



PLAN COMMISSION MEETING

December 6, 2021
4:00 PM

PUBLIC MEETING NOTICE

PLANNING COMMISSION

Mayor Blaser, Chairperson
Ryan Austin, Alderperson
Shane Burkart
Lee Thao
Susan Feith
Eric Daven
Ben Goodreau

AGENDA ITEM RECIPIENTS

Sue Schill, City Attorney
Erika Esser, Secretary
Jennifer Gossick, City Clerk

Notice is hereby given of a meeting of the Wisconsin Rapids Plan Commission held within the Council Chambers at City Hall, 444 West Grand Avenue, Wisconsin Rapids, and via remote audioconferencing on **December 6, 2021, at 4:00 PM. The public can listen to the meeting by calling 1-312-626-6799, Access code: 883 0163 6043.** The meeting will also be streamed LIVE on the City of Wisconsin Rapids Facebook page. This meeting is also available after its conclusion on the City's Facebook page and Community Media's YouTube page, which can be accessed at www.wr-cm.org. If a member of the public wishes to submit comments to the Commission regarding an agenda item, please contact Kyle Kearns via email or phone at kkearns@wirapids.org or 715-421-8225 before the meeting.

AGENDA

1. Approval of the reports from the November 1, 2021, Plan Commission meeting
2. **Plan-21-1203; Consolidated Water Power Company** – request to alter boundary lines of a nonconforming lot to lessen the nonconformity at 2721 5th Avenue (Parcel ID's 3400447A, & 3400310)
3. **PLAN-21-1193; Assumption High School** – request for a sign exception to increase the maximum height for a proposed ground sign from 8 feet to 10 feet 3 inches at 445 Chestnut St. (Parcel ID 3408404)
4. **PLAN-21-1185; Theresa Cashman, Out of the Box Coffee House** – request for a site plan review for the expansion of an existing café at 3820 8th Street South (Parcel ID 3413806)
5. **PLAN-21-1176; Kyle Stern** – public hearing and action on a request for a conditional use permit to renovate the building into mixed-use housing at 1551 West Grand Avenue (Parcel ID 3402369)
6. Adjourn

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at this meeting is not possible due to a disability or other reasons, notification to the city clerk's office at least 24 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the clerk at (715) 421-8200 to request accommodations.

PUBLISH: November 19th and November 26th, 2021

NOTICE OF PUBLIC HEARING

PLEASE TAKE NOTICE that the City of Wisconsin Rapids Planning Commission will hold a **Public Hearing on Monday, December 6, 2021 at 4:00 PM** within the Council Chambers at City Hall, 444 West Grand Avenue, Wisconsin Rapids. Participation at the public hearing can be in-person or via remote audioconferencing. **The public can also participate in the hearing by calling 1-312-626-6799 Access code: 883 0163 6043.** The meeting will also be streamed LIVE on the City of Wisconsin Rapids Facebook page. The following items will be heard and possibly acted on:

1. Public hearing and action on a request from Kyle Stern for a conditional use permit to renovate the building into mixed-use housing at 1551 West Grand Avenue (Parcel ID 3402369).

Further details regarding the specific requests can be obtained within the Community Development Department at City Hall, or by calling the department at 715-421-8228.

The City of Wisconsin Rapids encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk's office at least 48 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. Call the Clerk at (715) 421-8200 to request accommodations.

Jennifer Gossick,
Wisconsin Rapids City Clerk

REPORT OF THE PLANNING COMMISSION

Date of Meeting: Nov 1, 2021

Report #1

The Planning Commission met at 4:00 p.m. on November 1, 2021, in the City of Wisconsin Rapids Council Chambers, 444 West Grand Avenue, and via remote audioconferencing. Members present included Chairperson Shane Blaser, Susan Feith, Eric Daven; via Zoom were Ryan Austin and Ben Goodreau. Commissioners Lee Thao and Shane Burkart were absent. Also attending remotely were Community Development Director Kyle Kearns and Danita Carlson representing Love INC of South Wood County.

The meeting was called to order at 4:00 p.m.

1. Approval of the reports from the October 4 and October 19, 2021, Plan Commission meetings

Motion by Daven to approve the reports from the October 4 and October 19, 2021

Plan Commission meetings; second by Feith.

Motion carried (5 – 0)

2. **County of Wood** – request to discontinue (vacate) a portion of Avon Street, north of Market Street and South of 5th Street North.

Motion by Feith to approve the County of Wood request to discontinue (vacate) a portion of Avon Street, north of Market Street and South of 5th Street North; second by Daven.

Motion carried (5 – 0)

3. **PLAN-21-1028; Love INC of South Wood County** – request for a site plan review to perform site improvements at 710 20th Avenue South (Parcel ID 3403987)

Motion by Blaser to approve PLAN-21-1028, request for a site plan review to perform site improvements at 710 20th Avenue South (Parcel ID 3403987), subject to the following conditions:

1. An updated site plan showing all required dimensions, shall be submitted, to be reviewed and approved by the Community Development Department.
2. Proper signage shall be installed identifying vehicle directions.
3. A landscaping plan shall be submitted, to be reviewed and approved by the Community Development Department.
4. Light from the parking area shall not exceed 0.2 foot-candles at a neighboring commercial property line and 0.1 foot-candles at the neighboring residential property line.
5. Applicable permits through the City shall be obtained.
6. Community development staff shall have the authority to approve minor modifications to the plans.

Second by Austin.

Motion carried (5 – 0)

4. **PLAN-21-1082; David Reynolds, representing Charter Communications** – request for a site plan review to construct an accessory building at 2140 8th Street South (Parcel ID 3412138)

Commissioners discussed electrical safety standards as well as fencing and landscaping for the accessory building, to which Staff replied.

Motion by Daven to approve PLAN-21-1082, request for a site plan review to construct an accessory building at 2140 8th Street South (Parcel ID 3412138) subject to the following conditions:

1. The impervious surface ratio shall not be increase on site.
2. The exterior materials of the building shall match the design and color of the principal building. Light from the business shall not exceed 0.2 foot-candles at neighboring commercial property lines or 0.1 foot-candles at neighboring residential property lines.
3. Applicable permits through the City shall be obtained, including those applicable for fences and asphalt.
4. Community Development staff shall have the authority to approve minor modifications to the plans.

Second by Goodreau.

Motion carried (5 – 0)

5. Adjourn

Motion to adjourn by Blaser; second by Daven.

Motion carried (5 – 0)

Meeting adjourned at 4:15 p.m.

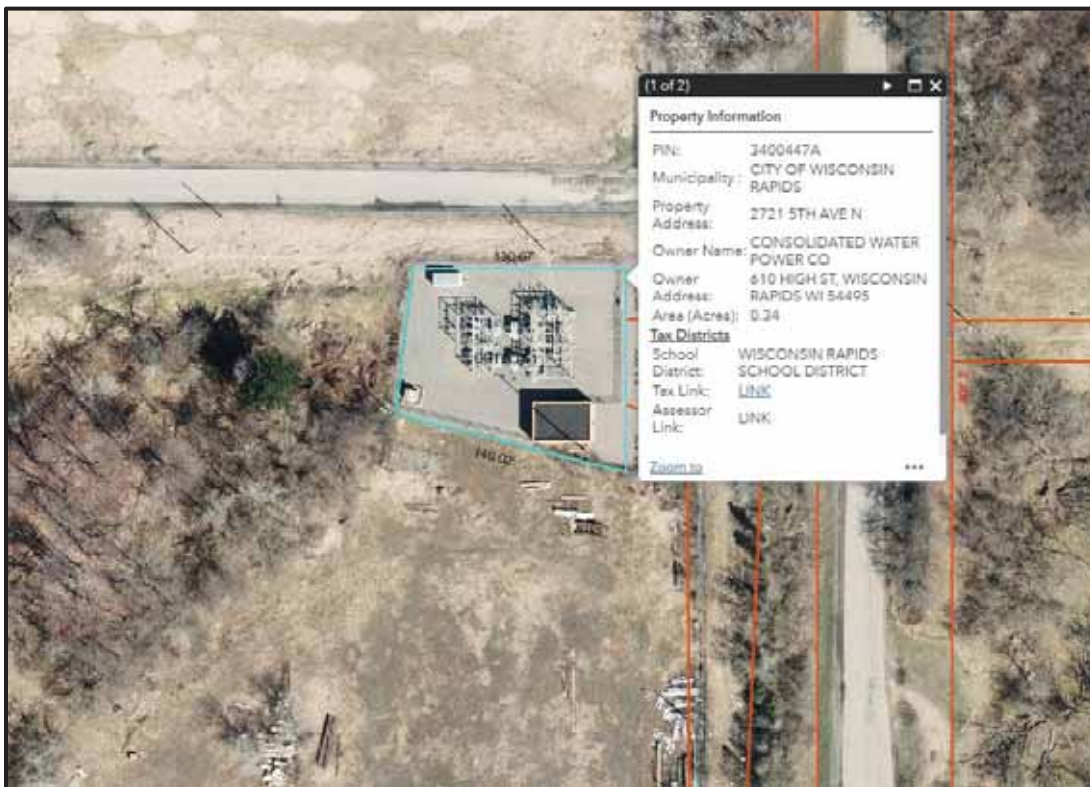
Respectfully submitted by Erika Esser, Secretary



Memo

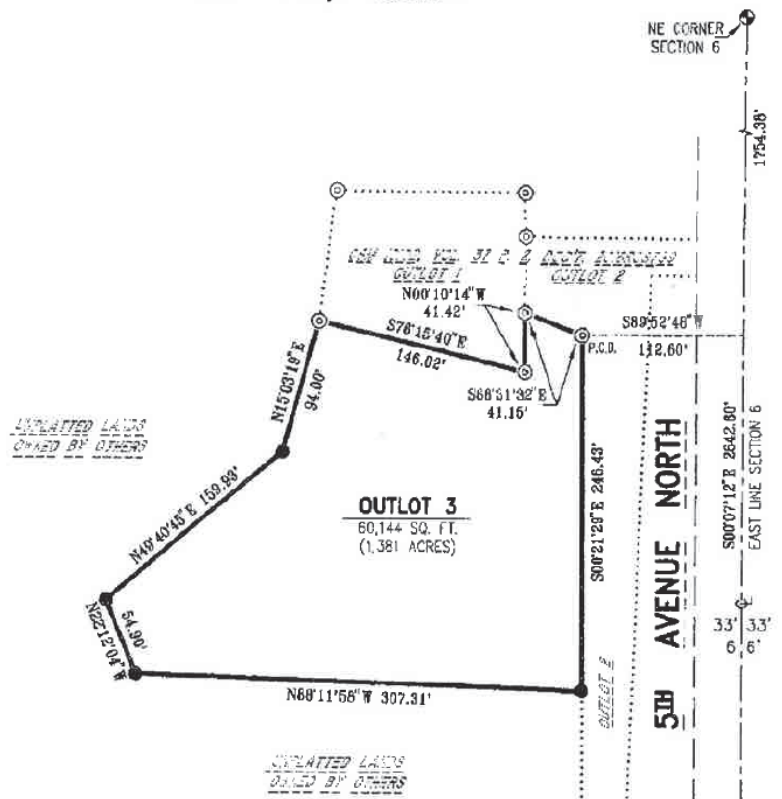
To: Plan Commission
From: Kyle Kearns
Date: 11/30/2021
Subject: **Plan-21-1203; Consolidated Water Power Company** – request to alter boundary lines of a nonconforming lot to lessen the nonconformity at 2721 5th Avenue (Parcel ID's 3400447A, & 3400310)

Consolidated Water Power Company (CWPCo) is proposing to expand a nonconforming lot and alter boundary lines. Currently the lot in question is nonconforming due to the small lot size, shown below.



The property serves as the Water Quality Substation for CWPCo, and expansion will allow for future growth of the use and associated uses to serve the substation. Note that the property is zoned Rural Residential District (RR), which requires a 5 acres minimum lot size. The applicant has created an outlot to be combined with the parcel above, increasing the total size to 1.72 acres, which lessens the lot size nonconformity.

EXHIBIT 'D'
Verso Corporation – Water Quality Substation
 Part of the SE¼NE¼, Section 6, T22N, R6E, City of Wisconsin Rapids,
 Wood County, Wisconsin



Per section 11.19.03 of the Zoning Ordinance below, Plan Commission shall review and act on the request.

(b) Alteration of property boundary lines.

The location of a property boundary line of a nonconforming lot shall not be modified by any means, except when the new property boundary line location will make the nonconforming lot to be conforming or lessen the nonconformity. Any such change in a property boundary location shall be reviewed and approved by the Planning Commission.

Upon review, the ingress/egress will remain the same for the parcel, however, the lot size will increase to become more conforming to the 5-acre minimum standards. The outlot created also is to convey the land to CWPCo from its current owner but will ultimately be combined with the existing lot. The remaining lands will meet the applicable zoning standards. Staff would recommend approving the lot adjustments as proposed.



Zoning Permit Application
City of Wisconsin Rapids, Wisconsin
 Version: January 3, 2019

Community Development Department
 444 West Grand Avenue
 Wisconsin Rapids, WI 54495-2780
 P: (715) 421-8228 Fax: (715) 421-8291

Overview: A zoning permit is administrative in nature and is intended to ensure that certain types of land uses are in compliance with the zoning code and any precedent approvals (e.g., conditional use approvals).

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

Application fee: \$150.00 for commercial; \$50.00 for residential; \$10.00 for accessory structures

Application submittal deadline: Applications may be submitted at any time.

