards are met, and the proposed improvements will improve the safety of patrons in the property and right-of-way.

4) Parking

Analysis: The use (general services) requires 1 parking space for each 300 square feet of gross floor area: 7,012 square feet/300 = 23.37 (24) Parking stalls. A total of 27 parking stalls are proposed, with two being handicap stalls.



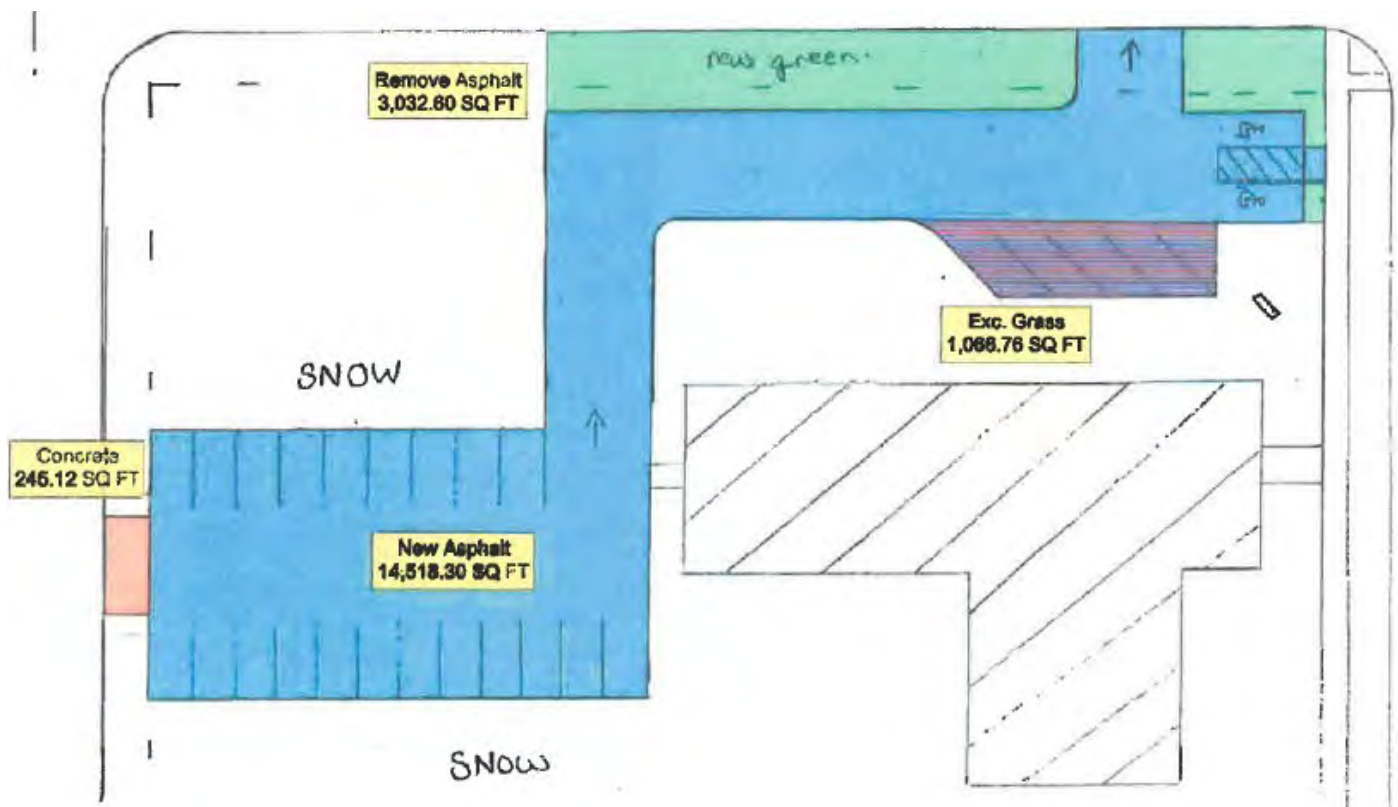
Findings: The development meets the parking requirements with 27 proposed stalls; however, stall dimensions are not shown. Driveways, setbacks, and aisle widths appear to meet the minimum standards, but all required dimensions shall be noted on the plan. Additionally, when more than 10 percent of an existing off-street parking area is repaved or reconstructed only the following sections shall apply:

- 11.17.03(h) Surfacing
- 11.17.03(i) Marking of parking spaces
- 11.17.03(j) Drainage
- 11.17.03(l) Landscaping; specifically, 25 percent of the total Parking lot landscape requirements shall be met
- 11.17.03(q) Dimensional Standards
- 11.17.03(w) Stormwater Management
- 11.17.04 Accessible parking and passenger loading

Staff would recommend an updated site plan be submitted showing all required dimensions, including for parking stalls, to be reviewed and approved by the Community Development Department. Additionally, proper signage shall be installed identifying vehicle directions.

5) Landscaping

Analysis: The reconstruction in the parking area will correct the violations that exist and place the parking solely on the property. As indicated above, 25% of the total parking lot landscape requirements shall be met. The parking area is approximately 14,518 square feet, which requires $(14,518/10,000) * 100 = 146$ landscaping points. When factoring in the reconstruction deduction of 25%, a total 37 points are required. Green space is shown on the plan below, but specific plants are not shown.



Findings: Staff would recommend that a landscaping plan be submitted showing required plantings and their location. Also, a minimum of 325 square feet of landscaped area shall be located within the perimeter of the paved area for the placement of every 100 landscape points, or fraction thereof.

6) Architectural Review

Not Applicable – No improvements are proposed to the building.

7) Lighting & Photometric Plan

Analysis: Regulations for onsite lighting are related to light trespass (foot-candles) beyond the property line and total lighting levels (lumens). Lighting from the business use should not exceed 0.2 foot-candles at a neighboring commercial property line and 0.1 foot-candles for residential. The applicant did not submit a lighting plan for the site improvements; as no parking lot lighting is proposed.

Findings: The existing building may provide some light for the proposed parking area. Staff would recommend that any lighting from the business not exceed 0.2 foot-candles at a neighboring commercial property line and 0.1 footcandles at the neighboring residential property.

In summary, the proposed site improvements for the most part meeting applicable code requirements, and conditions have been added in instances where further details are required. Therefore, staff would recommend approval of the site plan, subject to the conditions mentioned above and summarized on page one of the staff report.



Site Plan & Plan of Operation Application

City of Wisconsin Rapids, Wisconsin

Version: January 3, 2019

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The Planning Commission reviews site plans and plans of operation for those land uses specifically requiring such review as listed in the land-use matrix (Appendix A of the zoning code).

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

Application fee: \$175.00 for new; \$125.00 for amendment of prior approval

Note: Site plan/plan of operation review and architectural review can be combined into one application fee.

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Office Use Only

Date Received _____

Received By _____

Fee _____

Case # _____

Aldermanic District _____

Plan Commission Date _____

1. Applicant information

Applicant name Love INC of South Wood County

Street address 710 20th Avenue South

City, state, zip code Wisconsin Rapids, WI 54495

Daytime telephone number 715-424-5683

Email danita@loveincswc.org

2. **Agent contact information** Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

Agent 1

Name Jon Hagler

Company American Asphalt

Street address 832 State Road 153 P.O. Box 98

City, state, zip code Mosinee, WI 54455-0098

Daytime telephone number (715) 693-5200

Email jon.hagler@americanasphaltowwi.com

Agent 2

3. Type of application (check all that apply)

☒ Site plan Complete Part A, B and D

☐ Plan of operation Complete Part A, C and D

☐ New project

☒ Amendment of prior approval (if any)

If an amendment, the date of last approval (if any):

Conditional use permit Plan-18-0235

Part A. About the Property

4. Subject property information

Physical address 710 20th Avenue South, Wisconsin Rapids, WI 54495

Parcel number(s) 34-03987

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

☒ No

☐ Yes

If yes, please explain.

Current status is "legal non-conforming" based on a conditional use permit issued in 2018 Plan-18-0235

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

☒ No

☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> RR Rural Residential | <input type="checkbox"/> R-8 Manufactured Home Park | <input type="checkbox"/> M-1 General Industrial |
| <input type="checkbox"/> R-1 Single-family Residential | <input type="checkbox"/> B-1 Downtown Commercial | <input type="checkbox"/> M-2 Heavy Industrial |
| <input checked="" type="checkbox"/> R-2 Mixed Residential | <input type="checkbox"/> B-2 General Commercial | <input type="checkbox"/> I-1 Institutional |
| <input type="checkbox"/> R-3 Multi-family Medium Density Residential | <input type="checkbox"/> B-3 Neighborhood Commercial | <input type="checkbox"/> P-1 Park and Recreation |
| <input type="checkbox"/> R-4 Multi-family High Density Residential | <input type="checkbox"/> B-5 Mixed Use Commercial | <input type="checkbox"/> C-1 Conservancy |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> Planned Development (PDD) | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Floodplain |
| <input type="checkbox"/> Downtown Design | <input type="checkbox"/> Shoreland-Wetland | <input type="checkbox"/> Wellhead Protection |

Part B. Site Plan (See the standards and requirements in Division 6 of Article 6.)

6. Building type. Which of the following building types best describes the building?

- | | | |
|---|-------------------------------------|--|
| <input type="checkbox"/> Townhouse | <input type="checkbox"/> Commercial | <input type="checkbox"/> Industrial |
| <input type="checkbox"/> Multi-family | <input type="checkbox"/> Work/live | <input type="checkbox"/> Parking structure |
| <input checked="" type="checkbox"/> Institutional | | |

Please refer to Appendix D for any design requirements that may apply.

7. Encroachments.

Aside from driveways connecting to the street, will any part of the proposed project encroach into a public right-of-way?

☒ No

☐ Yes

If yes, please explain.

8. Site parameters (area in square feet or acres)

Subject property 1.77 acres

Building coverage 7,000 sq ft

Outdoor storage 100 sq ft

Stormwater facilities _____

Impervious surfaces 18,800 sq ft Impervious surfaces include buildings, parking areas and driveways, sidewalks, decks, patios, and other types of 'hard' surfaces.

Landscaping and other undeveloped areas 51,300 sq ft

Wetlands 0

Attach appropriate documentation if there are any wetlands.

100-year floodplain 0

9. Street access

Name	New Access	Change to Existing Access	No Change to Existing Access
21st Avenue South	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Clark	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

10. Traffic generation

Will the proposed project create 500 trips per day or more?

☒ No

☐ Yes Attach a traffic impact report to this application. See s. 11.06.151 of the zoning code for additional details.