OFFICE USE ONLY

Application Number: _____ **Fee Paid:** \$ _____ **Fee Received By:** _____ **Date Received:** _____

Parcel Number: 3400447A & 3400310 **Property Address:** 2721 5th Avenue North

Property Owner		Agent, if any
Name	Consolidated Water Power Company	Mark E. Anderson
Street address	610 High Street	Resources Manager - CWPCo
City, state, zip code	Wisconsin Rapids, WI 54495	
Daytime telephone	715-422-3927	
E-mail address	mark.anderson2@versoco.com	

General description of proposed project:

Request to combine nonconforming lot Outlot 3 (parcel no. 3400310 - 1.381 acres) with Outlot 1 (0.340 acres) from the attached Plat of Survey (Exhibit D - Verso Corporation - Water Quality Substation) to lessen the nonconformity. Outlot 1 is an existing utility substation and Outlot 3 will provide for potential future expansion and/or support to the utility operation.

Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> RR Rural Residential | <input type="checkbox"/> R-8 Manufactured Home Park | <input type="checkbox"/> M-1 General Industrial |
| <input type="checkbox"/> R-1 Single-family Residential | <input type="checkbox"/> B-1 Downtown Commercial | <input type="checkbox"/> M-2 Heavy Industrial |
| <input type="checkbox"/> R-2 Mixed Residential | <input type="checkbox"/> B-2 General Commercial | <input type="checkbox"/> I-1 Institutional |
| <input type="checkbox"/> R-3 Multi-family Medium Density Residential | <input type="checkbox"/> B-3 Neighborhood Commercial | <input type="checkbox"/> P-1 Park and Recreation |
| <input type="checkbox"/> R-4 Multi-family High Density Residential | <input type="checkbox"/> B-5 Mixed Use Commercial | <input type="checkbox"/> C-1 Conservancy |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

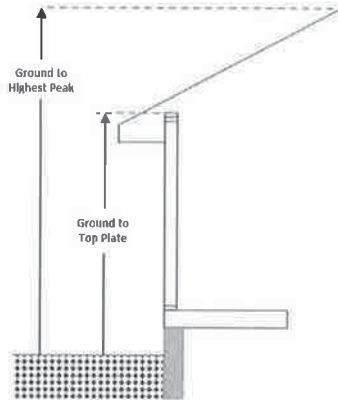
- | | | |
|--|--|--|
| <input type="checkbox"/> Planned Development (PDD) | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Floodplain |
| <input type="checkbox"/> Downtown Design | <input type="checkbox"/> Shoreland-Wetland | <input type="checkbox"/> Wellhead Protection |

Floor Area of Buildings (in square feet from exterior wall to exterior wall)

	Existing	Proposed
Principal building (first floor)		
Principal building (second floor)		
Attached garage		
Detached building (#1)		
Detached building (#2)		
Total		

Height of Proposed Building(s)

	Building 1		Building 2		Building 3	
	Ground to Top Plate	Ground to Highest Peak	Ground to Top Plate	Ground to Highest Peak	Ground to Top Plate	Ground to Highest Peak
Front						
Left						
Right						
Rear						



Applicant certification

- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.

Property Owner:

Consolidated Water Power Company
Name – print

Mark Anderson
Name – Signature

Digitally signed by Mark Anderson
Date: 2021.11.30 10:45:07 -06'00'

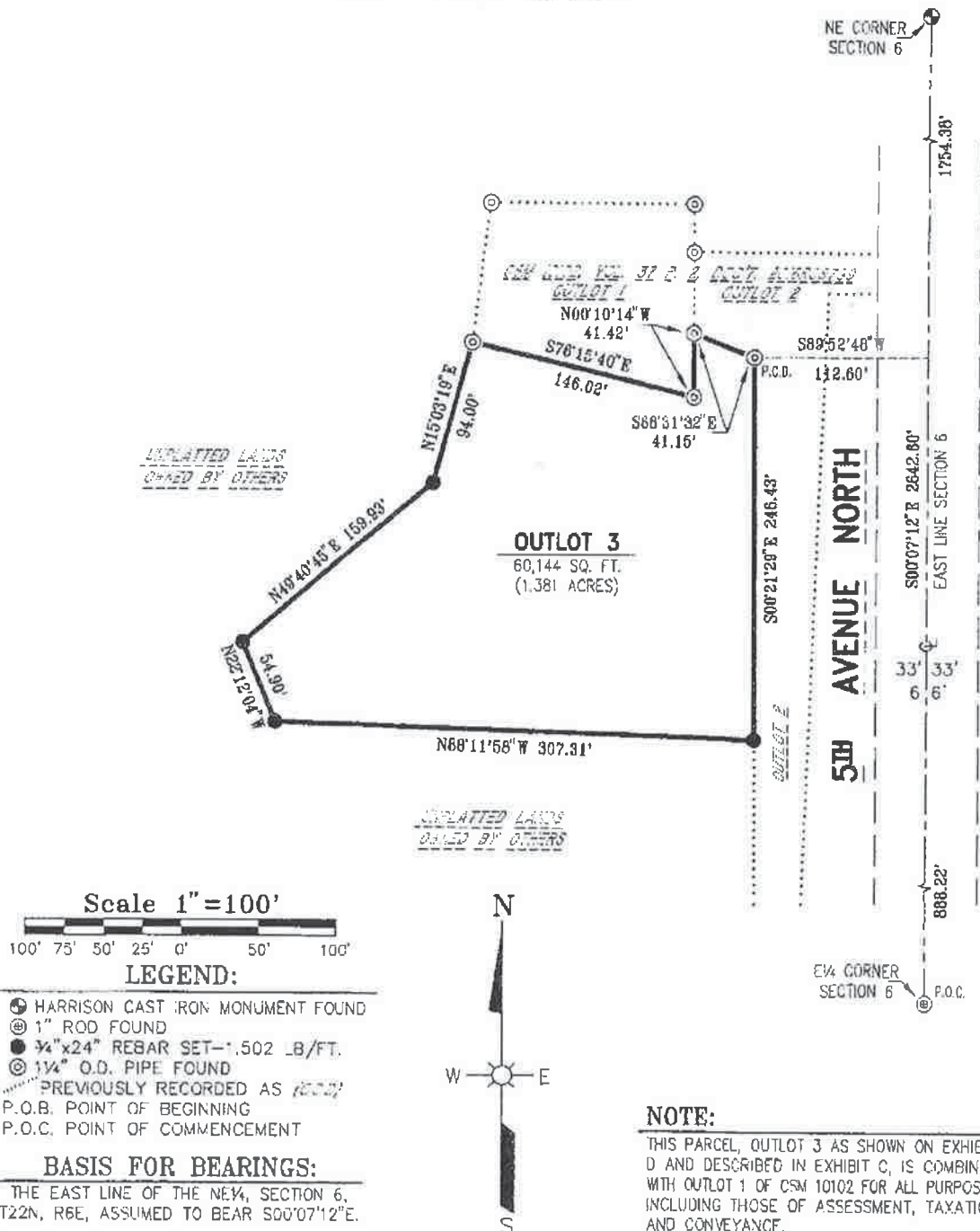
11/30/2021
Date

Name – print

Name – Signature

Date

Verso Corporation - Water Quality Substation
Part of the SE¼NE¼, Section 6, T22N, R6E, City of Wisconsin Rapids,
Wood County, Wisconsin



NOTE:

THIS PARCEL, OUTLOT 3 AS SHOWN ON EXHIBIT D AND DESCRIBED IN EXHIBIT C, IS COMBINED WITH OUTLOT 1 OF CSM 10102 FOR ALL PURPOSES INCLUDING THOSE OF ASSESSMENT, TAXATION AND CONVEYANCE.

Sheet 2 of 2 Sheets



715-424-3131 • FAX 715-423-8774

MIAMISBURG, OH 45342

This map does not transfer property ownership.
Sale or transfer of property requires a deed.

Administrative Staff Report

Assumption High School

Sign Exception

445 Chestnut St.

November 30, 2021



<p>Applicant(s):</p> <ul style="list-style-type: none"> Assumption High School <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns, Director Carrie Edmondson, Community Development Specialist <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3408404 <p>Lot Information:</p> <ul style="list-style-type: none"> Effective Frontage: 896 feet Effective Depth: 188/410 feet Acreage: 4.87 Acres <p>Zone(s):</p> <ul style="list-style-type: none"> Institutional (I1) Park and Recreation (P1) <p>Council District:</p> <ul style="list-style-type: none"> District 3 <p>Master Plan:</p> <ul style="list-style-type: none"> Government / Public / Institutional <p>Current Use:</p> <ul style="list-style-type: none"> Catholic High School <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 – Zoning Chapter 46 – Sign Regulations 	<p>Request</p> <p>PLAN-21-1193; Assumption High School – request for a sign exception to increase the maximum height for a proposed ground sign from 8 feet to 10 feet 3 inches at 445 Chestnut St. (Parcel ID 3408404)</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Special Exception Application <p>Findings of Fact</p> <ol style="list-style-type: none"> The property is currently being used as Catholic high school. The property includes a large area that is zoned Institutional (I1) and a smaller section in the southeast corner that is zoned Park and Recreation (P1). The request includes an exception to allow a 2 foot 3 inch height increase to the 8 foot height maximum allowed for ground signs in the Institutional (I1) zoning district. Plan Commission can approve sign exceptions. <p>Staff Recommendation</p> <p>Deny the request for a sign exception to increase the maximum height of a proposed ground sign at 445 Chestnut Street (Parcel ID 3408404).</p>
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Vicinity Map



Background

The applicant is requesting a sign exception to increase the height allowance from 8 feet maximum to 10 feet 3 inches.

The City Sign Code permits the following:

Section 46-25 Sign Exception. (a) *Sign Exceptions are appropriate for proposed signage that is not completely described by the terms of this Code or not fully in compliance with the specific provisions of the Code. Exceptions shall be reviewed and approved by the City Plan Commission. The Plan Commission shall use the following to determine whether to approve the exception, in addition to the requirements outlined in section 11.05 – Division 7 of the Municipal Code.*

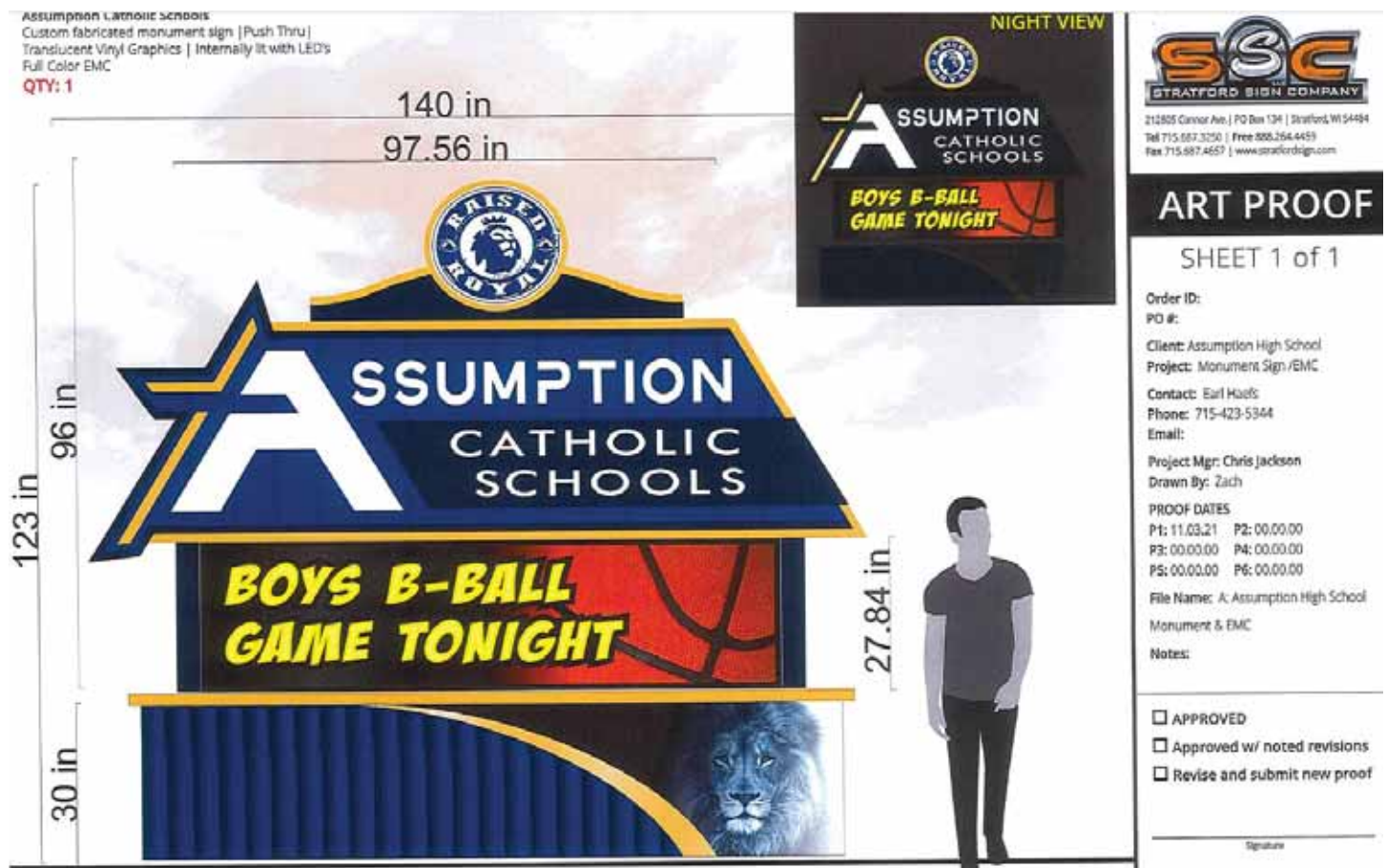
- (1) *...may make considerations for unique signs that match or have similar architectural styles or materials as principal building(s).*
- (2) *Site difficulties.*
- (3) *If a proposed sign structure...would take up required parking spaces...*
- (4) *Signs where a Sign Exception is specifically required elsewhere in the chapter, such as a mural...*
- (5) *Sign code is unclear or contradicting.*

In addition, the Plan Commission shall consider Zoning Ordinance section 11.05-division 7:

- (1) the size of the property in comparison to other properties in the area;
- (2) the extent to which the issuance of the special exception would be in keeping with the overall intent of this chapter;
- (3) whether there are any unique circumstances and the nature of those circumstances that warrant the issuance of the special exception;
- (4) the nature and extent of anticipated impacts to the natural environment that could potentially occur if the special exception was granted;
- (5) the nature and extent of anticipated positive and negative effects on properties in the area;
- (6) actions the applicant will undertake to mitigate the negative effects, if any, of the proposed special exception;
- (7) a factor specifically listed under a section of this chapter authorizing the issuance of a special exception; and
- (8) any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.