Will the proposed project create 300 trips per day or more, but less than 500?

☒ No

☐ Yes The city may require a traffic impact report as described in s. 11.06.151 of the zoning code. Please contact the Community Development Department for further guidance.

11. Parking (See the standards and requirements in Article 17 of the zoning code.)

Minimum number of required spaces 23.3 (9.11) See Appendix B of the zoning code for parking requirements for the proposed land use(s).

Proposed number of spaces 25

If the number of proposed spaces exceeds what is required by more than 15 percent, the Planning Commission may grant a special exception to allow oversized parking areas. (See s. 11.17.03(r) of the zoning code.)

ADA van accessible spaces 2

Other ADA accessible spaces	<u>0</u>	
Number of electric charging stations (if any)	<u>0</u>	Charging stations are not required, but are recommended.
Bicycle parking spaces	<u>0</u>	Bike parking is not required, but is recommended. (See s. 11.17.06 of the zoning code.)
Number of spaces in front of the building	<u>0</u>	The number of spaces in front of the building may be limited depending on the zoning district. (See Appendix C of the zoning code.)
Number of spaces on the side(s) of the building	<u>4</u>	
Number of spaces to the rear of the building	<u>21</u>	

12. Outdoor lighting (See the standards and requirements in Article 18 of the zoning code.)

	Number of Fixtures	Lumens
Building 1	<u>2</u>	<u>2,700</u>
Building 2	<u></u>	<u></u>
Building 3	<u></u>	<u></u>
Parking lot 1	<u>1</u>	<u>5,000</u>
Parking lot 2	<u></u>	<u></u>
Parking lot 3	<u></u>	<u></u>
Other	<u></u>	<u></u>
Other	<u></u>	<u></u>
Total	<u>3</u>	<u>7,700</u>

Maximum lighting levels at each property boundary line (in footcandles):	<u>0.1</u>	Attach a photometric plan to this application along with manufacturer's cut sheets for the different kinds of light fixtures.
Height of parking lot lights above grade (if any):	<u>25</u>	

13. Fencing. Will the proposed project include fencing?

- ☒ No
☐ Yes (See Article 15 of the zoning code for the standards and requirements that apply.)

If yes, please describe and/or attach a fencing plan.

14. Stormwater. Describe how stormwater generated on the site will be handled.

Run off into storm sewers

15. Site plan. Attach a site plan drawn to scale with the following information to the extent it applies to the proposed project. The items with an asterisk are required. Check those elements that are included.

Background Project Information	Buildings and Outdoor Storage/Activity Areas	Transportation Facilities (existing and proposed)
<input checked="" type="checkbox"/> Project name*	<input type="checkbox"/> Existing and proposed	<input checked="" type="checkbox"/> Streets
<input checked="" type="checkbox"/> Applicant name*	<input type="checkbox"/> Existing within 50 feet of subject property	<input checked="" type="checkbox"/> Driveways and road access onto public and private roads
<input checked="" type="checkbox"/> Preparation date/revision*	Required Setbacks	<input type="checkbox"/> Sidewalks and trails
<input checked="" type="checkbox"/> Name of preparer*	<input type="checkbox"/> Yard setbacks (front, side, rear and shore)	<input type="checkbox"/> Fire lanes (i.e., fire apparatus access)
	<input type="checkbox"/> On-site septic systems	<input type="checkbox"/> Clear visibility triangles (location and dimensions)
Survey Information	<input type="checkbox"/> On-site wells and off-site wells within 10 feet of the perimeter of the subject property	On-Site Parking (existing and proposed)
<input checked="" type="checkbox"/> North arrow and graphic scale*	Landscaping Features (existing and proposed)	<input type="checkbox"/> Access aisles and parking spaces by size
<input checked="" type="checkbox"/> Address of subject property or legal description*	<input type="checkbox"/> Fences, buffers, and berms	<input type="checkbox"/> Location of accessible parking spaces
<input checked="" type="checkbox"/> Property boundaries *	<input type="checkbox"/> Pervious and impervious surfaces by type	<input type="checkbox"/> Location and specifications/dimensions for accessibility ramps
<input checked="" type="checkbox"/> Acreage of subject property*	<input type="checkbox"/> Site amenities (benches, fountains, etc.)	<input type="checkbox"/> Type and location of on-site parking signs and traffic control signs
Project Development Information	<input type="checkbox"/> Existing trees and other prominent vegetation	<input type="checkbox"/> Surface materials for parking lot (e.g., concrete, bituminous concrete, pavers)
<input type="checkbox"/> Land use summary table by density/intensity and acreage*	<input type="checkbox"/> Trees / shrubs to be planted, including a plant list and specs.	<input type="checkbox"/> Snow storage areas
<input type="checkbox"/> Easements/rights-of-ways (location, width, purpose, ownership)	Trees / shrubs to be retained	<input type="checkbox"/> Areas designated for queuing of vehicles for drive-through facilities (e.g., car washes, drive-up service windows, etc.)
<input type="checkbox"/> Common areas/conservancy areas (location, purpose, ownership)	Outdoor Lighting (existing and proposed)	<input type="checkbox"/> Pedestrian walks between the parking lot and the building
<input type="checkbox"/> Land to be dedicated to the public (boundaries, area, purpose)	<input type="checkbox"/> Location	<input type="checkbox"/> Designated areas of a parking area for pedestrian walks
Settling	<input type="checkbox"/> Fixture specifications	<input type="checkbox"/> Loading lanes and loading docks
<input type="checkbox"/> Property boundaries within 50 feet of the subject property	Stormwater Facilities (existing and proposed)	<input type="checkbox"/> Stormwater drainage
<input type="checkbox"/> Land uses within 50 feet of the subject property	<input type="checkbox"/> Location	<input type="checkbox"/> Distance between parking areas and adjoining properties if less than 20 feet
<input type="checkbox"/> Zoning district boundaries within 50 feet of the subject property	<input type="checkbox"/> Specifications for each facility	<input type="checkbox"/> Areas designated for bicycle parking
<input type="checkbox"/> Municipal boundaries within 50 feet of the subject property	Site Features (existing and proposed)	Signs (existing and proposed)
<input type="checkbox"/> Ground contours when slopes exceed 8 percent	<input type="checkbox"/> Location	<input type="checkbox"/> Location
<input type="checkbox"/> Wetlands	<input type="checkbox"/> Type (sewer, telephone, etc.) (buried or overhead, if applicable)	<input type="checkbox"/> Specifications for each sign including type, height, dimensions, lighting, and other factors considered during the review process
<input type="checkbox"/> Woodlands	<input type="checkbox"/> Size/capacity, if applicable	
<input type="checkbox"/> Wildlife habitat, including critical wildlife habitat		
<input type="checkbox"/> Environmentally sensitive features		
<input type="checkbox"/> Water resources (rivers, ponds, etc.) and ordinary high-water mark for navigable waters		
<input type="checkbox"/> Floodplain boundaries and elevations of the same		

Part C. Plan of Operation

16. Operating conditions

Hours of operation:	M-F 8:00 am - 4:00 pm	
Estimated number of full-time employees	1	
Estimated number of part-time employees	3	
Maximum number of employees onsite at peak hours	4	
Will the proposed business operation create any noise outside of the building?	No	Refer to s. 11.06.147 of the zoning code.
Will the proposed business operation create any emissions (e.g., fumes, smoke, steam, vapor, dust,) to the atmosphere?	No	Refer to s. 11.06.148 of the zoning code.
Will the proposed business operation create any vibrations outside of the building?	No	Refer to s. 11.06.149 of the zoning code.
Will the proposed business operation involve any explosives or other flammable materials?	No	Refer to s. 11.06.150 of the zoning code.
Will the proposed business operation involve any radioactive materials?	No	
Will the proposed business operation create special needs for wastewater disposal?	No	
Will the proposed business operation require unusually high levels of public water?	No	

17. Licensing. What kind of federal, state, county or city licenses will be required to operate the proposed business?

None

Part D. Other

18. Attachments List any attachments included with your application.

19. Other information You may provide any other information you feel is relevant to the review of your application.

Love INC of South Wood County is a 501c3 non-profit

20. Mandatory meeting with staff

When did you meet with the Community Development Director?

July/2021

Month/year

21. Applicant certification

- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Jonna Kronholm
Name – print (Board Secretary)

Jonna Kronholm
Name – Signature

9/29/21
Date

Danita Carlson
Name – print (Ex. Director)

Danita Carlson
Name – Signature

9-29-21
Date

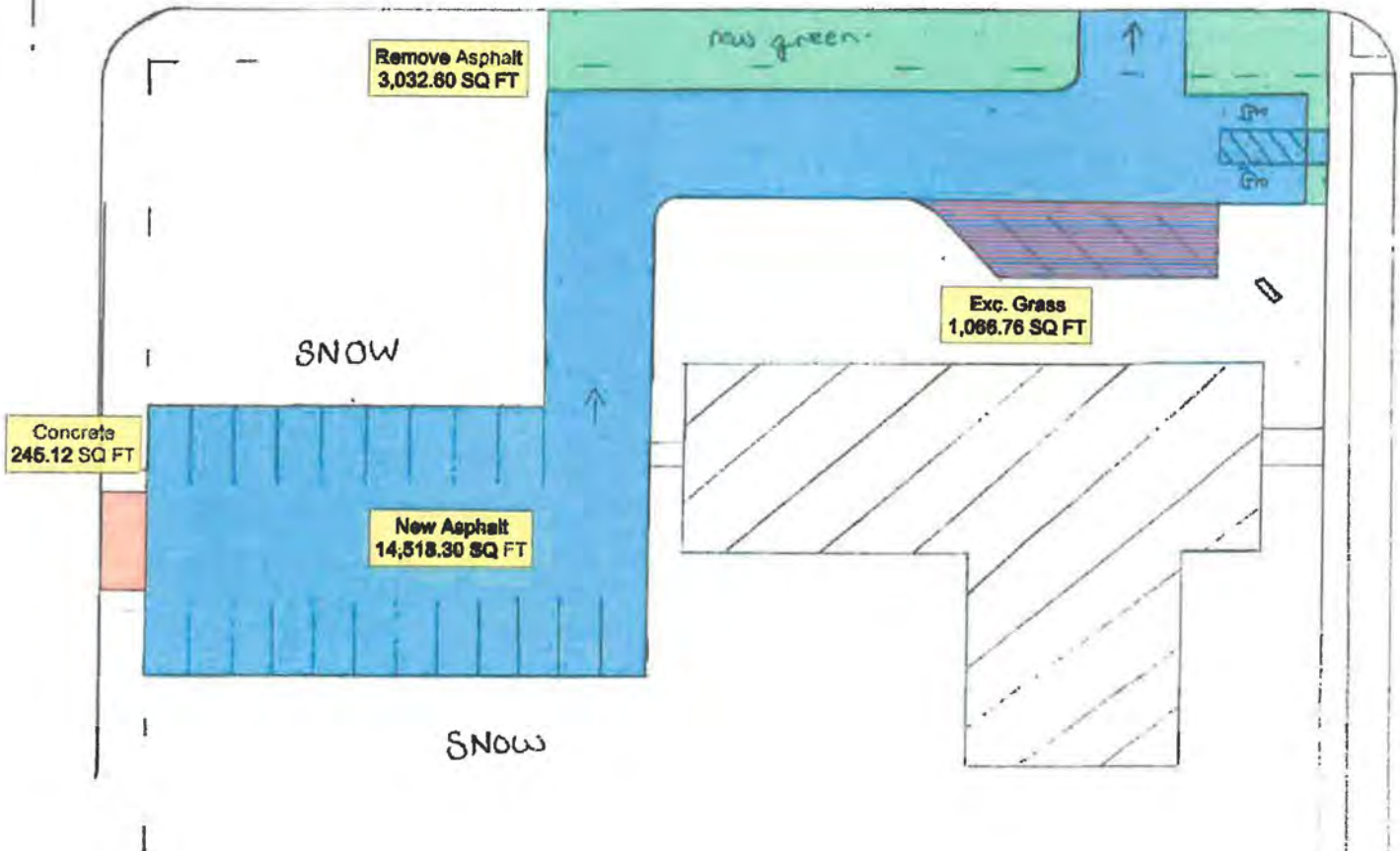
CUSTOMER Love INC of Southwood City PROPOSAL # PARKING LOT IMPROVEMENT
 JOB NAME PARKING LOT IMPROVEMENT EST. TONS _____
 ADDRESS 710 20th Ave S CONTACT Danita Carlson
 CITY Wisconsin Rapids PHONE: HOME _____ WORK _____ CELL (715) 570-2283
 EMAIL danita@loveincswc.org