Standards of Review

The proposed sign is a typical ground sign used in an Institutional setting. There are no unique features or site difficulties, and there is adequate room to meet setbacks. The sign could be placed closer to Chestnut Street, while still maintaining the required 5-foot setback if the applicant seeks to increase visibility.



Exceptions are made when signs are unique, site difficulties are present, the sign would encroach into parking areas, the sign is required elsewhere by code, or when the code is unclear or contradictory. Additionally, the residential character of the neighborhood could be negatively affected from an increased sign height.

In this case, staff have determined that none of the above criteria apply. The proposed sign is a standard ground sign, typical of those displayed in institutional settings. The proposed height increase is not necessitated because of a unique architectural style or materials or due to any site difficulties. There is adequate room for satisfactory site placement where setbacks, landscape requirements, and parking requirements are met. Furthermore, additional signage promoting the use can be pursued via wall signage or even a secondary ground sign on another frontage.

Based on the above review and findings, staff is recommending denial of the request for a sign exception to increase the maximum height of the proposed ground sign from 8 feet to 10 feet 3 inches.



Special Exception
City of Wisconsin Rapids, Wisconsin
 Version: January 3, 2019

Community Development Department
 444 West Grand Avenue
 Wisconsin Rapids, WI 54495-2780
 P: (715) 421-8228 Fax: (715) 421-8291

Overview: Upon written petition, the Planning Commission may, on a case-by-case basis, grant a special exception for those development standards specifically noted as special exceptions in the zoning code. (See section 3 of this application for a listing). In making its decision, the Planning Commission must consider a variety of factors. General evaluation criteria apply to all special exceptions and special evaluation criteria may also apply.

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

Application fee: \$75.00

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Office Use Only

Date Received _____

Received By _____

Fee _____

Case # _____

Aldermanic District _____

Plan Commission Date _____

1. Applicant information

Applicant name Assumption High School

Street address 445 Chestnut Street

City, state, zip code Wisconsin Rapids, WI 54494

Daytime telephone number 715-422-0917

Email _____

2. Agent contact information Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

Agent 1

Name Shelly Handrick

Company Stratford Sign Company, LLC

Street address P.O. Box 134

City, state, zip code Stratford, WI 54484

Daytime telephone number 715-687-3250

Email shelly@stratfordsign.com

Agent 2

3. Type of special exception. Select the special exception you are requesting.

- ☐ s. 11.06.35 Allow removal of a principal building, while retaining the accessory building
- ☐ s. 11.06.108 Allow spires, steeples, copulas, and chimneys on institutional, commercial, and industrial buildings
- ☐ s. 11.06.108 Allow roof-mounted solar systems that exceed building height limitations
- ☐ s. 11.06.117 Allow accessory building in front of principal building
- ☐ s. 11.06.118 Allow a greater amount of parking in front of a building in the B-2 and B-3 districts
- ☐ s. 11.06.203 Allow overhead doors to face a public street (Architectural Review)
- ☐ s. 11.17.03 Allow a lesser standard for parking requirements
- ☐ s. 11.17.03 Allow more parking than what is required
- ☐ s. 11.18.43 Allow more outdoor lighting when needed to ensure public safety
- ☐ Appendix B (3.07) Allow the use of other exterior building materials on a single-family residence

- ☐ Appendix B (17.14) Allow a deviation from standards for a home occupation when operator has a temporary or permanent disability
- ☐ Appendix B (17.27) Allow a free-standing solar energy system to extend into a setback when no other location on the parcel is acceptable
- ☐ Appendix B (17.27) Allow a free-standing solar energy system to be located in the front yard when no other location on the parcel is acceptable
- ☐ Appendix C (M-1 & M-2 Districts) Allow an increase in building height

4. Subject property information

Physical address 445 Chestnut Street, Wisconsin Rapids, WI 54494

Parcel number(s) 3408404

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

- ☒ No
☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

- ☒ No
☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Evaluation criteria The factors listed below will be used in evaluating this application. Your responses are important.

1. The size of the property in comparison to other properties in the area.

The high school is on a larger piece of property than most in the area.

2. The extent to which the issuance of the special exception would be in keeping with the overall intent of the zoning code.

The sign is set back plenty far from the road, and is just 2' higher than code.

3. Whether there are any unique circumstances and the nature of those circumstances that warrant the issuance of the special exception.

There are donors who want to pay for this sign as a donation to the school.

4. The nature and extent of anticipated impacts to the natural environment that could potentially occur if the special exception was granted.

None

5. The nature and extent of anticipated positive and negative effects on properties in the area.

The positive effects will be the school now having a sign that they can program all their activities on for the public.

6. Actions the applicant will undertake to mitigate the negative effects, if any, of the proposed special exception.

Programming the EMC to meet the city's code

7. A factor specifically listed under a section of this chapter authorizing the issuance of a special exception.

N/A

8. Any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.

N/A

6. **Attachments** List any attachments included with your application.

See Attachments

7. **Other information** You may provide any other information you feel is relevant to the review of your application.

8. **Mandatory meeting with staff**

When did you meet with the Community Development Director? _____ Month/year

9. **Applicant certification**

- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Daniel Minter President

Name – print

Daniel Minter

Name – Signature

11/23/2021

Date

Name – print

Name – Signature

Date



300 ft

Assumption High School

445 Chestnut Street



Monument Sign

445 Chestnut St

Assumption High School

Assumption Middle School

Wisconsin Rapids Area Catholic

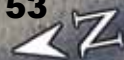
Chestnut St

Mead St

Hill St

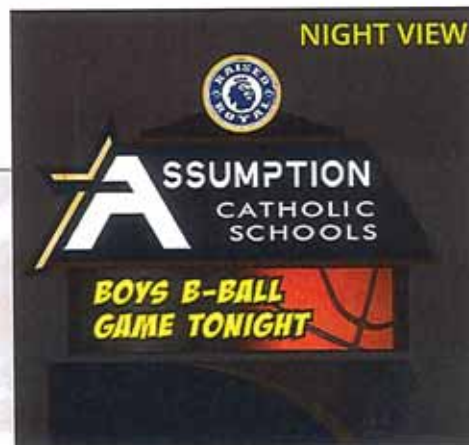
Assumption High School

445 Chestnut Street



Assumption Catholic Schools
 Custom fabricated monument sign | Push Thru |
 Translucent Vinyl Graphics | Internally lit with LED's
 Full Color EMC
QTY: 1

140 in
 97.56 in



212805 Connor Ave. | PO Box 134 | Stratford, WI 54484
 Tel 715.687.3250 | Free 888.264.4459
 Fax 715.687.4657 | www.stratfordsign.com

ART PROOF

SHEET 1 of 1

Order ID:

PO #:

Client: Assumption High School

Project: Monument Sign /EMC

Contact: Earl Haefs

Phone: 715-423-5344

Email:

Project Mgr: Chris Jackson

Drawn By: Zach

PROOF DATES

P1: 11.03.21 P2: 00.00.00

P3: 00.00.00 P4: 00.00.00

P5: 00.00.00 P6: 00.00.00

File Name: A: Assumption High School

Monument & EMC

Notes:

☐ APPROVED

☐ Approved w/ noted revisions

☐ Revise and submit new proof

Signature

Date

These drawings will be released to production once signed. SSC is not responsible for errors. Please check for misspellings, correct phone numbers & addresses, details regarding renderings, shop drawings, quantities, color, etc. Colors shown are for representation only. PMS colors must be requested at time of order to ensure accuracy and may not be guaranteed. Additional fee will apply if PMS sample is required. Any detail or dimension change may delay completion and may incur additional fee. All artwork is property of SSC and cannot be reproduced without permission. Fee may apply if reproduced by others.

Page 21 of 53

Sign
 Paint Color
 Painted to Match
 3M Sapphire Blue 7125-37

Sign
 Paint Color
 Painted to Match
 3M Light Navy 7125-197

Sign
 3M Translucent Vinyl
 3M Gold Nugget 3630-141

Sign
 Paint Color
 Painted Smooth Silver

Sign
 3M Translucent Vinyl
 3M Sapphire Blue 3630-37

123 in
 96 in
 30 in

27.84 in



Administrative Staff Report

Cafe Building
Site Plan Amendment
3820 8th Street South
November 29, 2021



<p>Applicant(s):</p> <ul style="list-style-type: none"> Theresa Cashman, business owner Jim Lucas, Arc Central LLC <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns, Director Carrie Edmondson, Community Development Specialist <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3413806 <p>Lot Information:</p> <ul style="list-style-type: none"> Effective Frontage: 195 feet Effective Depth: 206 feet Square Footage: 37,897 Acreage: 0.870 Acres <p>Zone(s):</p> <ul style="list-style-type: none"> "B-2" General Commercial District <p>Council District:</p> <ul style="list-style-type: none"> District 7: Delaney <p>Master Plan:</p> <ul style="list-style-type: none"> Commercial <p>Current Use:</p> <ul style="list-style-type: none"> Vacant <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 - Zoning 	<p>Request</p> <p>PLAN-21-1185; Theresa Cashman, Out of the Box Coffee House – request for a site plan review for the expansion of an existing café at 3820 8th Street South (Parcel ID 3413806)</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Application Building Plans Building Renderings Site / Landscaping Plan <p>Findings of Fact</p> <ol style="list-style-type: none"> The café building is approximately 1,202 square feet. 21 parking stalls are proposed on the site, with a drive-through on the south of the building. This updated site plan includes 429 square feet of enclosed seasonal dining space and 429 square feet of roof deck seating. The property is zoned "B-2" General Commercial District. A café (restaurant type) use is permitted in the B-2 District A building plan – architectural review (AR), plan of operation (PO), site plan (SP), and zoning permit (ZP) are required. <p>Staff Recommendation</p> <p>Approve the request from the applicant for site plan review, plan of operation, and architectural review to expand the café building as proposed at 3820 8th Street South, subject to the following condition(s):</p> <ol style="list-style-type: none"> An updated site/landscaping plan shall be submitted for review and approval by the Community Development Department, including identified landscaping. A lighting plan shall be submitted for review and approval by the Community Development Department. A dumpster enclosure shall be installed, to be reviewed and approved by the Community Development Department. All applicable permits through the City of Wisconsin Rapids and other jurisdictions, shall be obtained. Community development staff shall have the authority to approve minor modifications to the plans.
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Vicinity Map



Background

The applicant recently constructed a coffee café building, previously approved in April and July of 2020 and April of 2021. The facility was completed in 2020 and additional site work in 2021, and has done very well, which has prompted the applicant to submit an updated site plan to enclose seasonal dining space and provide roof deck seating. Standards of review as identified in the zoning ordinance are described below. A new site plan has also been submitted and is attached.

Standards of Review

1) Use

Analysis: A restaurant type use is permitted in the B-2 District.

Findings: Note that a building plan – architectural review (AR), plan of operation (PO), site plan review (SP), and zoning permit (ZP) are required.

2) Dimensional Standards

Analysis: The B-2 district requires 10,000 square feet, and the lot is just under an acre. Building setbacks are well beyond the minimums (25-foot street and 20-foot side and rear). The building coverage ratio is 7.37% meeting the 60% (max.) requirement and impervious surface is 32.09% meeting the 80% (max.) requirement.

Findings: This standard is met.

3) Ingress/Egress

Analysis: The existing driveway on 8th Street is proposed to be utilized for the restaurant café. It exists on the north side of the site and leads into parking areas and eventually the drive-through.

Findings: Driveway standards are met; however, the County Highway Department should be contacted regarding any changes to the driveway, given any jurisdiction that may exist.

4) Parking

Analysis: The parking lot has been constructed already on site and will not be affected with the addition. The use requires 1 parking space for each 3 patron seats, or 1 space for each 300 square feet of gross floor area devoted to patron service, whichever is greater; plus 1 for each employee on the largest work shift (8 employees). The existing 1,202 square foot building plus approximately 429 square feet of seasonal dining space and 429 square feet of rooftop dining space (2,060 square feet) requires 7 parking spaces total. When adding 8 employees for the largest work shift, 15 total spaces are required.

Findings: The development meets the parking requirements with 21 stalls, including 1 ADA approved stall. There are 6 stalls located to the rear of the building, 11 stalls are on the north side, and 4 stalls are in the front, including 1 ADA approved accessible stall. The code requires a parking maximum of no more than 15 percent of the required minimum (for a total of 2 spaces) except when a special exception is granted by the Planning Commission. Staff is recommending approval of a special exception for the additional 4 spaces based on the concentrated high demand times associated with a café use. Furthermore, applicable dimensional requirements for the parking lot are met.

5) Landscaping

Analysis: A total of 60 landscape points shall be provided along the frontage, prorated for every 100 linear feet, meaning 117 points are required. A total of 40 landscape points shall be provided on a prorated basis for every 100 feet of building foundation perimeter, meaning 72 points are required. Lastly the parking lot landscaping requires a minimum of 100 landscape points for every 10,000 square feet paved area; meaning 128 points are required. The previous submitted landscaping plans was referenced and is attached.

A B-type buffer yard is required for the development, due to the neighboring R-2 residential zoning to the west.

Findings: Upon review, a total of 60 landscape points for street frontage landscaping were proposed, but do not appear to exist. Note that street frontage plantings shall only be tall, medium, or low trees planted within 10 feet from the right-of-way. To meet this requirement 2-3 additional trees should be planted, along with the proposed honey locust. The building foundation perimeter is being expanded into an area where landscape planters exist, which will reduce the landscaping needed to meet the 72-point requirement. New building foundation plantings shall be identified on an updated landscape plan. Parking lot landscaping has been included on the plan, shown within three areas along the east side of the property. A minimum of 60 percent of all parking lot landscape points shall be devoted to tall trees and a minimum of 20 percent of all points shall be devoted to shrubs. Several perennials were identified on the plan which can only be counted for 20% of the total parking lot landscaping. An additional tree within the parking lot landscaping would meet the requirement. Staff would recommend an updated landscaping plan meeting the point totals noted above and other species requirements.

6) Architectural Review

Analysis: The building was approved in April of 2020 and includes finishing materials of metal, as the building shell is a shipping container. Additional finishes include aluminum framed glass windows and a garage door,

fiber cement siding, and aluminum soffit and fascia accents. The applicant is now proposing an addition that includes metal siding, fiber cement siding, and an aluminum storefront door and windows to match the existing doors and windows.

Findings: From an architectural standpoint, the business adds character to the corridor that includes elements not found elsewhere within the City. The proposed expansion is in keeping with the character of the existing structure. Additionally, the variety of exterior materials (aluminum and fiber cement siding) and arrangement of door and windows combine to add visual interest along the north elevation. Dumpsters are not enclosed or screened as required onsite and therefore, staff would recommend a dumpster enclosure plan to be submitted and approved by the department. Additionally a portable storage unit exists on the site which cannot be used as a permanent accessory structure.

7) Lighting & Photometric Plan

Analysis: Regulations for onsite lighting are related to light trespass (foot-candles) beyond the property line and total lighting levels (lumens). Lighting from the business use should not exceed 0.2 foot-candles at a neighboring commercial property line. No lighting plan has been provided.

Findings: Staff would recommend a lighting plan shall be submitted for review and approval by the Community Development Department.

In summary, the changes to the site plan primarily include an enclosed addition with seasonal dining spaces and a rooftop deck with additional dining space. The proposed modifications also create slightly different landscaping requirements. It is recommended that the applicant submit a lighting plan and a revised detailed landscape plan with enhanced plantings for internal staff review to ensure compliance upon submission. Due to the missing information, staff have added a few conditions to the approval. Therefore, staff would recommend approval of the site plan, subject to the items mentioned above and summarized on page one of the staff report.



Site Plan & Plan of Operation Application

City of Wisconsin Rapids, Wisconsin

Version: January 3, 2019

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The Planning Commission reviews site plans and plans of operation for those land uses specifically requiring such review as listed in the land-use matrix (Appendix A of the zoning code).

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

Application fee: \$175.00 for new; \$125.00 for amendment of prior approval

Note: Site plan/plan of operation review and architectural review can be combined into one application fee.

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Office Use Only

Date Received _____

Received By _____

Fee _____

Case # _____

Aldermanic District _____

Plan Commission Date _____

1. Applicant information

Applicant name Theresa CashmanStreet address 2111 Sherri LaneCity, state, zip code Wisconsin Rapids, WI 54494

Daytime telephone number _____

Email ootbcoffee@gmail.com

2. **Agent contact information** Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

Agent 1

Name Jim LucasCompany arc central llcStreet address 1930 1st Street N.City, state, zip code Wisconsin Rapids, WIDaytime telephone number 715-572-2698Email arccentralinc@outlook.com

Agent 2

3. Type of application (check all that apply)

☒ Site plan Complete Part A, B and D

☐ Plan of operation Complete Part A, C and D

☒ New project

☐ Amendment of prior approval (if any)

If an amendment, the date of last approval (if any): _____

Part A. About the Property

4. Subject property information

Physical address 3820 8th St S.

Parcel number(s) _____

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

☒ No

☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

☒ No

☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> RR Rural Residential | <input type="checkbox"/> R-8 Manufactured Home Park | <input type="checkbox"/> M-1 General Industrial |
| <input type="checkbox"/> R-1 Single-family Residential | <input type="checkbox"/> B-1 Downtown Commercial | <input type="checkbox"/> M-2 Heavy Industrial |
| <input type="checkbox"/> R-2 Mixed Residential | <input checked="" type="checkbox"/> B-2 General Commercial | <input type="checkbox"/> I-1 Institutional |
| <input type="checkbox"/> R-3 Multi-family Medium Density Residential | <input type="checkbox"/> B-3 Neighborhood Commercial | <input type="checkbox"/> P-1 Park and Recreation |
| <input type="checkbox"/> R-4 Multi-family High Density Residential | <input type="checkbox"/> B-5 Mixed Use Commercial | <input type="checkbox"/> C-1 Conservancy |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> Planned Development (PDD) | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Floodplain |
| <input type="checkbox"/> Downtown Design | <input type="checkbox"/> Shoreland-Wetland | <input type="checkbox"/> Wellhead Protection |

Part B. Site Plan (See the standards and requirements in Division 6 of Article 6.)

6. Building type. Which of the following building types best describes the building?

- | | | |
|--|--|--|
| <input type="checkbox"/> Townhouse | <input checked="" type="checkbox"/> Commercial | <input type="checkbox"/> Industrial |
| <input type="checkbox"/> Multi-family | <input type="checkbox"/> Work/live | <input type="checkbox"/> Parking structure |
| <input type="checkbox"/> Institutional | | |

Please refer to Appendix D for any design requirements that may apply.

7. Encroachments.

Aside from driveways connecting to the street, will any part of the proposed project encroach into a public right-of-way?

☒ No

☐ Yes

If yes, please explain.

8. Site parameters (area in square feet or acres)

Subject property 39,644

Building coverage 2,922

Outdoor storage _____

Stormwater facilities _____

Impervious surfaces 12,722

Impervious surfaces include buildings, parking areas and driveways, sidewalks, decks, patios, and other types of 'hard' surfaces.

Landscaping and other undeveloped areas 24,981

Wetlands _____

Attach appropriate documentation if there are any wetlands.

100-year floodplain _____

9. Street access

Name	New Access	Change to Existing Access	No Change to Existing Access
8th St. S	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

10. Traffic generation

Will the proposed project create 500 trips per day or more?

☒ No

☐ Yes Attach a traffic impact report to this application. See s. 11.06.151 of the zoning code for additional details.

Will the proposed project create 300 trips per day or more, but less than 500?

☒ No

☐ Yes The city may require a traffic impact report as described in s. 11.06.151 of the zoning code. Please contact the Community Development Department for further guidance.

11. Parking (See the standards and requirements in Article 17 of the zoning code.)

Minimum number of required spaces 13

See Appendix B of the zoning code for parking requirements for the proposed land use(s).

Proposed number of spaces 20

If the number of proposed spaces exceeds what is required by more than 15 percent, the Planning Commission may grant a special exception to allow oversized parking areas. (See s. 11.17.03(r) of the zoning code.)

ADA van accessible spaces 1

Other ADA accessible spaces

Number of electric charging stations (if any)

1

Charging stations are not required, but are recommended.

Bicycle parking spaces

5

Bike parking is not required, but is recommended. (See s. 11.17.06 of the zoning code.)

Number of spaces in front of the building

11

The number of spaces in front of the building may be limited depending on the zoning district. (See Appendix C of the zoning code.)

Number of spaces on the side(s) of the building

9

Number of spaces to the rear of the building

1

12. Outdoor lighting (See the standards and requirements in Article 18 of the zoning code.)

	Number of Fixtures	Lumens
Building 1		
Building 2		
Building 3		
Parking lot 1		
Parking lot 2		
Parking lot 3		
Other		
Other		
Total		

Maximum lighting levels at each property boundary line (in footcandles):

Attach a photometric plan to this application along with manufacturer's cut sheets for the different kinds of light fixtures.

Height of parking lot lights above grade (if any):

13. Fencing. Will the proposed project include fencing?

☒ No

☐ Yes (See Article 15 of the zoning code for the standards and requirements that apply.)

If yes, please describe and/or attach a fencing plan.

14. Stormwater. Describe how stormwater generated on the site will be handled.

Site slopes to south. It is 13,900 SF- 35% of the lot. It will be used for stormwater absorption.

15. Site plan. Attach a site plan drawn to scale with the following information to the extent it applies to the proposed project. The items with an asterisk are required. Check those elements that are included.

Background Project Information	Buildings and Outdoor Storage/Activity Areas	Transportation Facilities (existing and proposed)
<input checked="" type="checkbox"/> Project name*	<input checked="" type="checkbox"/> Existing and proposed	<input checked="" type="checkbox"/> Streets
<input checked="" type="checkbox"/> Applicant name*	<input checked="" type="checkbox"/> Existing within 50 feet of subject property	<input checked="" type="checkbox"/> Driveways and road access onto public and private roads
<input checked="" type="checkbox"/> Preparation date/revision*	Required Setbacks	<input checked="" type="checkbox"/> Sidewalks and trails
<input checked="" type="checkbox"/> Name of preparer*	<input checked="" type="checkbox"/> Yard setbacks (front, side, rear and shore)	<input type="checkbox"/> Fire lanes (i.e., fire apparatus access)
	<input type="checkbox"/> On-site septic systems	<input type="checkbox"/> Clear visibility triangles (location and dimensions)
Survey Information	<input type="checkbox"/> On-site wells and off-site wells within 10 feet of the perimeter of the subject property	On-Site Parking (existing and proposed)
<input checked="" type="checkbox"/> North arrow and graphic scale*	Landscaping Features (existing and proposed)	<input checked="" type="checkbox"/> Access aisles and parking spaces by size
<input checked="" type="checkbox"/> Address of subject property or legal description*	<input checked="" type="checkbox"/> Fences, buffers, and berms	<input checked="" type="checkbox"/> Location of accessible parking spaces
<input checked="" type="checkbox"/> Property boundaries *	<input checked="" type="checkbox"/> Pervious and impervious surfaces by type	<input checked="" type="checkbox"/> Location and specifications/dimensions for accessibility ramps
<input checked="" type="checkbox"/> Acreage of subject property*	<input type="checkbox"/> Site amenities (benches, fountains, etc.)	<input checked="" type="checkbox"/> Type and location of on-site parking signs and traffic control signs
Project Development Information	<input type="checkbox"/> Existing trees and other prominent vegetation	<input checked="" type="checkbox"/> Surface materials for parking lot (e.g., concrete, bituminous concrete, pavers)
<input type="checkbox"/> Land use summary table by density/intensity and acreage*	<input checked="" type="checkbox"/> Trees / shrubs to be planted, including a plant list and specs.	<input checked="" type="checkbox"/> Snow storage areas
<input type="checkbox"/> Easements/rights-of-ways (location, width, purpose, ownership)	Trees / shrubs to be retained	<input checked="" type="checkbox"/> Areas designated for queuing of vehicles for drive-through facilities (e.g., car washes, drive-up service windows, etc.)
<input type="checkbox"/> Common areas/conservancy areas (location, purpose, ownership)	Outdoor Lighting (existing and proposed)	<input checked="" type="checkbox"/> Pedestrian walks between the parking lot and the building
<input type="checkbox"/> Land to be dedicated to the public (boundaries, area, purpose)	<input type="checkbox"/> Location	<input checked="" type="checkbox"/> Designated areas of a parking area for pedestrian walks
Setting	<input type="checkbox"/> Fixture specifications	<input checked="" type="checkbox"/> Loading lanes and loading docks
<input checked="" type="checkbox"/> Property boundaries within 50 feet of the subject property	Stormwater Facilities (existing and proposed)	<input checked="" type="checkbox"/> Stormwater drainage
<input type="checkbox"/> Land uses within 50 feet of the subject property	<input type="checkbox"/> Location	<input checked="" type="checkbox"/> Distance between parking areas and adjoining properties if less than 20 feet
<input type="checkbox"/> Zoning district boundaries within 50 feet of the subject property	<input type="checkbox"/> Specifications for each facility	<input type="checkbox"/> Areas designated for bicycle parking
<input type="checkbox"/> Municipal boundaries within 50 feet of the subject property	Site Features (existing and proposed)	Signs (existing and proposed)
<input type="checkbox"/> Ground contours when slopes exceed 8 percent	<input type="checkbox"/> Location	<input type="checkbox"/> Location
<input type="checkbox"/> Wetlands	<input type="checkbox"/> Type (sewer, telephone, etc.) (buried or overhead, if applicable)	<input type="checkbox"/> Specifications for each sign including type, height, dimensions, lighting, and other factors considered during the review process
<input checked="" type="checkbox"/> Woodlands	<input type="checkbox"/> Size/capacity, if applicable	
<input type="checkbox"/> Wildlife habitat, including critical wildlife habitat		
<input checked="" type="checkbox"/> Environmentally sensitive features		
<input type="checkbox"/> Water resources (rivers, ponds, etc.) and ordinary high-water mark for navigable waters		
<input type="checkbox"/> Floodplain boundaries and elevations of the same		

Part C. Plan of Operation

16. Operating conditions

Hours of operation:	Monday-Sunday 6am-5pm	
Estimated number of full-time employees	0	
Estimated number of part-time employees	13	
Maximum number of employees onsite at peak hours	8	
Will the proposed business operation create any noise outside of the building?	no	Refer to s. 11.06.147 of the zoning code.
Will the proposed business operation create any emissions (e.g., fumes, smoke, steam, vapor, dust,) to the atmosphere?	no	Refer to s. 11.06.148 of the zoning code.
Will the proposed business operation create any vibrations outside of the building?	no	Refer to s. 11.06.149 of the zoning code.
Will the proposed business operation involve any explosives or other flammable materials?	no	Refer to s. 11.06.150 of the zoning code.
Will the proposed business operation involve any radioactive materials?	no	
Will the proposed business operation create special needs for wastewater disposal?	no	
Will the proposed business operation require unusually high levels of public water?	no	

17. Licensing. What kind of federal, state, county or city licensees will be required to operate the proposed business?

Part D. Other

18. Attachments List any attachments included with your application.

set of drawings

19. Other information You may provide any other information you feel is relevant to the review of your application.

landscape plan document

20. Mandatory meeting with staff

When did you meet with the Community Development Director?