↑ N 7-22-2021

From: Jon Hagler
 American Asphalt
 832 St. Rd. 153
 Muskego WI
 54455

ITEM	QUANTITY
Exc -	
Base -	
Saw -	
Exc & Base by others: <u>Bohn</u> Concrete: <u>John</u>	
FINE GRADE & PAVE <u>3</u> INCHES	1,614 SY
Comments: Area Map.	

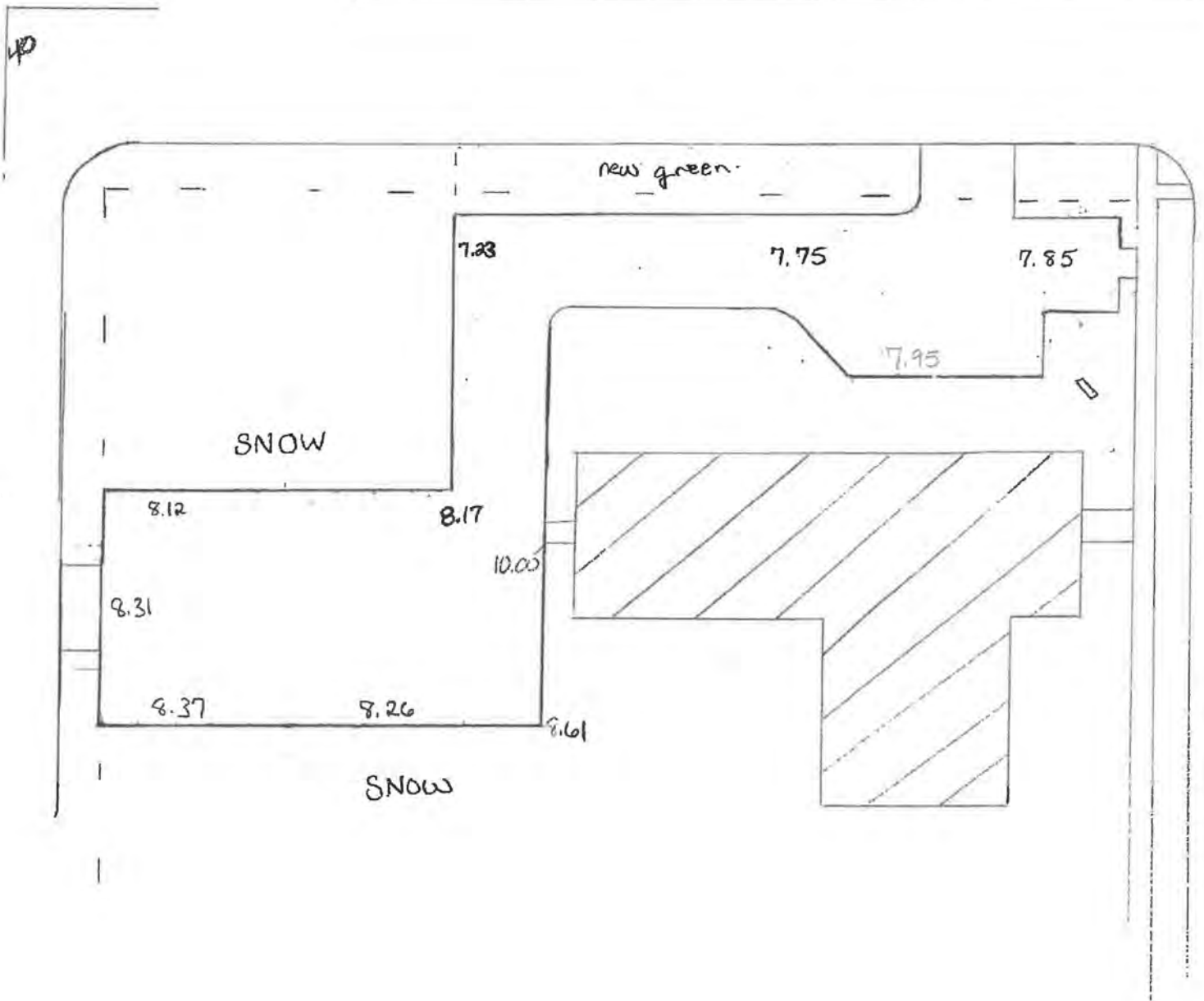
PROPERTY 34-03987 1.770 Acres



JOB NAME Lore INC of South Wood Cty EST. TONS
 ADDRESS 710 20th Ave S. CONTACT Danita
 CITY Wisconsin Rapids PHONE: HOME WORK CELL (715) 570-2883
 EMAIL danita@loreincswc.org



ITEM		QUANTITY
Exc -		
Base -		
Saw -		
Exc & Base by others:		
FINE GRADE & PAVE	3 INCHES	1,614 SY
Comments: Grade Map		





Title

2210 RUSSELL ST

720 21ST AVE S

June 24, 2021

Clark Street

21st Avenue South

710 20TH AVE S

810 20TH AVE S

20th Avenue South

Clark Street

721 20TH AVE S

731 20TH AVE S

741 20TH AVE S

2010 CLARK ST

1941 CLARK ST

1:1,128

Image, call, or Google Earth and 677120

Municipal Boundaries

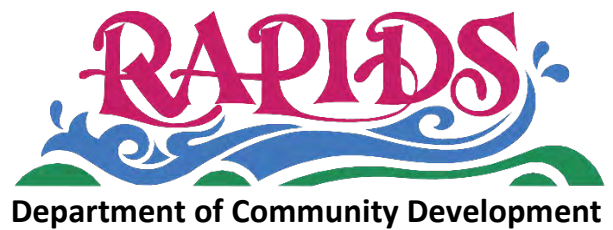
Municipal Boundaries

Parcel

0 50 100 150 200 Feet



Map Powered by the City of Wisconsin Rapids



Administrative Staff Report

Charter Communications
Site Plan & Architectural Review
2140 8th Street South
October 28, 2021

<p>Applicant(s):</p> <ul style="list-style-type: none"> David Reynolds, representing Chart Communications <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3412138 <p>Lot Information:</p> <ul style="list-style-type: none"> Effective Frontage: 66 feet Effective Depth: 254 feet Acreage: 0.38 Acres <p>Zone(s):</p> <ul style="list-style-type: none"> "B-2" General Commercial District <p>Council District:</p> <ul style="list-style-type: none"> District 7 – Delaney <p>Master Plan:</p> <ul style="list-style-type: none"> Commercial <p>Current Use:</p> <ul style="list-style-type: none"> Commercial Office <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 - Zoning 	<p>Request</p> <p>PLAN-21-1082; David Reynolds, representing Charter Communications – request for a site plan review to construct an accessory building at 2140 8th Street South (Parcel ID 3412138)</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Application Site Plan Building Renderings <p>Findings of Fact</p> <ol style="list-style-type: none"> The applicant is requesting to construct an accessory building west of the primary building. The new structure is 364 square feet (approx. 13'x28'). The property is zoned "B-2" General Commercial District. An office-type use is permitted in the B-2 Commercial District A building plan – architectural review (AR), plan of operation (PO), site plan (SP), and zoning permit (ZP) are required. <p>Staff Recommendation</p> <p>Approve the request from the applicant for a site plan review to construct an accessory building at 2140 8th Street South (Parcel ID 3412138), subject to the following condition(s):</p> <ol style="list-style-type: none"> The impervious surface ratio shall not be increase on site. The exterior materials of the building shall match the design and color of the principal building. Light from the business shall not exceed 0.2 foot-candles at neighboring commercial property lines or 0.1 foot-candles at neighboring residential property lines. Applicable permits through the City shall be obtained, including those applicable for fences and asphalt. Community development staff shall have the authority to approve minor modifications to the plans.
--	--



Standards of Review

2) Dimensional Standards

Analysis: The B-2 district requires 10,000 square feet, and the lot is over 16,368 square feet. The proposed accessory building is on an impervious area west of the existing building and meets applicable setbacks. The site is nearly completely impervious surface with a combined building coverage ratio of approximately 12.3% (70% max.). Existing impervious surface ratio is approximately 85-95% (80% max.).

Findings: The accessory structure is proposed on reconstructed asphalt surface area and therefore should not increase the ratio. Staff would recommend that impervious surface ratios shall not be increased on site.