April 2021

Month/year

21. Applicant certification

- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Theresa Cashman

Name – print


Name – Signature

11/4/2021

Date

Name – print

Name – Signature

Date

New Commercial Building Theresa Cashman

3820 8th Street S. Wisconsin Rapids, WI 54494

architect:

arc central llc.

1930 1st street north
wisconsin rapids, wi
715-572-2698

Code Data

Governing Code
Wisconsin Enrolled, International Building Code 2015

Occupancy Classification - 303.1
ASSEMBLY, A2 - COFFEE SHOP

Allowable Height - TABLE 504.4
A2 OCC, 50' CONSTRUCTION, NON-SPRINKLED = 1 STORY

Allowable Area - TABLE 506.2
A2 OCC, NON-SPRINKLED, 5,000 SF ALLOWED

Actual Building Area
1,880 SF TOTAL

Type of Construction - TABLE 601
TYPE VB, WOOD FRAME

Occupant Capacity 1004.1.2
ASSEMBLY (A2) = TABLES & CHAIRS, 860 / 15 = 57
ACTUAL SEATING CAPACITY = 38

Required Exit Width
1005.3.1 (Stores) 0.30" PER OCC
1005.3.2 (Other) 0.20" PER OCC 72"/57 OCC = 1.26"

Exit Access Travel Distance 1017.2
A2 OCC, NON-SPRINKLED = 200'

Common Path Travel Distance 1062.1
A2 OCC, > 30 OCC = 75'

Fire Protection 903.2.1.3
A2 OCC 5,000 SF, BUILDING 5,180 TO 7,499 SF

Smoke Barrier 718.4.3
AT-RISK CONFINEMENT = 2,000 sf Max.

Sanitary Facilities, Table 2902.1
38 OCCUPANTS = 8 EACH SEX

EXISTING			WOMEN			DRINKING FOUNTAIN		
TLT	URN	LAV	TLT	URN	LAV	TLT	URN	LAV
1/75	0/0	1/200	1/75	0/0	1/200	1/500	0/0	0/0

PROPOSED			WOMEN			DRINKING FOUNTAIN		
TLT	URN	LAV	TLT	URN	LAV	TLT	URN	LAV
1	0	0	1	0	0	0	0	0

Design Loads

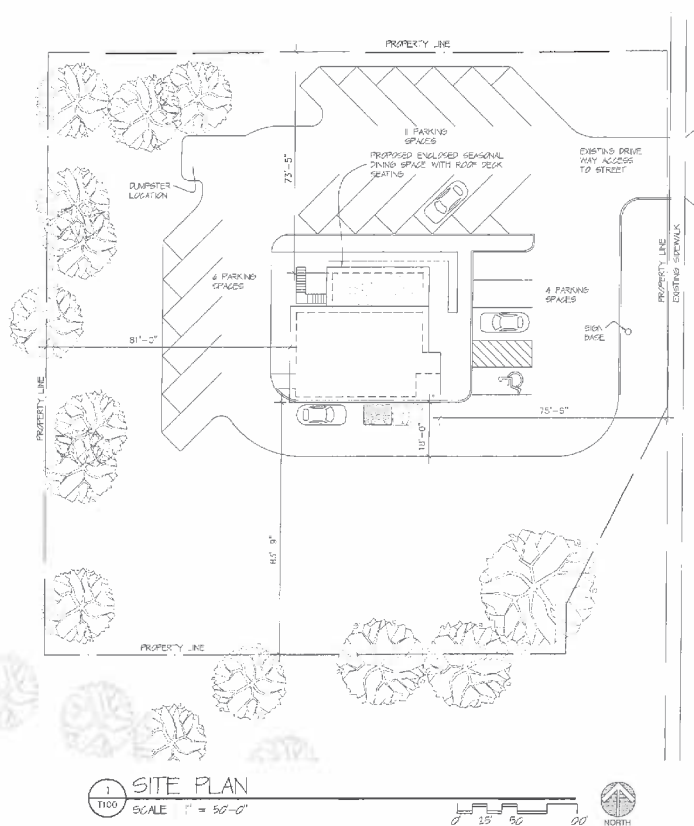
SOIL BEARING CAPACITY, 3,000 PSF PRESERVED
TABLE 1804.2

ROOF LIVE LOAD = 33.6 PSF
UNBALANCED SNOW LOAD = 50.4 PSF

ROOF DEAD LOAD = 15 PSF

LATERAL LOAD (WIND) = 20 PSF

FLOOR LIVE LOAD, FIRST FLOOR 100 PSF



DRAWING INDEX

COVER SHEET

T100 TITLE SHEET & SITE PLAN

ARCHITECTURAL

A101 ADDITION & STRUC FRAMING PLANS
A201 BUILDING ELEVATIONS
A301 BUILDING & WALL SECTIONS

STRUCTURAL

S100 NOT USED

ELECTRICAL

E101 NOT USED

MECHANICAL

M101 NOT USED

GENERAL

G101 LEGEND AND
G102 ACCESSIBILITY DETAILS
G103 SITE ACCESSIBILITY DETAILS



SHEET NOTES		
1	COORDINATE LOCATION OF MATERIAL STORAGE AND TRAILERS WITH THE CONSTRUCTION NUMBER	

arc central llc.
James Lucas
architect construction management interior design
1930 1st street north, wisconsin rapids, wi 54494
arccentral@outlook.com 715.572.2698

TITLE SHEET &
SITE PLAN &
CODE INFORMATION

PROPOSED ADDITION
THERESA CASHMAN
3820 8th STREET S
WISCONSIN RAPIDS, WI 54494

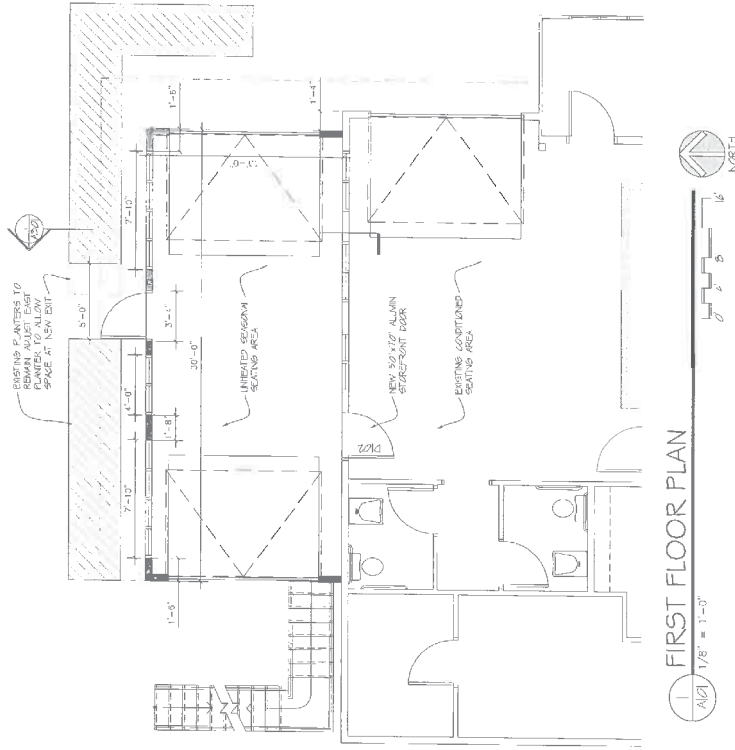
REVISIONS		
DATE	BY	REVISION
July 21, 21	JL	Approval
21/242		

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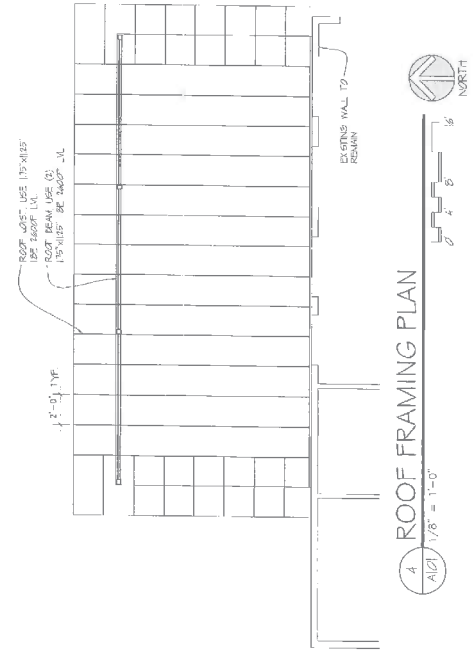
T100

FIRST FLOOR PLAN

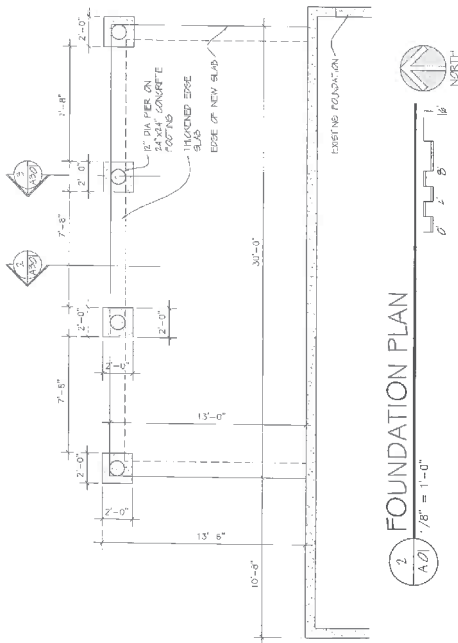
FIRST FLOOR PLAN



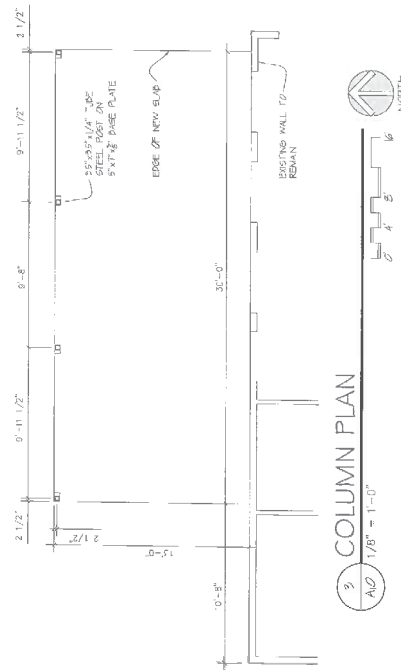
ROOF FRAMING PLAN



FOUNDATION PLAN



② COLUMN PLAN



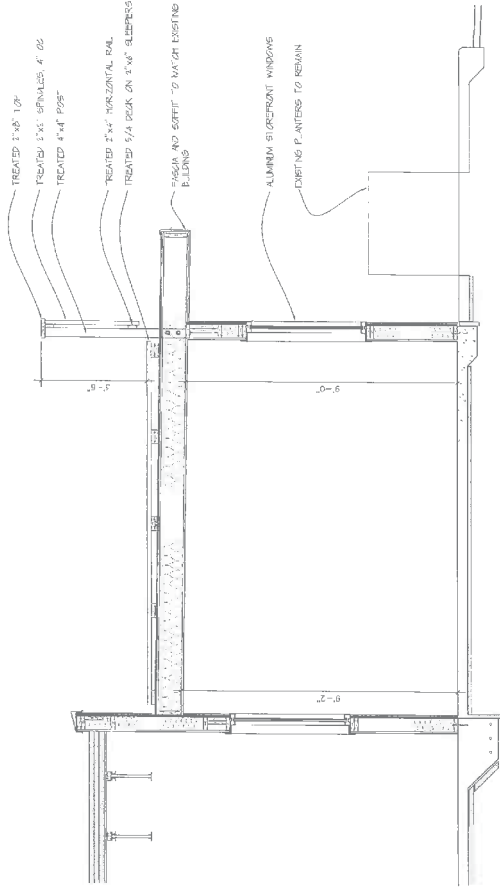


PROPOSED ADDITION
FOR
THERESA CASHMAN
9820 814 STREET S
WISCONSIN RAPIDS, WI 54484

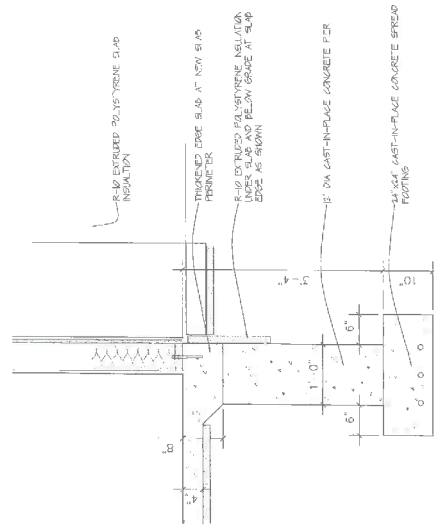
REVISED	DATE	PROJECT NO.
8.15.21	July 21,	21 042
8.15.21	Approved	
8.15.21	Rev 1	

arc central llc.
James Lucas
architecture construction management interior design
1830 1st street north, wisconsin rapids, wi 54484
arccentralinc@aol.com 715.572.2698

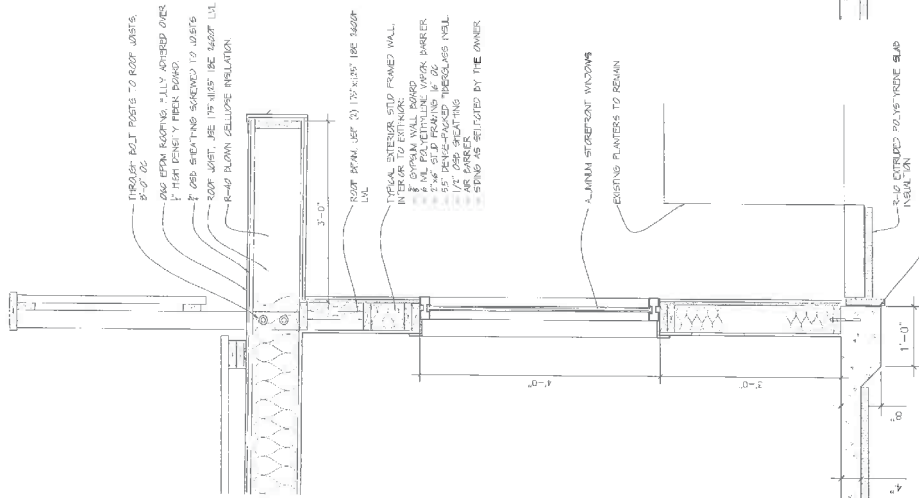
FOOR PLAN
AND
SLAB PLAN



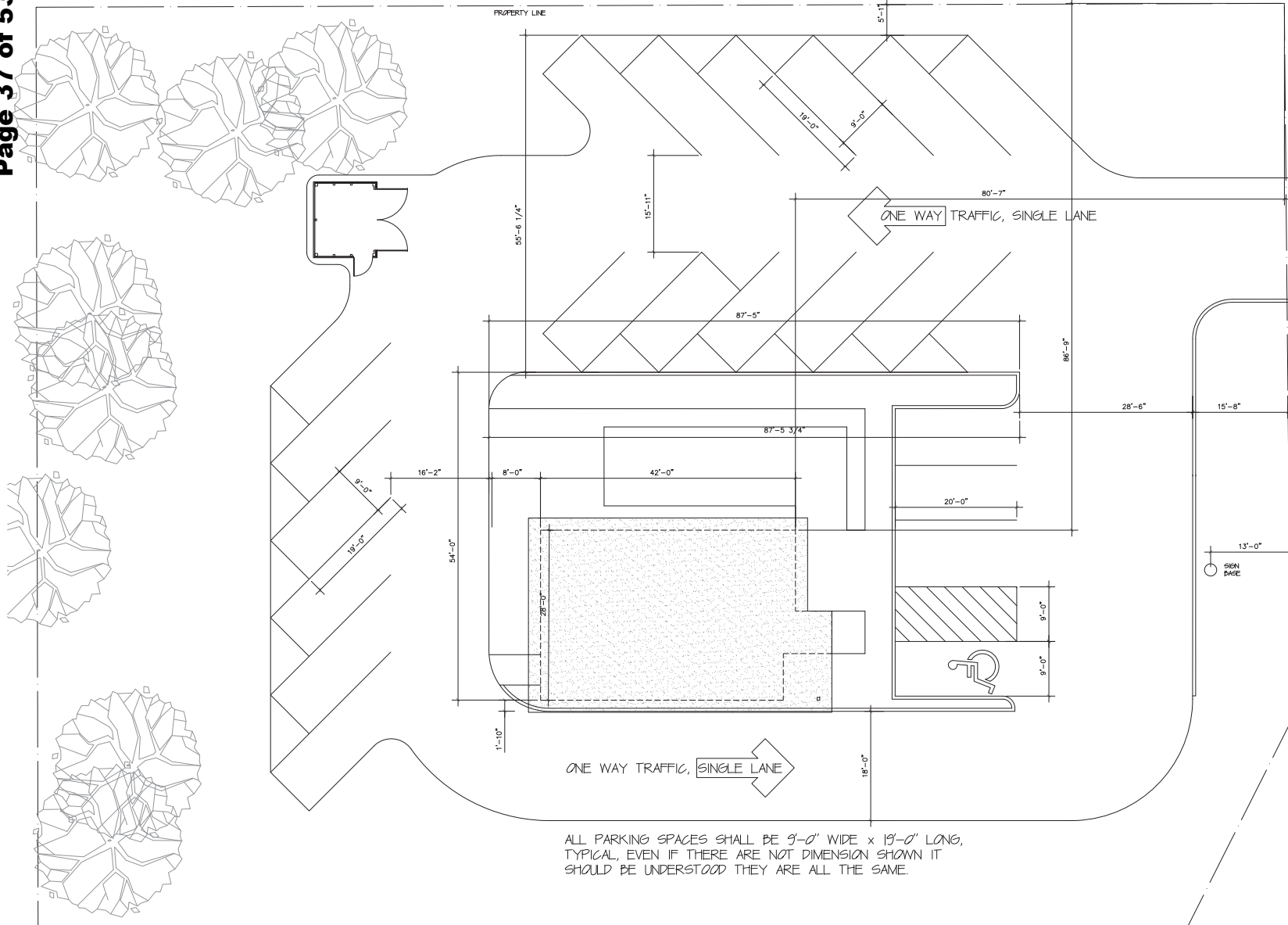
BUILDING SECTION



WALL SECTION



WALL SECTION

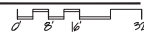


ALL PARKING SPACES SHALL BE 9'-0" WIDE x 19'-0" LONG, TYPICAL, EVEN IF THERE ARE NOT DIMENSION SHOWN IT SHOULD BE UNDERSTOOD THEY ARE ALL THE SAME.

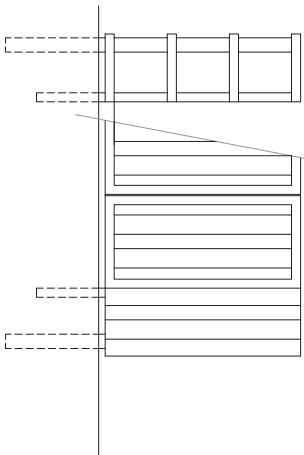
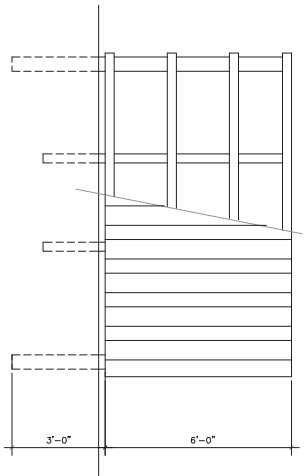
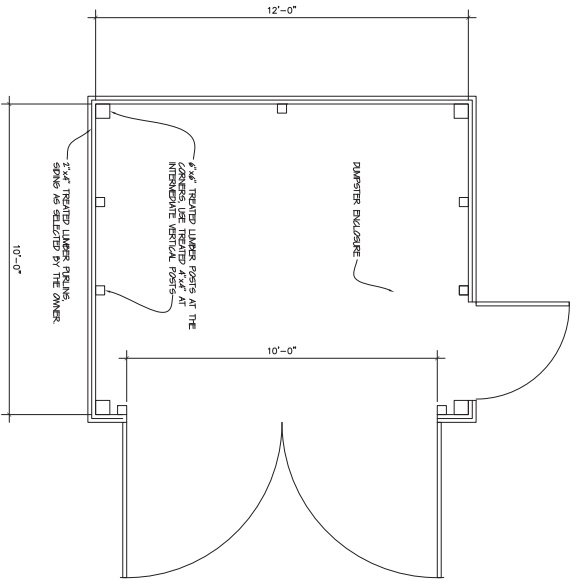
1
C100

EXCAVATION PLAN

SCALE : 1/16" = 1'-0"







1 DUMPSTER ENCLOSURE
C101 SCALE: 1/4" = 1'-0"



Administrative Staff Report

Conditional Use: Mixed-Use Housing

Plan Commission Review

1020-22 West Grand Ave.
November 30, 2021



<p>Applicant(s):</p> <ul style="list-style-type: none"> Kyle Stern <p>Staff:</p> <ul style="list-style-type: none"> Kyle Kearns, Director of Community Development Carrie Edmondson, Community Development Specialist <p>Parcel Number(s):</p> <ul style="list-style-type: none"> 3402369 <p>Lot Information:</p> <ul style="list-style-type: none"> Effective Frontage: 53 feet Effective Depth: 135 feet Square Footage: 3,240 Acreage: 0.16 Acres <p>Zone(s):</p> <ul style="list-style-type: none"> "B-2" General Commercial District <p>Council District:</p> <ul style="list-style-type: none"> District 1 <p>Master Plan:</p> <ul style="list-style-type: none"> Commercial <p>Current Use:</p> <ul style="list-style-type: none"> Vacant <p>Applicable Regulations:</p> <ul style="list-style-type: none"> Chapter 11 – Zoning 	<p>Request</p> <p>PLAN-21-1176; Kyle Stern – public hearing and action on a request for a conditional use permit to renovate the building into mixed-use housing at 1551 West Grand Avenue (Parcel ID 3402369)</p> <p>Attachment(s)</p> <ol style="list-style-type: none"> Application Plans <p>Findings of Fact</p> <ol style="list-style-type: none"> The property is 6,970 square feet with an approximate 3,240 square foot commercial building. Access to the site is via 16th Avenue South and the alley south of the property. The property is zoned "B-2" General Commercial District. Mixed-use housing is a conditional use within the "B-2" District. Reduced parking may be granted by special exception if actual parking demand is determined to be less than the established standard. <p>Staff Recommendation</p> <p>Approve the request from the applicant to create mixed use housing at 1551 West Grand Avenue, subject to the following condition(s):</p> <ol style="list-style-type: none"> Approval of the conditional use permit shall include a reduction of parking for each 1-bedroom or studio dwelling unit, resulting in a total parking requirement of 7 for the use. The floor plan shall include a separate dedicated commercial land use, such as a retail or professional office. A shared parking agreement to utilize three parking spaces shall be created with the Wisconsin Rapids School District and recorded in the office of the Wood County register of deeds, with a copy submitted to the Community Development Director. Trash containers should be limited to two carts for garbage and two carts for recyclables and stored on the south side of the property, or within an appropriately screened refuse enclosure. Hours of operation and service deliveries for the commercial component shall occur between 7:00 a.m. and 7:00 p.m. Applicable building permits though the City shall be obtained. Community Development staff shall have the authority to approve minor modifications to the plans.
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Vicinity Map



Background

The applicant is requesting to rehabilitate the existing building to create mixed-use housing on the site. mixed-use housing requires a conditional use permit within the B-2 Commercial District. The applicant is proposing four attached housing units including 1 efficiency unit, 1 one-bedroom unit, and 2 two-bedroom units. A small dedicated professional office space would be incorporated into the floor plan design as well. Further details regarding the uses are provided in the attached application. Standards of review for the conditional use are analyzed below, include the mixed-use housing standards.

Zoning ordinance (Appendix B):

3.02 Mixed-use housing

Description: One or more dwelling units located in a building, commonly on the second floor, that also houses a commercial land use, such as a retail or professional office.

Parking Requirements: 2 spaces for each dwelling unit

9.16 Professional services

Description: A place where services involving predominantly professional, clerical, or similar operations are performed and where customers may or could come on a regular basis. The term includes law offices, real estate offices, insurance offices, and travel agencies

Parking Requirements: 1 space for each 300 feet of gross floor area

Standards of Review

11.05.55 Basis of decision

Generally, When reviewing conditional uses other than nonconforming conditional uses, the review authority shall consider the following factors:

1) the size of the parcel on which the proposed use will occur;

Analysis: The use is proposed to occur on a 6,970 square foot parcel. The existing building is 3,240 square feet. Most of the property is impervious surface consisting of asphalt paving with much of the western side included within the public right-of-way. There is space for parking along the south side of the building and area for parallel parking directly adjacent to the building along the west side.

Findings: The building appears sufficient to accommodate four attached residential units plus a dedicated office space. In addition, there is adequate space for the 9 required parking spaces. However, in the case of parking lot repaving or reconstruction (and the associated landscaping requirements), there would not be sufficient area to meet parking requirements. However, other options exist to address parking, such as parking reduction approval and shared parking.

2) the presence of and compatibility with other uses on the subject property, if any;

Analysis: This building is the only structure on the property.

Findings: The proposed attached multi-family housing units would be compatible with the proposed professional office space, similarly, found within downtown.

3) the location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses);

Analysis: The subject property is adjacent to the City's west side fire station to the west, a restaurant to the north, and residential properties to the east and south. It is situated along the busy commercial corridor of West Grand Avenue.

Findings: Mixed-use housing consisting of one-level multi-unit residential housing and a dedicated professional office space is well suited to the mix of uses surrounding the subject property. The mixed-use nature of this property provides a suitable transition between the surrounding residential, commercial, and civic properties and is consistent with the intent of this zoning district.