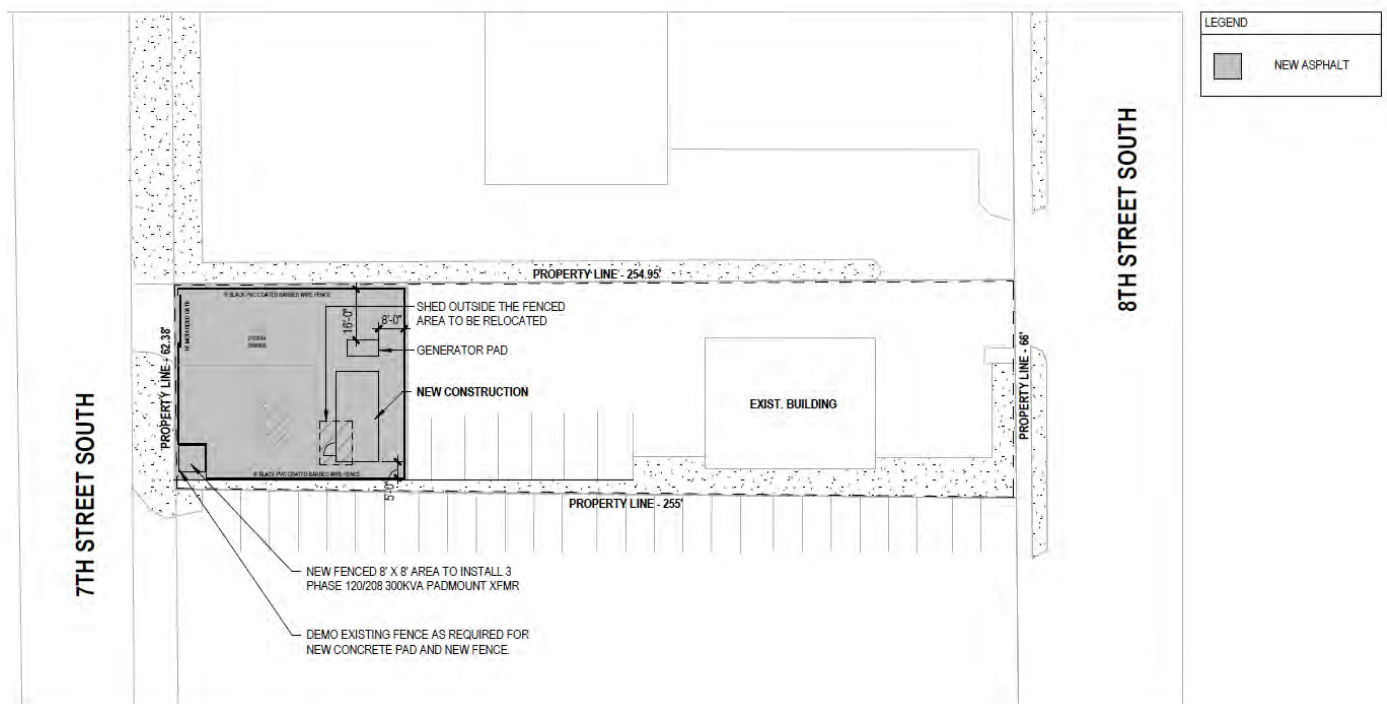
3) Ingress/Egress

Analysis: Two driveway exist for the property, one from 7th Street South and one from 8th Street South. No changes are proposed to the ingress/egress to the site, however, as part of the project, a 6' high fence is proposed with a motorized gate at the 7th Street South Driveway.

Findings: Driveway standards are met, as no changes are proposed to the ingress/egress to the site. Fence standards shall be met, and an applicable permit obtained.

4) Parking

Analysis: The use requires 1 space per 300 square feet of gross floor area, requiring 6 parking stalls (1,536 square feet/300). A total of 6 stalls are proposed on the site plan, however additional parking exists within the front of the principal building. Parking should not increase with the proposed accessory structure.



Findings: The development meets the parking requirements with the existing stalls onsite.

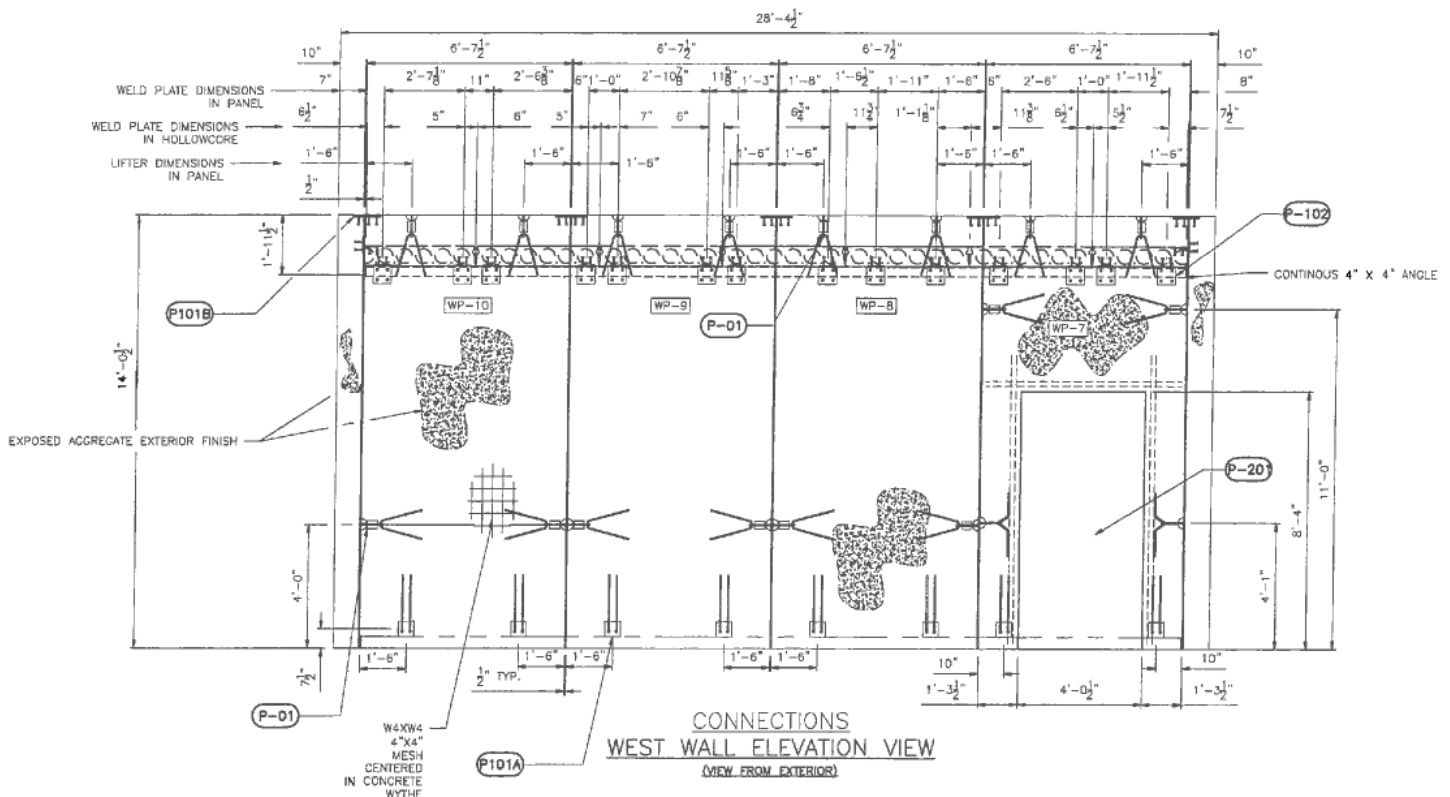
5) Landscaping

Analysis: The proposed building would trigger building foundation landscaping to be required: A minimum of 40 landscape points shall be provided on a prorated basis for every 100 feet of building foundation perimeter. The building has 82 lineal feet of foundation, meaning 33 perimeter landscape points could be required.

Findings: Upon review, staff have determined that the proposed stand-alone building is accessory to the principal structure and would not require landscaping under section 11.16.41, which pertains to principal buildings.

6) Architectural Review

Analysis: Elevations have been submitted, showing the building façade as a precast concrete mesh aggregate. The building will resemble a textured concrete finish. A door is proposed on the west elevation and several small openings on the east elevation. As a precast building, the majority is constructed offsite and then assembled on site.



- a) **Findings:** The accessory structure should blend with the building if it matches in color. Therefore, staff would recommend the exterior materials of the building shall match the design and color of the principal building.