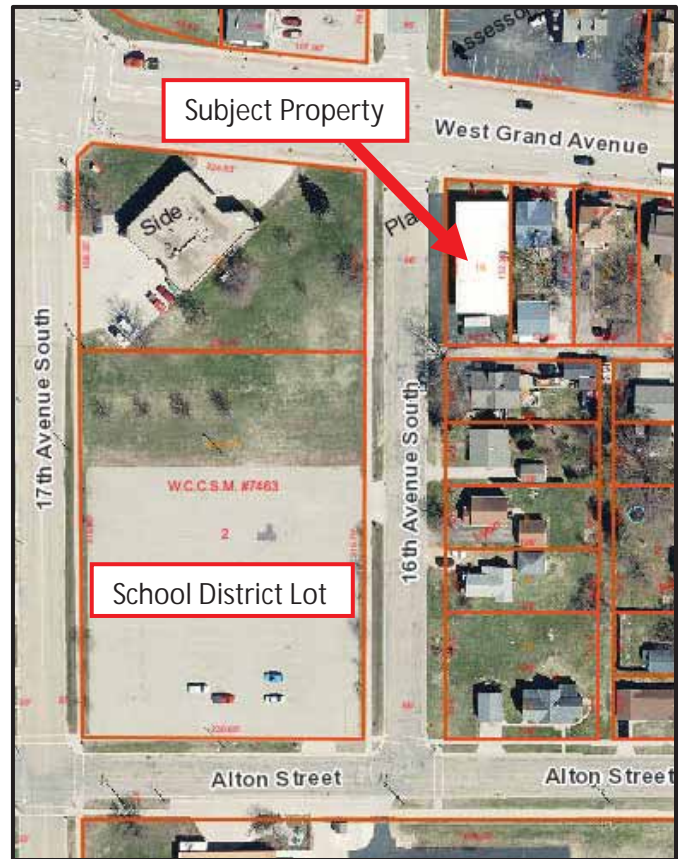
4) effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site;

Analysis: The four residential units require two parking spaces each, for a total of 8. There is 1 space required for the commercial office space for a total of 9.

Findings: Ingress and egress to and from the property is from 16th Avenue South to the west or from the alley to the south. The proposal includes 1 efficiency unit, 1 one-bedroom unit, and 2 two-bedroom units. As part of the conditional use permit, the applicant is requesting a special exception to require only 1 parking space each for the efficiency unit and the one-bedroom unit. The zoning code permits the following:

Zoning Code Section 11.17.03(R) – Pursuant to the procedures and requirements in Article 5, the Planning Commission may authorize the use of a lesser parking standard for a particular land use as a special exception provided sufficient evidence is provided that shows actual off-street parking demand for that use is less than the standard set forth in Appendix B.

If the lesser standard is approved, a total of 7 parking spaces would be required. In the case of repaving or reconstruction, the site could likely accommodate four spaces. The applicant is also seeking a shared parking agreement with the School District of Wisconsin Rapids to secure an additional 3 spaces off-site. Staff would recommend approving the reduced parking standard, 1 stall each for the studio and 1-bedroom apartment and require a shared parking agreement for a minimum of 3 stalls within the Mead Elementary School parking lot (below).



5) the suitability of the subject property for the proposed use;

Analysis: See the above standards regarding lot size and other site specifics. The applicant has described the use further within the application.

Findings: The building is an adequate size for the proposed use. The size of the building is large in proportion to the lot and is built near the east lot line. This is not atypical for an older commercial building, however it creates limitations for parking and circulation with a multi-unit proposal, as well as any other intended proposed use.

6) effects of the proposed use on the natural environment;

Analysis: The existing site consists of a completely impervious site with little to no green space.

Findings: Impacts to the natural environment would be neutral, as the site is previously developed and operated as a commercial use. In the case that the parking lot is repaved or reconstructed the applicant is directed to work with staff to properly integrate the landscape requirements. In addition, the City of Wisconsin Rapids provides two carts for garbage and two carts for recyclables to residential four-plexes on a single lot, if approved by the Street Department. It is recommended that the office space also utilize these carts as needed or construct an appropriately screened refuse enclosure.

7) effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances;

Analysis: The surrounding properties vary in uses ranging from residential, commercial, civic, and educational uses, with hours of operation varying greatly.

Findings: West Grand Avenue is a major commercial thoroughfare. However, considering that a commercial use would be operating within the same structure as an assortment of residential uses, it is suggested that the professional offices limit business hours and service deliveries within 7:00 a.m. and 7:00 p.m.

- 8) **effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts; and**

Analysis: The surrounding area is fully developed.

Findings: The use should not impede the normal development and improvement of the surrounding area.

- 9) **any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.**

Analysis: Notices regarding the request were sent to neighbors within a 300-foot boundary of the property.

Findings: Concerned citizens can attend the meeting and provide input at the public hearing. As of the date of this memo, one neighbor has inquired for more information in relation to the project.

In summary, the proposed use should not be detrimental to the neighborhood and would likely provide a suitable transition between the residential, commercial, and civic uses immediately surrounding the subject property if the conditions below are implemented. However, the heavily built-out site and the resultant limited amount of space for parking and circulation creates the need for a special exception and shared parking agreement. Therefore, staff feels that with the above interpretation, analysis, findings, and conditions below, the use would be fitting for the property and therefore would recommend approval, subject to the following conditions.

Conditions of approval.

1. Approval of the conditional use permit shall include a reduction of parking for each 1-bedroom or studio dwelling unit, resulting in a total parking requirement of 7 for the use.
2. The floor plan shall include a separate dedicated commercial land use, such as a retail or professional office.
3. A shared parking agreement to utilize three parking spaces shall be created with the Wisconsin Rapids School District and recorded in the office of the Wood County register of deeds, with a copy submitted to the Community Development Director.
4. Trash containers should be limited to two carts for garbage and two carts for recyclables and stored on the south side of the property, or within an appropriately screened refuse enclosure.
5. Hours of operation and service deliveries for the commercial component shall occur between 7:00 a.m. and 7:00 p.m.
6. Applicable building permits through the City shall be obtained.
7. Community Development staff shall have the authority to approve minor modifications to the plans.



Conditional Use Application
City of Wisconsin Rapids, Wisconsin
Version: January 3, 2019

Community Development Department
444 West Grand Avenue
Wisconsin Rapids, WI 54495-2780
P: (715) 421-8228 Fax: (715) 421-8291

Overview: The City's zoning regulations identify land uses that may be allowed in each of the zoning districts either by right or as a conditional use. By definition, a conditional use is a land use that may or may not be appropriate on a given parcel depending on a wide range of factors that relate to the proposed use and the particular circumstances relating to the parcel and surrounding properties. Conditional uses are therefore considered on a case-by-case basis. As part of the review process, the Planning Commission and Common Council conduct a joint public hearing to solicit input from the general public and other interested parties. When reviewing conditional use applications, the Planning Commission serves in an advisory capacity to the Common Council, which makes the final decision. The recommendation of the Planning Commission and the decision of the Village Board are based on the evidence and testimony received as part of the application and through the public hearing process.

If you submit an application, do not contact any member on the Planning Commission or the Common Council until after a final decision has been made.

Governing regulations: The procedures and standards governing the review of this application are found in Article 5 of the City's zoning code (Chapter 11 of the municipal code).

General instructions: Complete this application and submit one copy to the Community Development Department. Alternatively, you can submit your application online at <https://wisconsinrapids.zoninghub.com/>

Application fee: \$250.00 for principal and accessory uses; \$100.00 for temporary uses and \$50.00 for administrative renewals

Application submittal deadline: Applications must be submitted at least 3 weeks prior to the meeting. Please consult the annual Planning Commission schedule for specific dates.

Mandatory meeting with staff: To ensure that all the required information is provided and that there is a complete understanding of the process, the applicant must meet with City staff to discuss the request and necessary items. Please contact the Community Development Department to schedule an appointment.

Aldersperson notification Before you submit your application, you will need to send a letter to the Aldersperson of the district of where the request is taking place, explaining the request. Please attach the notification letter with your application materials.

Office Use Only

Date Received _____

Received By _____

Fee _____

Case # _____

Aldermanic District _____

Plan Commission Date _____

1. Applicant information

Applicant name Kyle Stern

Street address 2801 N 7th Street Suite 505

City, state, zip code Wausau WI 54403

Daytime telephone number 715-523-1503

Email Kyle K Stern @gmail.com

2. Agent contact information Include the names of those agents, if any, that helped prepare this application including the supplemental information. Agents may include surveyors, engineers, landscape architects, architects, planners, and attorneys.

Agent 1

Name Melody (Engineer)

Company Funktion Design Studio LLC

Street address 207 Wind Tree Dr.

City, state, zip code Wausau WI 54401

Daytime telephone number 715-571-8122

Email melody@funktiondesignstudio.com

Agent 2

3. Type of application (select one)

☐ New conditional use

☐ Yes ☒ No

Are there any other current conditional use approvals for the property?

If yes, provide the year of issuance and a short description.

☐ An amendment of a previously approved conditional use

4. Subject property information

Physical address 1551 West Grand Ave

Parcel number(s) _____

Note: The parcel number can be found on the tax bill for the property or it may be obtained from the Community Development Department.

Is the subject property currently in violation of the City's zoning ordinance as determined by the City's zoning administrator?

☒ No
☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.10 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land that is in violation of the zoning code, except to correct the violation or as may be required by state law.

Are there any unpaid taxes, assessments, special charges, or other required payments that are specifically related to the subject property?

☒ No
☐ Yes

If yes, please explain.

Comment: Pursuant to Section 11.04.11 of the City's zoning code, the City may not issue a permit or other approval that would benefit a parcel of land where taxes, special assessments, special charges, or other required payments are delinquent and unpaid.

5. Zoning information (refer to <https://wisconsinrapids.zoninghub.com/zoningmap.aspx>)

The subject property is located in the following base zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> RR Rural Residential | <input type="checkbox"/> R-8 Manufactured Home Park | <input type="checkbox"/> M-1 General Industrial |
| <input type="checkbox"/> R-1 Single-family Residential | <input type="checkbox"/> B-1 Downtown Commercial | <input type="checkbox"/> M-2 Heavy Industrial |
| <input type="checkbox"/> R-2 Mixed Residential | <input checked="" type="checkbox"/> B-2 General Commercial | <input type="checkbox"/> I-1 Institutional |
| <input type="checkbox"/> R-3 Multi-family Medium Density Residential | <input type="checkbox"/> B-3 Neighborhood Commercial | <input type="checkbox"/> P-1 Park and Recreation |
| <input type="checkbox"/> R-4 Multi-family High Density Residential | <input type="checkbox"/> B-5 Mixed Use Commercial | <input type="checkbox"/> C-1 Conservancy |

The subject property is also located in the following overlay zoning district(s). (check all that apply)

- | | | |
|--|--|--|
| <input type="checkbox"/> Planned Development (PDD) | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Floodplain |
| <input type="checkbox"/> Downtown Design | <input type="checkbox"/> Shoreland-Wetland | <input type="checkbox"/> Wellhead Protection |

6. **Current use** Describe the current use of the subject property.

Vacant

7. **Proposed use** Describe the proposed conditional use or the proposed amendment.

Office/Apts

8. **Evaluation criteria** The factors listed below will be used in evaluating this application. Your responses are important.

1. The size of the parcel on which the proposed use will occur.

3,240

2. The presence of and compatibility with other uses on the subject property if any.

None

3. The location of the proposed use on the subject property (e.g., proximity of the proposed use to other existing or potential land uses).

Located on West Grand Ave
West is commercial
East and South is Residential

4. Effects of the proposed use on traffic safety and efficiency and pedestrian circulation, both on-site and off-site.

None

5. The suitability of the subject property for the proposed use.

Been a vacant building for some time. Looking to bring in more housing opportunity for Wisconsin Rapids

6. Effects of the proposed use on the natural environment.

None

7. Effects of the proposed use on surrounding properties, including operational considerations relating to hours of operation and creation of potential nuisances.

None

8. Effects of the proposed use on the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district and adjoining districts.

None

9. Any other factor that relates to the purposes of this chapter set forth in s. 11.01.05 or as allowed by state law.

Supports growth and development

9. Supplemental materials Attach the following to this application form.

1. A project map with the information listed in Appendix F of the zoning code.
2. Proposed construction plans (if applicable)
3. The letter you sent to the Alderperson for the district in which the project is located.

10. Attachments List any attachments included with your application.

will email engineered drawing

11. Other information You may provide any other information you feel is relevant to the review of your application.

12. Mandatory meeting with staff

When did you meet with the Community Development Director?

11/21

Month/year

13. Applicant certification

- I understand that I, or any of my agents, may not discuss this application with any member of the Planning Commission or the Common Council until after a final decision is rendered.
- I certify that all of the information in this application, along with any attachments, is true and correct to the best of my knowledge and belief.
- I understand that submission of this application authorizes City officials and employees, and other designated agents, including those retained by the City, to enter the property to conduct whatever site investigations are necessary to review this application. This does not authorize any such individual to enter any building on the subject property, unless such inspection is specifically related to the review of this application and the property owner gives his or her permission to do so.
- I understand that this application and any written materials relating to this application will become a permanent public record and that by submitting this application I acknowledge that I have no right to confidentiality. Any person has the right to obtain copies of this application and related materials or view it online.
- I understand that the zoning administrator will review this application to determine if it contains all of the required information. If he or she determines that the application is incomplete, it will not be scheduled for review until it is deemed to be complete.