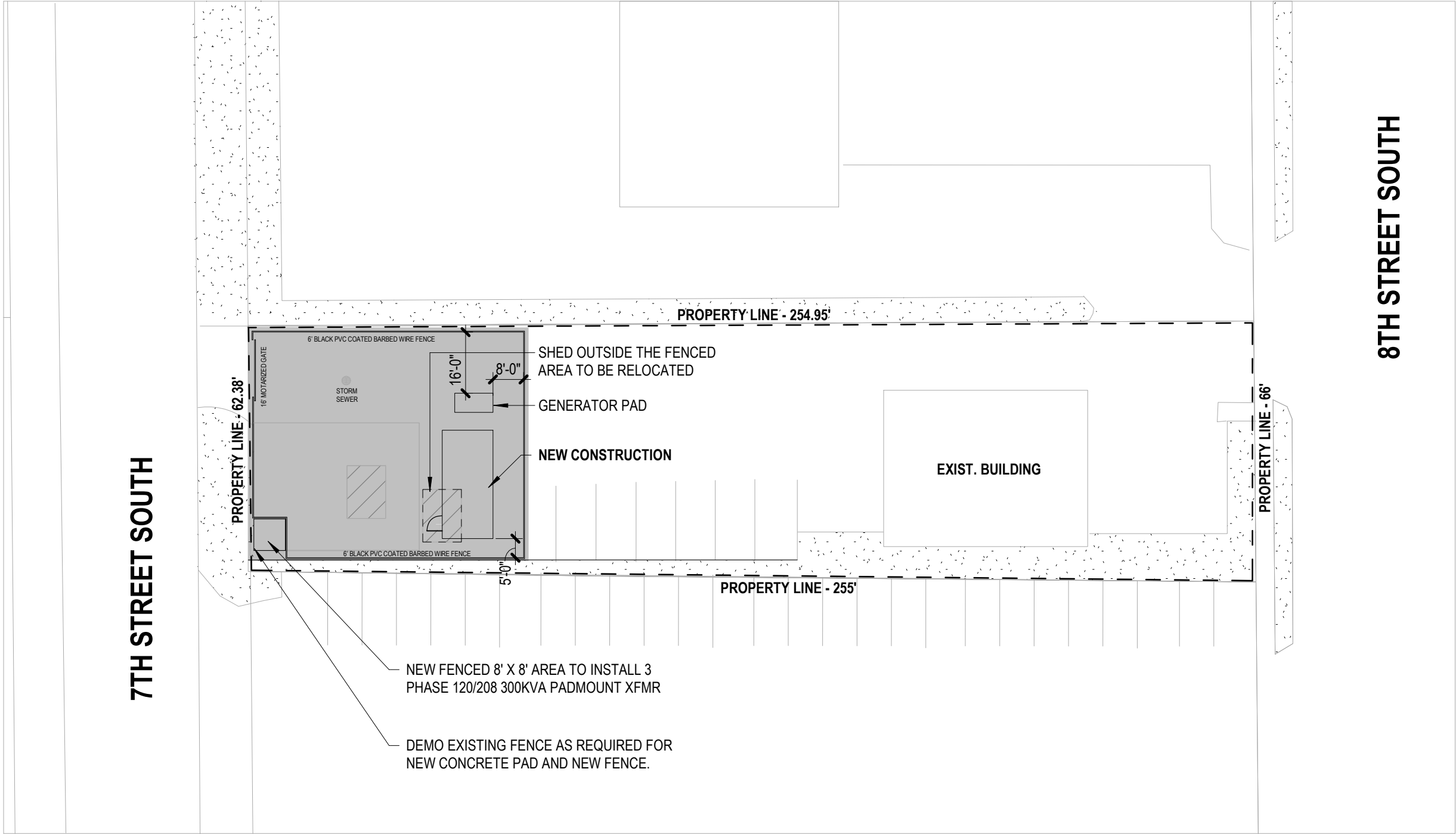
7) Lighting & Photometric Plan

Analysis: Regulations for onsite lighting are related to light trespass (foot-candles) beyond the property line and total lighting levels (lumens). Lighting from the business use should not exceed 0.1 foot-candles at a neighboring residential property line and 0.2 foot-candles at a neighboring residential property line. Any lighting on the exterior of the building is likely to be minimal

Findings: The building will likely not create a large amount of light and is also nearly 500 feet from the adjacent property line; therefore, a lighting plan may not be required. Staff would recommend cut-off lighting fixtures be

used on all elevations, and that the lighting from the business not exceed 0.1 foot-candles at a neighboring residential property line.

In summary, the proposed building is permitted and appropriate for the existing use and site. Furthermore, the building and additional site improvements should not be detrimental to the use and operations at the site, nor within the vicinity. Therefore, staff would recommend approval of the site plan and architectural review, subject to the items mentioned above and summarized on page one of the staff report.



LEGEND	
	NEW ASPHALT

1 SITE PLAN
1" = 30'-0"

DESIGN NOTES(TO BE VERIFIED BY EOR)

1. DESIGN SPECIFICATIONS

- IBC - INTERNATIONAL BUILDING CODE (2018)
- ASCE 7-10
- ACI 318-14
- PCI 8TH ED.
- AISC STEEL CONST. MANUAL (S.C.M.) 14TH ED.

2. LOADS

- DEAD LOAD: SELF WEIGHT + 8 PSF SUPERIMPOSED DEAD LOAD
- FLOOR LIVE LOAD = 0 PSF
- ROOF LIVE LOAD = 20 PSF

3. WIND DESIGN CRITERIA:

- RISK CATEGORY: III
- ULTIMATE DESIGN WIND SPEED = $V_{ult} = 120$ MPH
- EXPOSURE CATEGORY C

4. SEISMIC DESIGN CRITERIA:

- RISK CATEGORY: III
- DESIGN CATEGORY: C
- SITE CLASSIFICATION: D
- SPECTRAL RESPONSE ACCELERATION $S_s = 0.168g$
- SPECTRAL RESPONSE ACCELERATION $S_1 = 0.088g$
- SPECTRAL ACCELERATION AT SHORT PERIOD, $S_{a1} = .179g$
- SPECTRAL ACCELERATION AT 1s PERIOD, $S_{a1} = .141g$
- IMPORTANCE FACTOR, $I_e = 1.25$

5. PROCEDURE:

GROUT SHEAR KEYS WITH 3:1 SAND:CEMENT. GROUT FULL LENGTH.

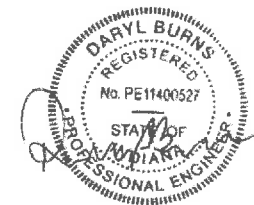
MANUFACTURED BY:QUALITY PRECAST,
INC.7800 ADOBE RD.
KALAMAZOO, MI 49009
PHONE: (269) 342-0539
FAX: (269) 344-4810

PRECAST CONTROL BUILDING
11'-7 1/2" x 26'-8 1/2" x (12'-0" ID)
CHARTER SPECTRUM

PREPARED BY:

DRAWING SCHEDULE

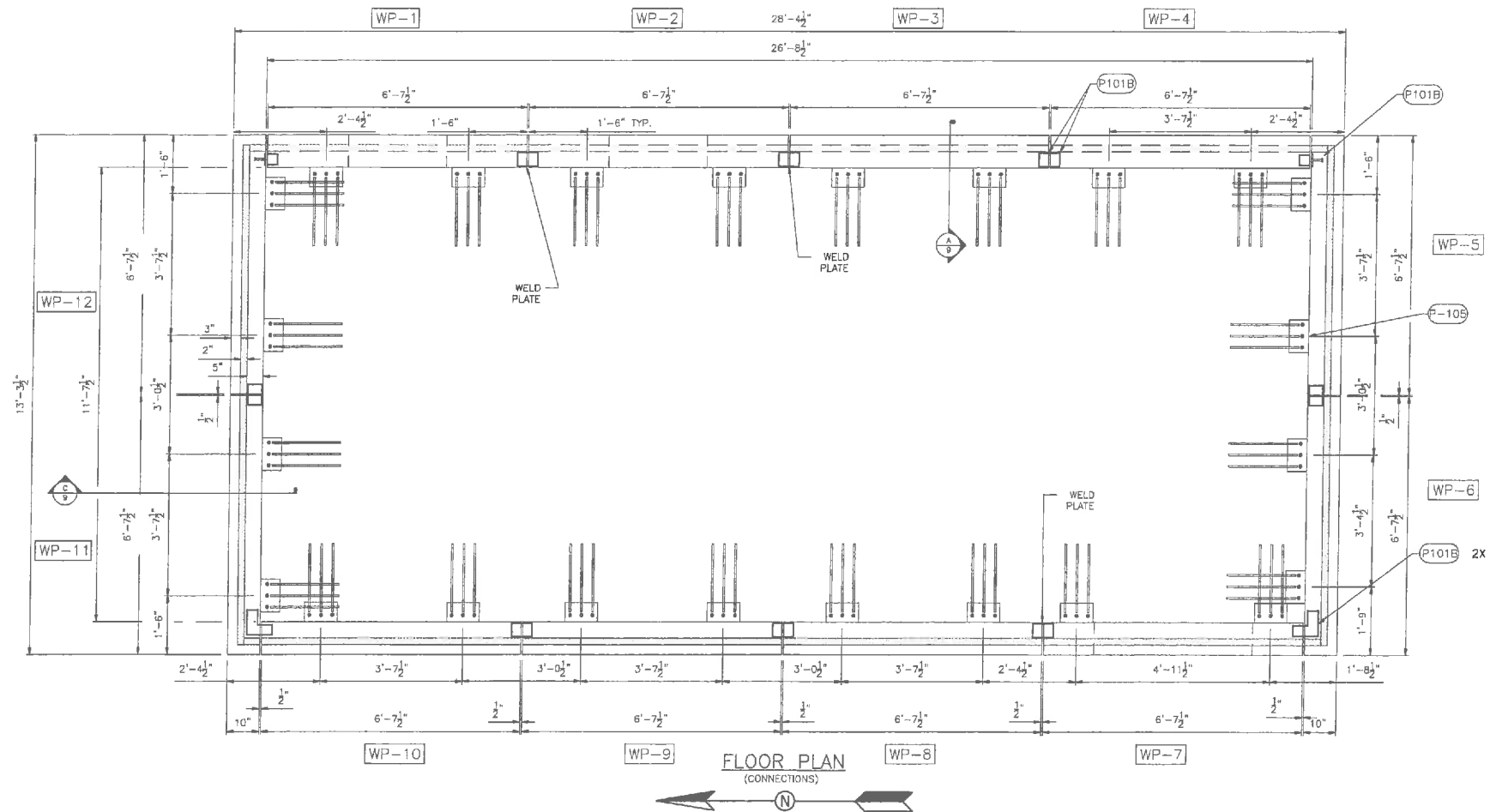
SHEET NO.	DESCRIPTION	REVISIONS	
		REV. NO.	DATE
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2	PLAN VIEW - FLOOR AND CONNECTION	0	
3	PLAN VIEW - ROOF AND CONNECTION	0	
4	NORTH WALL - ELEVATION AND CONNECTION	0	
5	SOUTH WALL - ELEVATION AND CONNECTION	0	
6	WEST WALL - ELEVATION AND CONNECTION	0	
7	EAST WALL - ELEVATION AND CONNECTION	0	
8	NOTES AND BILL OF MATERIAL	0	
9	CONNECTION DETAILS	0	
10	CONNECTION DETAILS	0	
11	CONNECTION DETAILS	0	



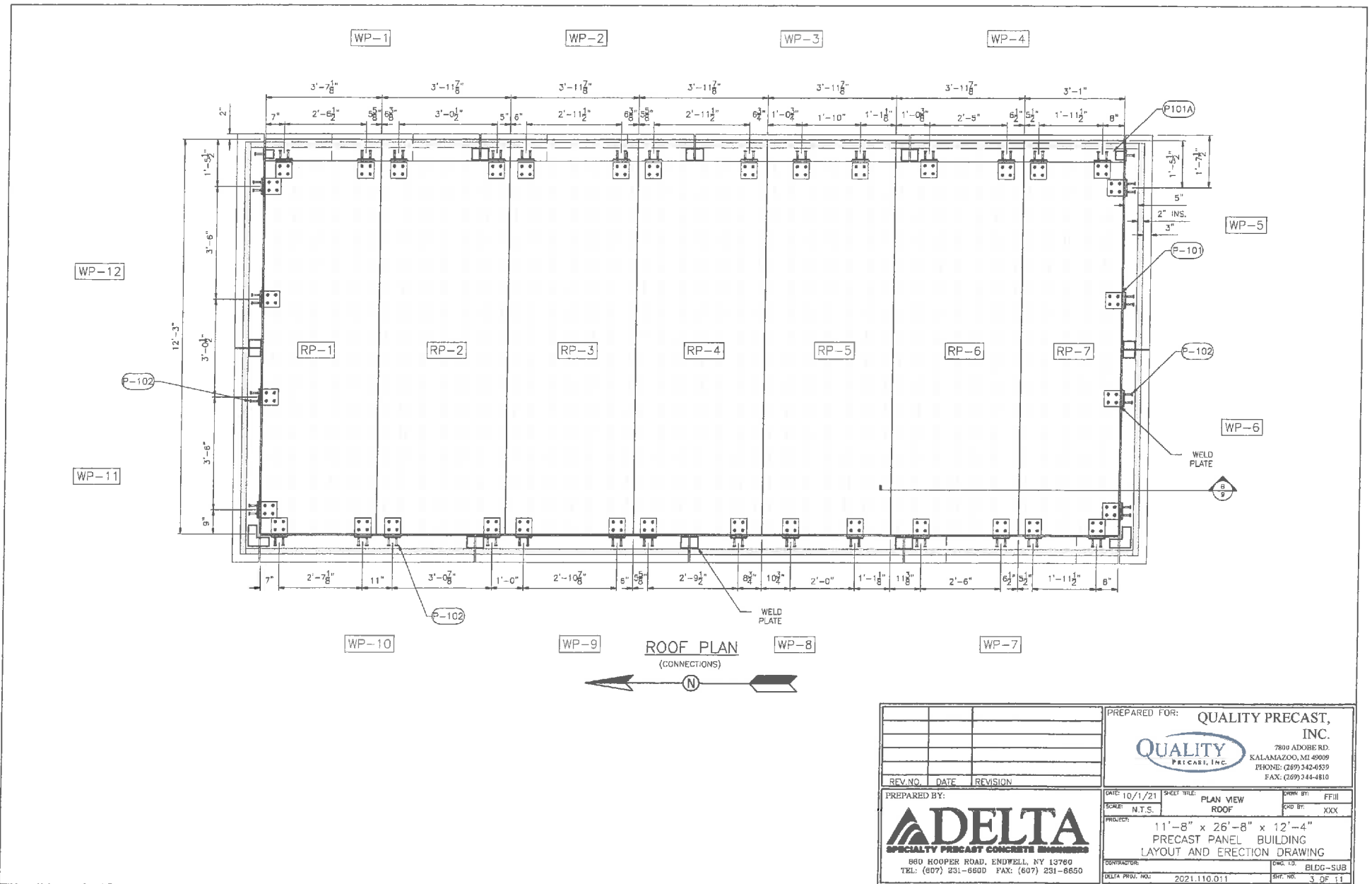
10-18-21

DELTA PROJECT #: 2021.110.011

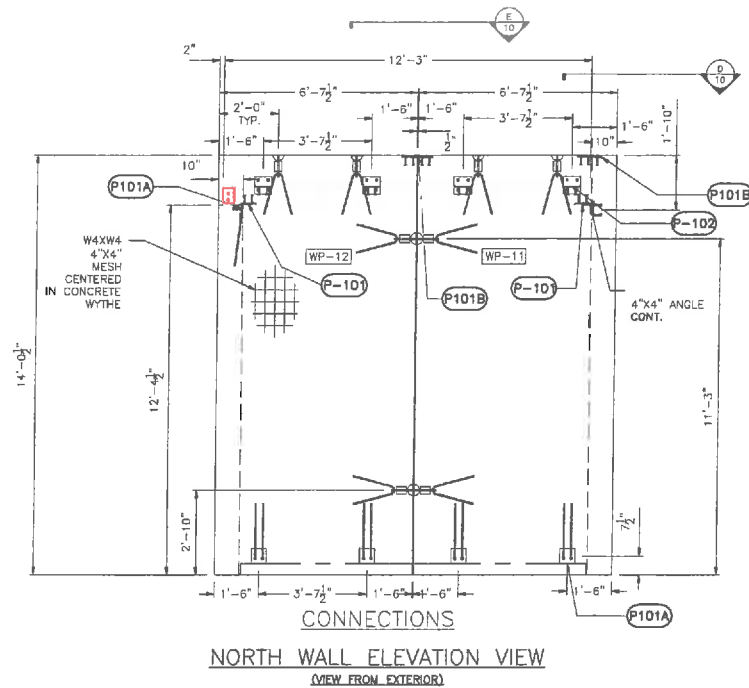
COVER SHEET 1 OF 11



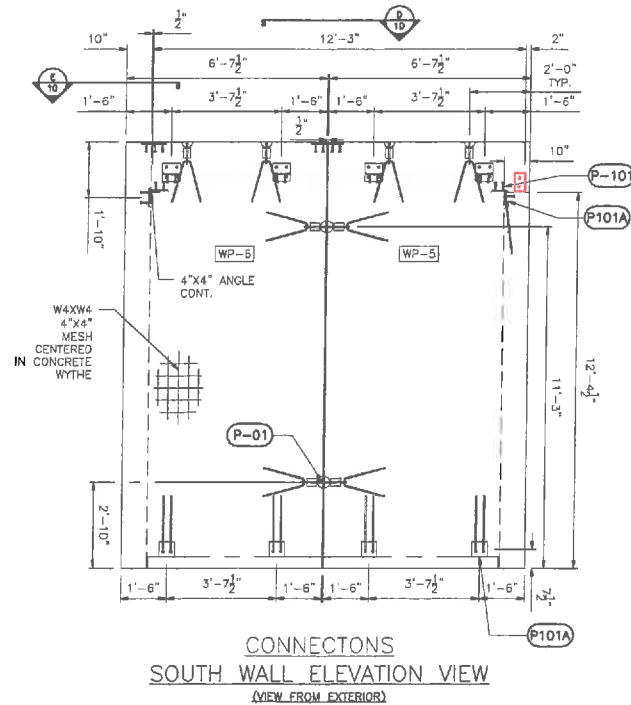
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 30%;">REV. NO.</th> <th style="width: 30%;">DATE</th> <th style="width: 40%;">REVISION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>		REV. NO.	DATE	REVISION										PREPARED FOR: QUALITY PRECAST, INC. 7800 ADOBE RD. KALAMAZOO, MI 49009 PHONE: (269) 342-0559 FAX: (269) 344-4810	
		REV. NO.	DATE	REVISION											
PREPARED BY: DELTA SPECIALTY PRECAST CONCRETE ENGINEERS 860 HOOVER ROAD, ENDWELL, NY 13760 TEL: (607) 231-8600 FAX: (607) 231-8650		DATE: 10/1/21 SHEET TITLE: PLAN VIEW FLOOR DRAWN BY: FFH SCALE: N.T.S. CND BY: XXX PROJECT: 11'-8" x 26'-8" x 12'-4" PRECAST PANEL BUILDING LAYOUT AND ERECTION DRAWING CONTRACTOR: DELTA PRECAST, INC. 2021.110.011 DWG. NO.: BLDG-SUB SHEET NO.: 2 OF 11													




REV. NO. DATE REVISION			PREPARED FOR: QUALITY PRECAST, INC. 7800 ADOBE RD. KALAMAZOO, MI 49009 PHONE: (269) 342-0559 FAX: (269) 344-4810	
PREPARED BY: DELTA SPECIALTY PRECAST CONCRETE ENGINEERS 860 HOOPER ROAD, ENUWELL, NY 13760 TEL: (607) 231-6600 FAX: (607) 231-6650			DATE: 10/1/21 SHEET TITLE: PLAN VIEW ROOF DRAWN BY: FFH SCALE: N.T.S. CHECK BY: XXX PROJECT: 11'-8" x 26'-8" x 12'-4" PRECAST PANEL BUILDING LAYOUT AND ERECTION DRAWING CONTRACTOR: DELTA PRECAST BLDG-SUB: 3 OF 11	



			PREPARED FOR: QUALITY PRECAST, INC. 7800 ADOBE RD. KALAMAZOO, MI 49009 PHONE: (269) 342-0539 FAX: (269) 344-4810		
REV. NO.	DATE	REVISION			
			PREPARED BY: DELTA SPECIALTY PRECAST CONCRETE ENGINEERS 850 HOOPER ROAD, ENDWELL, NY 13780 TEL: (607) 231-6800 FAX: (607) 231-6650		
			DATE: 10/1/21 SHEET TITLE: NORTH WALL ELEVATION AND CONNECTION SCALE: N.T.S. DRAWN BY: FFF PROJECT: 11'-8" x 26'-8" x 12'-4" PRECAST PANEL BUILDING LAYOUT AND ERECTION DRAWING CONTRACTOR: DELTA PRECAST, INC. SHEET NO. 4 OF 11		





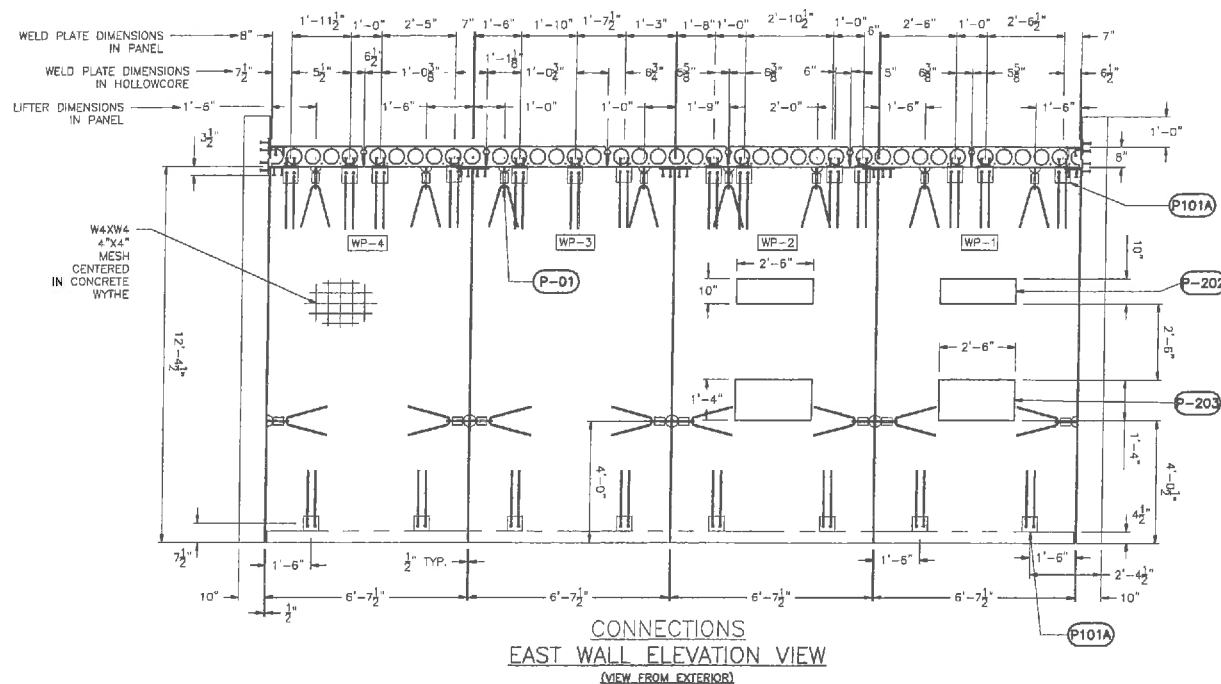
REV. NO.		DATE	REVISION
PREPARED BY:			
 890 HOOPER ROAD, ENLOWELL, NY 13760 TEL: (807) 231-6800 FAX: (807) 231-6650			
DATE: 10/1/21		SHEET TITLE: SOUTH WALL	
SCALE: N.T.S.		ELEVATION AND CONNECTION	
PROJECT: 11'-8" x 26'-8" x 12'-4"		CRE. BY: XXX	
CONTRACTOR: DELTA PRECAST, INC.		BLDG. NO. BLDG-SUB	
DELTA PROJ. NO.: 2021.110.011		SHT. NO. 5 OF 11	