Property Owner:

Kyle Stern
Name – print

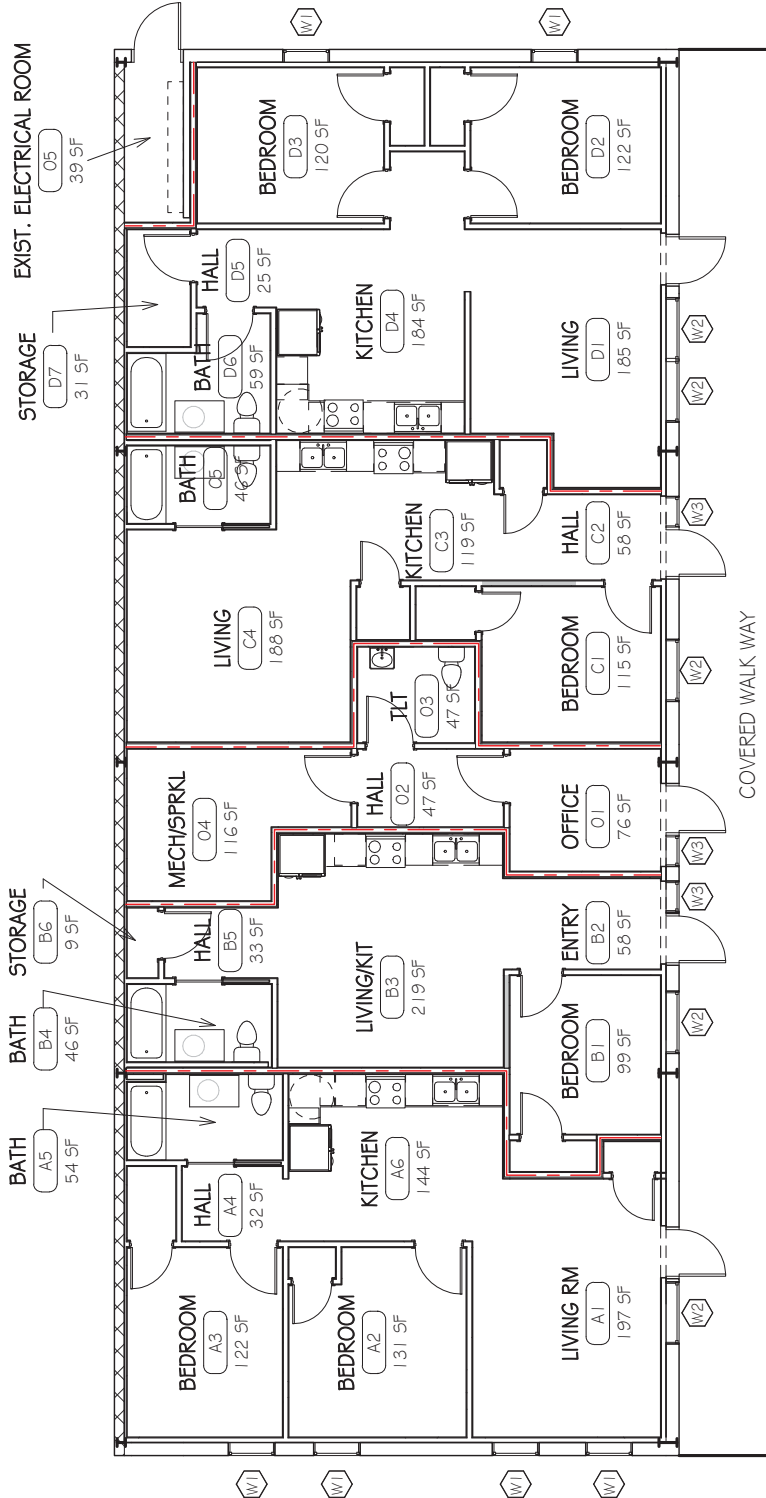
Kyle Stern
Name – Signature

11/17/21
Date

Name – print

Name – Signature

Date



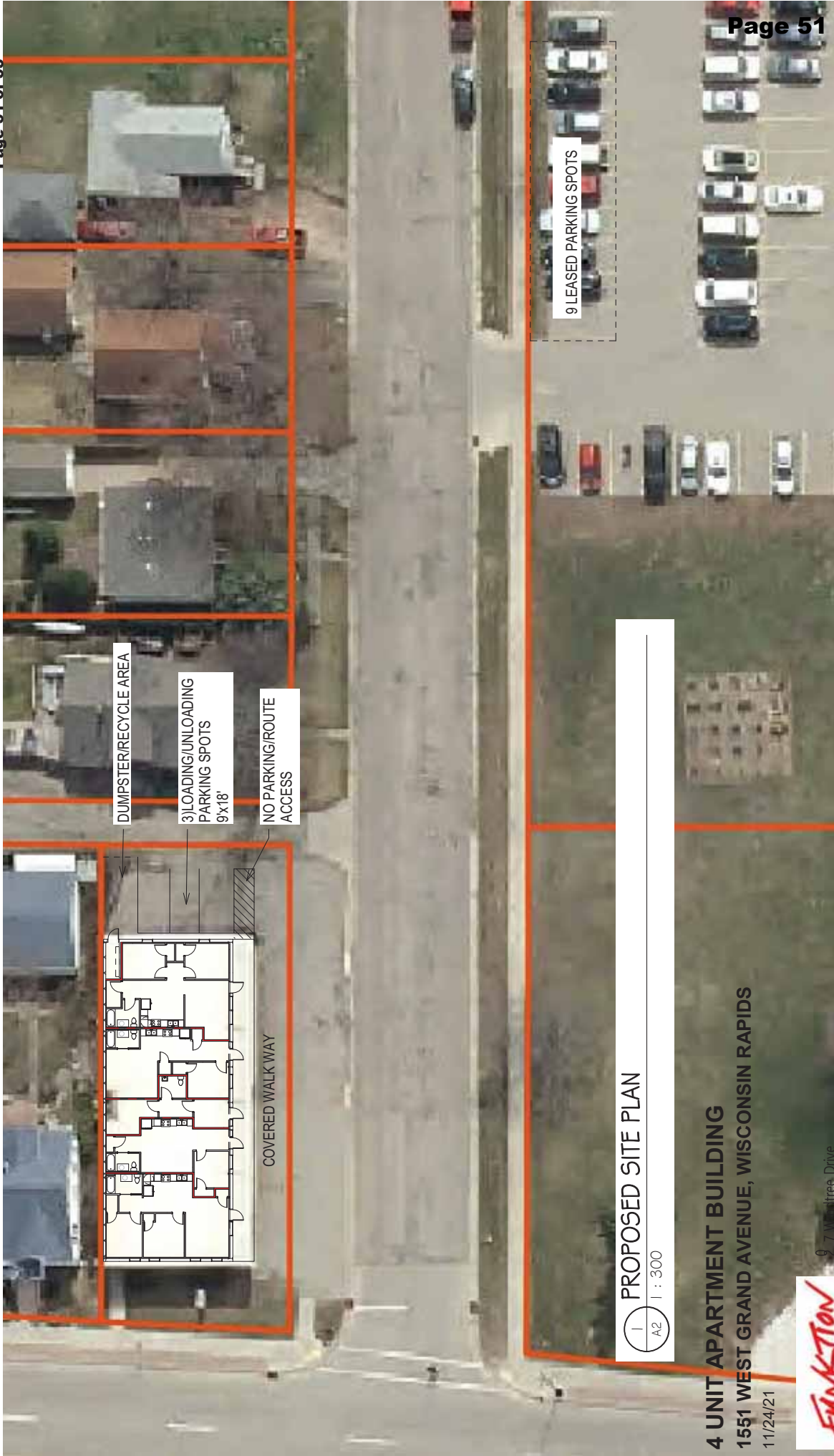
CONCEPT PLAN
1/8" = 1'-0"

4 UNIT APARTMENT BUILDING
1551 WEST GRAND AVENUE, WISCONSIN RAPIDS
11/24/21

Funktion
Design Studio
2 7 Windtree Drive
Wausau, WI 54403
715.571.8122 / 920.379.7133

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Room	Area	Volume	Glaze	Window	Exterior	Unit	Area	Volume	Glaze	Window	Exterior	Unit
Unit A	Room	Area	Volume	Glaze	Window	Exterior	Unit	Area	Volume	Glaze	Window	Exterior
A	Living	186	131	7.2	11.3	30554	B	Living	185	130	11.3	30554
	Bedroom	120	84	7.8	11.9	30554		Bedroom	122	85	11.3	30554
	Bath	46	32	3.5	8	30554		Bath	46	32	3.5	8
	Hall	25	17	2.8	3	30554		Hall	25	17	2.8	3
B	Living	185	130	7.2	11.3	30554	C	Living	186	131	7.2	11.3
	Bedroom	122	85	7.8	11.9	30554		Bedroom	120	84	7.8	11.9
	Bath	46	32	3.5	8	30554		Bath	46	32	3.5	8
	Hall	25	17	2.8	3	30554		Hall	25	17	2.8	3
C	Living	186	131	7.2	11.3	30554	D	Living	185	130	7.2	11.3
	Bedroom	120	84	7.8	11.9	30554		Bedroom	122	85	11.3	30554
	Bath	46	32	3.5	8	30554		Bath	46	32	3.5	8
	Hall	25	17	2.8	3	30554		Hall	25	17	2.8	3
D	Living	185	130	7.2	11.3	30554	Total	Living	748	524	28.8	748
	Bedroom	122	85	7.8	11.9	30554		Bedroom	488	340	20.4	488
	Bath	46	32	3.5	8	30554		Bath	184	128	6.8	184
	Hall	25	17	2.8	3	30554		Hall	100	68	2.8	100



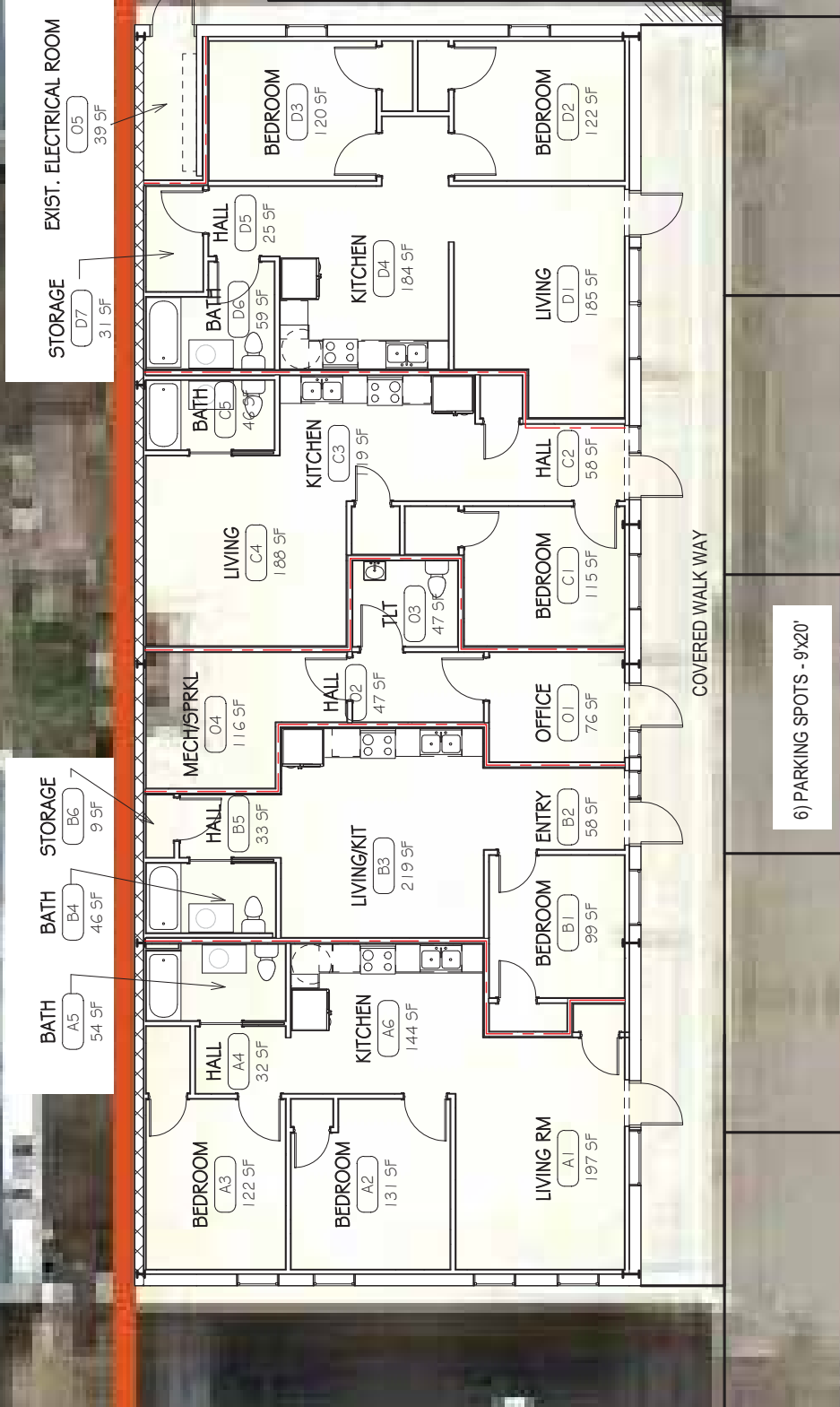
4 UNIT APARTMENT BUILDING
1551 WEST GRAND AVENUE, WISCONSIN RAPIDS
11/24/21

PROPOSED SITE PLAN
1/4\"/>

97 Walnut Tree Drive
Wausau, WI 54403
715.571.8122 / 920.379.7133



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CONCEPT PLAN w/ ON SITE PARKING

1/8" = 1'-0"

4 UNIT APARTMENT BUILDING

1551 WEST GRAND AVENUE, WISCONSIN RAPIDS

11/24/21

2 7 Windtree Drive
Wausau, WI 54403
715.571.8122 / 920.379.7133



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