PREPARED FOR: QUALITY PRECAST, INC.
 7800 ADOBE RD.
 KALAMAZOO, MI 49009
 PHONE: (269) 342-0559
 FAX: (269) 344-4810

QUALITY PRECAST, INC.
 11'-8" x 26'-8" x 12'-4"
 PRECAST PANEL BUILDING
 LAYOUT AND ERECTION DRAWING



			PREPARED FOR: QUALITY PRECAST, INC.  7800 ADOBE RD. KALAMAZOO, MI 49009 PHONE: (269) 342-8139 FAX: (269) 344-8810	
REV. NO.	DATE	REVISION		
PREPARED BY:  SPECIALTY PRECAST CONCRETE ENGINEERS 860 HOOPER ROAD, ENDWELL, NY 13760 TEL: (807) 231-6600 FAX: (807) 231-6650			DATE: 10/1/21 SHEET TITLE: WEST WALL SCALE: N.T.S. ELEVATION AND CONNECTION PRODUCT: 11'-8" x 26'-8" x 12'-4" PRECAST PANEL BUILDING LAYOUT AND ERECTION DRAWING	
			CONTRACT NO.	DRWG. NO. BLDG.-SUB DELTA PROJ. NO. 2021.110.011 SHEET NO. 6 OF 11



			PREPARED FOR: QUALITY PRECAST, INC.  7800 ADOBE RD. KALAMAZOO, MI 49009 PHONE: (609) 342-0539 FAX: (269) 344-4810		
REV. NO.			DATE		REVISION
PREPARED BY:			DATE: 10/1/21 SCALE: N.T.S. PROJECT:		
 860 HOOPER ROAD, ENDWELL, NY 13760 TEL: (607) 231-8600 FAX: (607) 231-6850			SHEET FILE: EAST WALL ELEVATION AND CONNECTION		DRAWN BY: FJHJ CDD BY: XXX
			11'-8" x 26'-8" x 12'-4" PRECAST PANEL BUILDING LAYOUT AND ERECTION DRAWING		
CONTRACTOR: DELTA PROJ. NO.: 2021.110.011			CONC. ID.: BLDG-SUB DATE: 7 OF 11		

MATERIALS FOR PRECAST CONCRETE PROJECTS

- CONCRETE: Hard Rock 150 pcf; $f'c$ = 5000 psi; typ. u.n.o.
- CONCRETE STRENGTH AT STRIPPING $f'ci$ = 2500 psi.
- CONCRETE STRENGTH AT STRESSING $f'ci$ = 3750 psi.
- WELDED WIRE FABRIC: ASTM A1064, F_y = 65 ksi > W1.2, F_{su} = 75 ksi.
- REINFORCING BARS (Non-weldable): A615-60, F_y = 60 ksi, F_u = 90 ksi
- REINFORCING BARS (Weldable): A706, F_y = 60 ksi, F_u = 80 ksi
- PRESTRESSING - 1/2" 270 ksi 7 Wire Low Relaxation Strands ASTM A416
 - P Jack = 31 Kip Max.
 - P Seat = 29 Kip
 - P Eff = 23.55 Kip
- STEEL PLATE; FLAT BAR, STRUCTURAL SHAPES; ASTM A36 (F_{su} = 58 ksi). BLACK IRON
- STEEL TUBES; ASTM A500 GRADE B (F_{su} = 46 ksi). BLACK IRON
- MACHINE THREADED RODS ASTM A36. ELECTROPLATED PER ASTM B633, SC3
- NATIONAL COARSE THREAD BOLTS: ASTM A307. ZINC COATED PER ASTM A123
- COIL THREADED RODS ASTM A36 (F_y =36 ksi). ELECTROPLATED PER ASTM B633, SC3
- WELDS PER AWS D1.1 - PREQUALIFIED WELDING PROCESSES ONLY
(SMAW; FCAW; GMAW OR SAW) WITH LOW HYDROGEN E70XX
- WELDING SPECIFICATIONS:
- Welding of Structural Steel
 - AWS D1.1-98; E70XX Welding of Reinforcing Bars
 - AWS D1.4-98; E70XX Welding of Sheet Steel
 - AWS D1.3-98; E70XX
- ELECTRODES, PREHEAT ALL STEEL SECTIONS GREATER THAN 3/4" THICK.
- HEADED WELDING STUDS ASTM A496 OR ASTM A108
(F_y = 54 ksi, F_{su} = 60 ksi, AWS D1.1, CHAPTER 4, PART F).
- DEFORMED BAR ANCHORS ASTM A496 (F_y = 70 ksi, F_{su} = 80 ksi USE 1/2"; 5/8" OR 3/4" SIZES).
- CONCRETE INSERTS (COIL OR FERRULE LOOP): ALP. ELECTROPLATED PER ASTM B633
- HANDLING INSERTS: ALP, BURKE RAPID-LIFT OR DAYTON-RICHMOND. ELECTROPLATED PER ASTM B633
- ERECTION INSERTS: ALP, BURKE ERECTION ANCHORS, DAYTON-SUPERIOR B-18 OR B-33 COIL LOOP INSERTS.
ELECTROPLATED PER ASTM B633

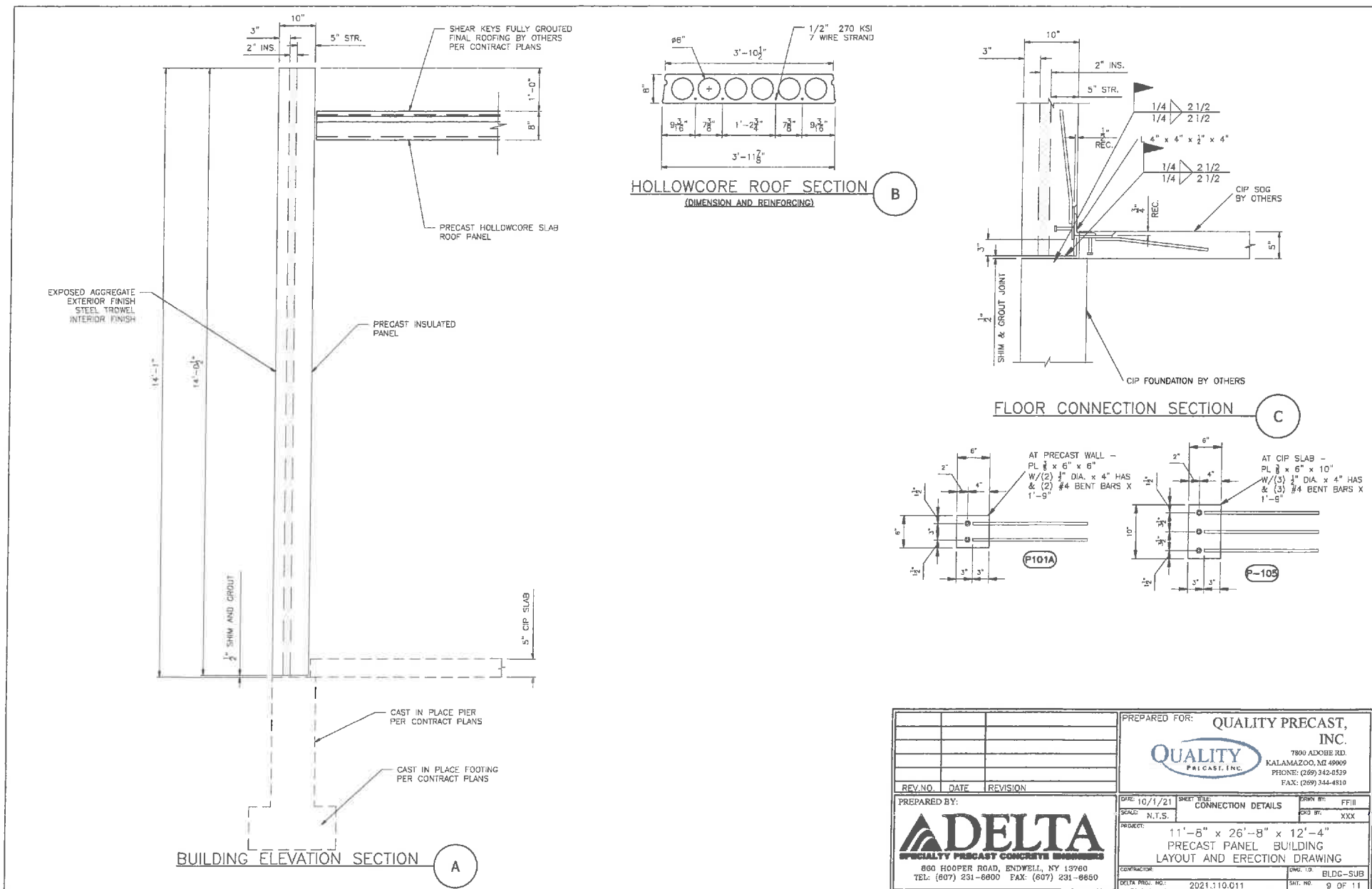
TABLE OF UNITS

DESCRIPTION	CUBIC YARDS	WEIGHT
4'-0" X 12'-3" HOLLOWCORE PANEL	.645	2,613
6'-7" X 14'-0" INSULATED PANEL	2.296	9,302
6'-7" X 14'-0" INSULATED PANEL W/DOOR	1.465	5,934
6'-7" X 12'-4" INSULATED PANEL	2.024	8,198

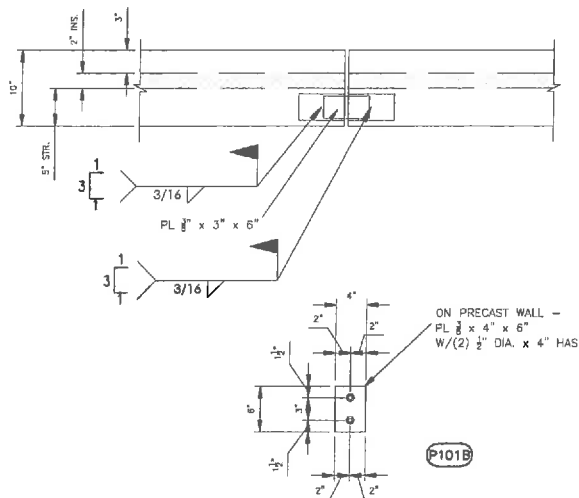
BILL OF MATERIAL

MARK	DESCRIPTION	QTY. EACH
P-01	4T ALP QLO77G QUIKLIIFT INSULATED PANEL LIFTER	
P-02	4T ALP QLO44G QUIKLIIFT PLATE LIFTER	
P-03	1"X4" ALP C15314P	
P-101	PL 3/8"X6"X6" W/STUDS	
P-101A	PL 3/8"X6"X6" W/STUDS & BARS	
P-101B	PL 3/8"X4"X6" W/STUDS	
P-102	PL 3/8"X7"X7" W/STUDS	
P-103	L 3/8"X5"X3"X6" W/BARS	
P-104	PL 3/8"X5"X6" W/BARS	
P-105	PL 3/8"X6"X10" W/STUDS & BARS	
P-201	4'-0 1/2"X6'-4" DOOR OPENING	
P-202	10" X 2'-6" OPENING	
P-203	1'-4" X 2'-6" OPENING	
INS	2" INSULATION	
MSH	W4XW4 4"X4" MESH	

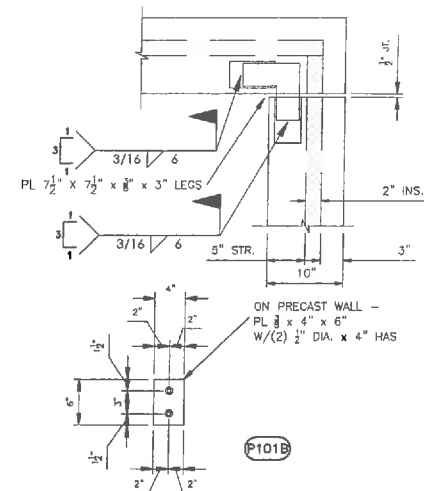
REV NO.		DATE	REVISION
PREPARED BY: DELTA SPECIALTY PRECAST CONCRETE SERVICES 860 HOOPER ROAD, ENDWELL, NY 13760 TEL: (607) 231-6600 FAX: (607) 231-6650			
PREPARED FOR: QUALITY PRECAST, INC. 7800 ADOBE RD. KALAMAZOO, MI 49009 PHONE: (269) 342-0539 FAX: (269) 344-4810		DATE: 10/1/21 SCALE: N.T.S. PROJECT: 11'-8" x 26'-8" x 12'-4" PRECAST PANEL BUILDING LAYOUT AND ERECTION DRAWING	
SHEET TITLE: EAST WALL ELEVATION AND CONNECTION CONTRACTOR: DELTA PRECAST, INC. DELTA PROJ. NO.: 2021.110.011		DRAWN BY: FHH CRO BY: XXX DWG. TO: BLDG-SUB SHW. NO.: 8 OF 11	




REV. NO. DATE REVISION			PREPARED FOR: QUALITY PRECAST, INC. 7900 ADOBE RD. KALAMAZOO, MI 49009 PHONE: (269) 342-0539 FAX: (269) 344-4810		
PREPARED BY: DELTA SPECIALTY PRECAST CONCRETE DIVISION 860 HOOPER ROAD, ENDWELL, NY 13760 TEL: (807) 231-6800 FAX: (607) 231-6850			DATE: 10/1/21 SHEET TITLE: CONNECTION DETAILS DRAWN BY: FFH SCALE: N.T.S. CHK BY: XXX		
PROJECT: 11'-5" x 26'-8" x 12'-4" PRECAST PANEL BUILDING LAYOUT AND ERECTION DRAWING					
CONTRACTOR:			DWG. TO: BLDG-SUB		
DELTA PROJ. NO.: 2021.110.011			SHT. NO. 9 OF 11		

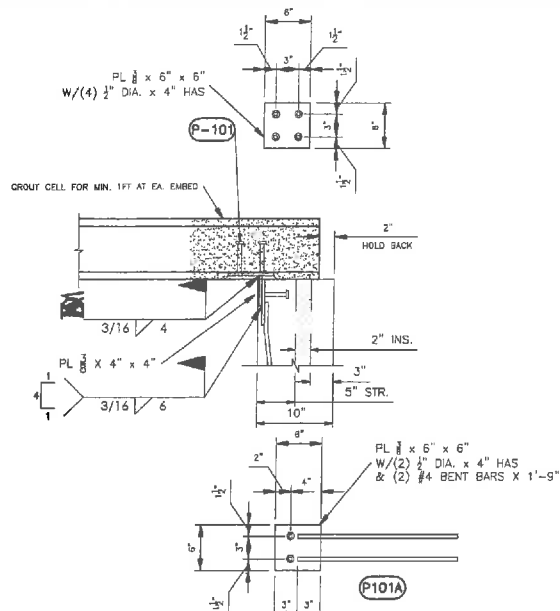


PANEL TO PANEL TOP CONNECTION
PLAN VIEW
(PANEL TO PANEL)

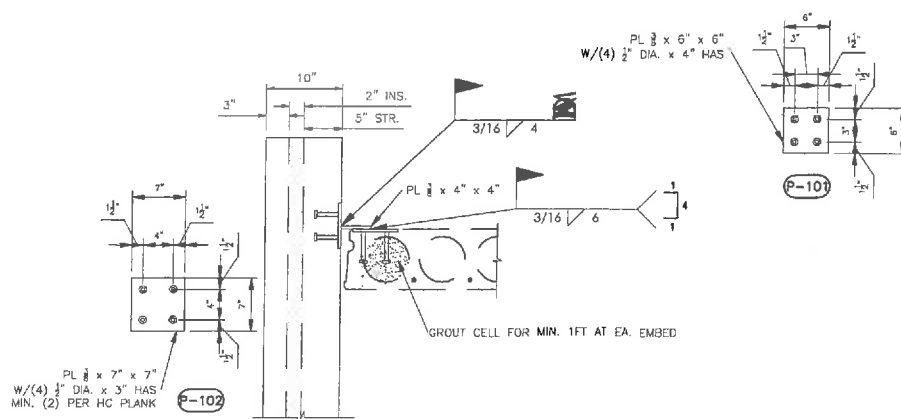


TOP CORNER CONNECTION
PLAN VIEW
(PANEL TO PANEL)

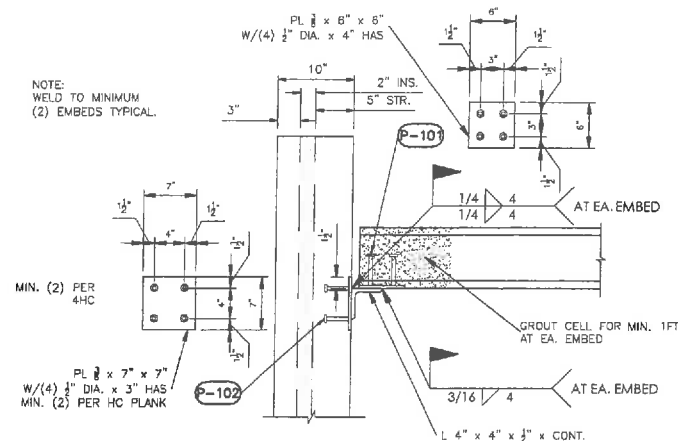
 <p>SPECIALTY PRECAST CONCRETE ENGINEERS</p> <p>860 HOOVER ROAD, ENDWELL, NY 13760 TEL: (607) 231-6800 FAX: (607) 231-6850</p>			<p>PREPARED FOR: QUALITY PRECAST, INC. 7800 ADOBE RD. KALAMAZOO, MI 49009 PHONE: (269) 342-5539 FAX: (269) 344-4810</p>		
<p>REV NO. DATE REVISION</p>			<p>DATE: 10/1/21 SHEET TITLE: CONNECTION DETAILS DRAWN BY: FTHH SCALE: N.T.S. CHD BY: XXX</p>		
<p>11'-8" x 26'-8" x 12'-4" PRECAST PANEL BUILDING LAYOUT AND ERECTION DRAWING</p>			<p>CONTRACT NO.: DWG. NO.: BLDG-SUB DELTA PROJ. NO.: 2021.110.011 SHT. NO.: 10 OF 11</p>		



ROOF CONNECTION SECTION
ELEVATION VIEW
(LONG SIDE - LOAD BEARING ON WALL) F



ROOF CONNECTION SECTION
ELEVATION VIEW
(SHORT SIDE - NON LOAD BEARING) G



ROOF CONNECTION SECTION
ELEVATION VIEW
(LONG SIDE - LOAD BEARING) H

REV. NO.		DATE	REVISION
<p>PREPARED BY: DELTA SPECIALTY PRECAST CONCRETE ENGINEERS 880 HOOPER ROAD, ENDWELL, NY 13760 TEL: (607) 231-6600 FAX: (607) 231-6650</p>			
PREPARED FOR: QUALITY PRECAST, INC. 7800 ADOBE RD. KALAMAZOO, MI 49009 PHONE: (269) 342-0539 FAX: (269) 344-4810		<p>DATE: 10/1/21 SHEET TITLE: CONNECTION DETAILS SCALE: N.T.S. DRAWN BY: FFH CHK BY: XXX</p>	
PROJECT: 11'-6" x 26'-8" x 12'-4" PRECAST PANEL BUILDING LAYOUT AND ERECTION DRAWING		<p>CONTRACTOR: DELTA PRECAST, INC. DATE: 2021.11.01.11</p>	